

No.	REVISION	DATE	DRAWN
A	ISSUE FOR COUNCIL APPROVAL	30/09/11	AJB
B	ISSUE FOR COUNCIL APPROVAL	04/10/11	AJB
C	ISSUE FOR PRICING	08/12/11	AJB
D	ISSUE FOR REVIEW	07/03/12	AJB
E	RE-ISSUE FOR ULDA APPROVAL	20/03/12	JAK

ASSOCIATED CONSULTANTS:	RELOCISTS:
LANDSCAPE:	ELECTRICAL:
TOPOGRAPHICAL SURVEY:	

SCALE 1:100 @ A1	SCALE 1:50 @ A1
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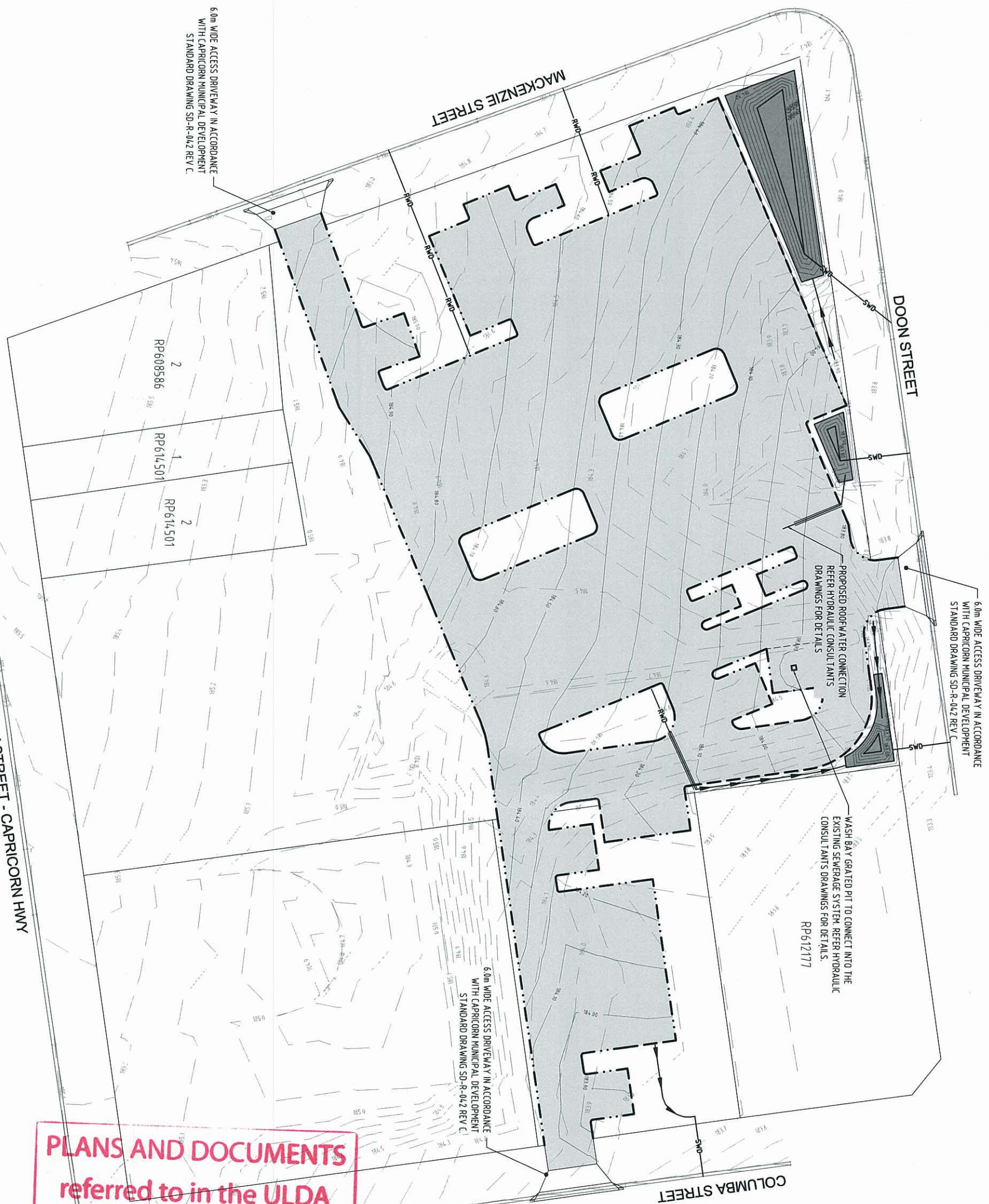
APPROVED BY
REC. 7815

CENTRAL OLD HOTELS GROUP

3 MACKENZIE STREET BLACKWATER

Drawn AJB	Date SEP 2011	Scale 1:250	Q.C. Check BSP	Date 30/09/11
Designed AJB	Project No. BR110010	Dwg. No. 100	Issue E	

RAILWAY STREET - CAPRICORN HWY



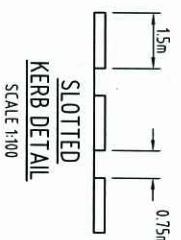
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 19/4/12

LEGEND	
--- --	PROPOSED INTEGRAL KERB AS PER DETAIL ON BR1010 - 700
----	PROPOSED EDGE OF CONCRETE
- - - -	PROPOSED OPEN KERB REFER DETAIL
----	ROAD CENTRELINE
----	PROPOSED STORMWATER
----	PROPOSED ROOF-WATER DRAINAGE REFER HYDRAULIC CONSULTANTS DRAWINGS FOR DETAILS.
----	TRENCH DRAIN WITH TRAFFICABLE GRATE REFER HYDRAULIC CONSULTANTS DRAWINGS FOR DETAILS
----	SEWER RETICULATION
----	FINISHED CONTOURS
----	EXISTING CONTOURS
----	PROPOSED GRASSSED SWALE
----	PROPOSED STORMWATER GRASSSED DETENTION BASIN

- DRAINAGE NOTES**
1. CONNECTION ON LINE TO BE IN THE FORM OF A SLOPE RILEY JUNCTION WITH AN INSPECTION OPENING LOCATED AT THE END OF THE PROPERTY BRANCH LINE SIMILAR TO A SEWER HOUSE CONNECTION BRANCH.
 2. FOR ROOF-WATER HOUSE CONNECTIONS, STORMWATER MARKING TAPE SHALL BE TIED TO THE CAP OF THE INSPECTION OPENING AND SHALL EXTEND TO THE SURFACE IN ACCORDANCE WITH THE COUNCIL STANDARDS.
 3. PROVIDE ROOF-WATER CONNECTIONS UNDER CONCRETE PATH WHERE SHOWN.
 4. ROOF-WATER DRAINAGE LINES TO BE 0.6m OFFSET FROM REAR AND SIDE BOUNDARIES UNLESS NOTED OTHERWISE.
 5. ALL STUBS FROM ROOF-WATER PITS SHALL BE Ø150 CLASS SH UNLESS SHOWN OTHERWISE.
 6. ALL SETTING OUT IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO WORKS COMMENCING ON SITE, THE SUPERINTENDENT'S SURVEYOR SHALL PEG ALL ALLOTMENT BOUNDARIES, PROVIDE COORDINATE INFORMATION TO THESE PEGS AND PLACE BENCH MARKS. THE CONTRACTOR SHALL SET OUT THE WORKS FROM AND MAINTAIN THESE PEGS.
 7. THE CONTRACTOR IS TO CONFIRM THE LOCATION OF SERVICE CONDUITS WITH THE SUPERINTENDENT PRIOR TO LAYING STORMWATER DRAINAGE. ALL TRENCH EXCAVATION AND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORKPLACE HEALTH AND SAFETY ACT 1995.

NOTE:
REFER TO ARCHITECTS PLAN FOR DETAILS OF
SPEED CONTROL DEVICES AND WHEEL STOPS.

Not for Construction



PLANS TO BE READ IN CONJUNCTION
WITH PROJECT SPECIFICATIONS.

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No.	REVISION	DATE	DRAWN

ASSOCIATED CONSULTANTS:

Geo. Coats
Electrical
Landscape
Traffic & Acoustic
Licensed Surveyor
Topographical Survey

20/03/12
07/03/12
08/12/11
04/10/11
30/09/11

JAK
AJB
AJB
AJB
AJB

0 2 4 6 8 10 12 m

SCALE 1:250 @ A1

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REC-7875

ACOR BASELINE CONSULTANTS

CLIENT

CENTRAL OLD
HOTELS GROUP

Project

3 MACKENZIE STREET
BLACKWATER

Drawing Title

CARPARK SETOUT AND
KERB LAYOUT PLAN

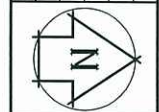
Drawn: AJB
Date: SEP 2011
Scale: 1:250
Project No: BR110010
Designed: AJB
Date: 30/09/11
Check: GJC
Date: 30/09/11
Issue: 101
E



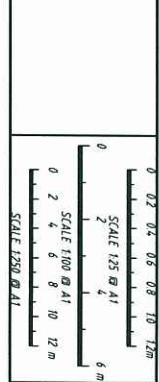
CARPARK SETOUT TABLE			
PT No.	EASTING	NORTHING	LEVEL
1	1020762	941979	185.092
2	1022998	946446	184.981
3	1033177	946834	184.982
4	1031425	951623	185.055
5	1036683	953547	184.989
6	1038436	948758	184.934
7	1038020	948579	184.928
8	1040295	949119	184.914
9	1040622	949325	184.910
10	1040738	949695	184.905
11	1037261	957958	184.874
12	1034163	965319	184.686
13	1033770	965479	184.683
14	1032277	964851	184.698
15	1032117	964458	184.706
16	1034095	959757	184.800
17	1022021	954676	184.799
18	1020143	959377	184.739
19	1019650	959537	184.735
20	1018083	958878	184.735
21	1015756	964408	184.664
22	1017483	965067	184.665
23	1017323	965067	184.665
24	1015505	970161	184.690
25	1018086	971247	184.704
26	1019715	967376	184.670
27	1022829	967391	184.658
28	1022989	967784	184.653
29	1016625	982432	184.420
30	1016433	982585	184.433
31	1015395	982749	184.432
32	1014751	984558	184.458
33	1016400	976692	184.505
34	101826	975613	184.477
35	101833	980309	184.477
36	101440	980468	184.477
37	1008308	979144	184.512
38	1005963	984667	184.458
39	1006609	984935	184.450
40	1006768	985329	184.444
41	1004776	990021	184.400
42	1042199	1001475	183.926
43	1044191	1000916	183.926
44	1050705	1003492	183.858
45	1056823	1006066	183.790
46	1058568	1006316	183.785
47	1061142	1009440	183.737
48	1067195	1010267	183.681
49	1070450	1007994	183.752
50	1076603	1008896	183.756
51	1086772	1001307	183.900
52	1088982	986407	184.118
53	1089332	986154	184.123
54	1094370	986880	184.165
55	1099256	975704	184.300
56	1099256	975704	184.300
57	1099256	975704	184.300
58	1099256	975704	184.300
59	1099256	975704	184.300
60	1099256	975704	184.300
61	1099256	975704	184.300
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63	1099256	975704	184.300
64	1099256	975704	184.300
65	1099256	975704	184.300
66	1099256	975704	184.300
67	1099256	975704	184.300
68	1099256	975704	184.300
69	1099256	975704	184.300

CARPARK SETOUT TABLE			
PT No.	EASTING	NORTHING	LEVEL
70	1121754	973508	183.940
71	1122095	973655	183.939
72	1124075	973948	183.916
73	1124327	974289	183.920
74	1123588	973289	183.950
75	1129128	980108	183.850
76	1129872	975076	183.904
77	1130213	974823	183.997
78	113256	975110	183.887
79	1133045	969716	184.050
80	1115780	966623	184.110
81	1103485	964806	184.350
82	1076575	959149	184.573
83	1064776	952460	184.850
84	1064726	952460	184.850
85	1035057	943855	184.969
86	1034095	940816	185.042
87	1022811	936340	185.143
88	1051738	958557	184.736
89	1058429	959090	184.735
90	1052825	972412	184.501
91	1053357	973721	184.473
92	1056997	975253	184.432
93	1058307	974719	184.441
94	1063912	961400	184.654
95	1063379	960089	184.681
96	1042416	975627	184.466
97	1041106	976161	184.460
98	1035495	989496	184.210
99	1036029	990806	184.180
100	1039669	992338	184.132
101	1040479	991804	184.135
102	1046391	978469	184.395
103	1046055	977158	184.423
104	1016414	983099	184.221
105	1016575	983492	184.214
106	1019386	984675	184.182
107	1083317	982348	184.202
108	1085094	971683	184.331
109	1083291	968479	184.411
110	1082964	968341	184.416
111	1082571	968501	184.414
112	1065224	986402	184.184
113	1064831	986562	184.181
114	1059602	998888	183.932
115	1051762	999381	183.924
116	1050638	999749	183.917
117	1061031	999589	183.920
118	1063008	994889	184.014
119	1065589	995975	183.992
120	1063762	1000318	183.905
121	1064774	1000749	183.897
122	1063735	988964	184.130
123	1068719	988337	184.139
124	1066658	992861	184.051
125	1064277	991875	184.074
126	1066260	987164	184.166
127	1066099	986771	184.176
128	1074709	989833	184.098
129	1072058	996113	183.985
130	1077458	1002850	183.850
131	1076666	1002949	183.850
132	1077373	1000449	183.904
133	1080760	993197	184.000
134	1081907	991970	184.026
135	1080799	992127	184.025
136	1078804	996823	183.942
137	1078804	996823	183.942

E	RE-ISSUE FOR ULDA APPROVAL	20/03/12	JAK
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ASSOCIATED CONSULTANTS:
BILDING, LANDSCAPE, TOWN PLANNING, TOPOGRAPHICAL SURVEY



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CLIENT
**CENTRAL QLD
HOTELS GROUP**

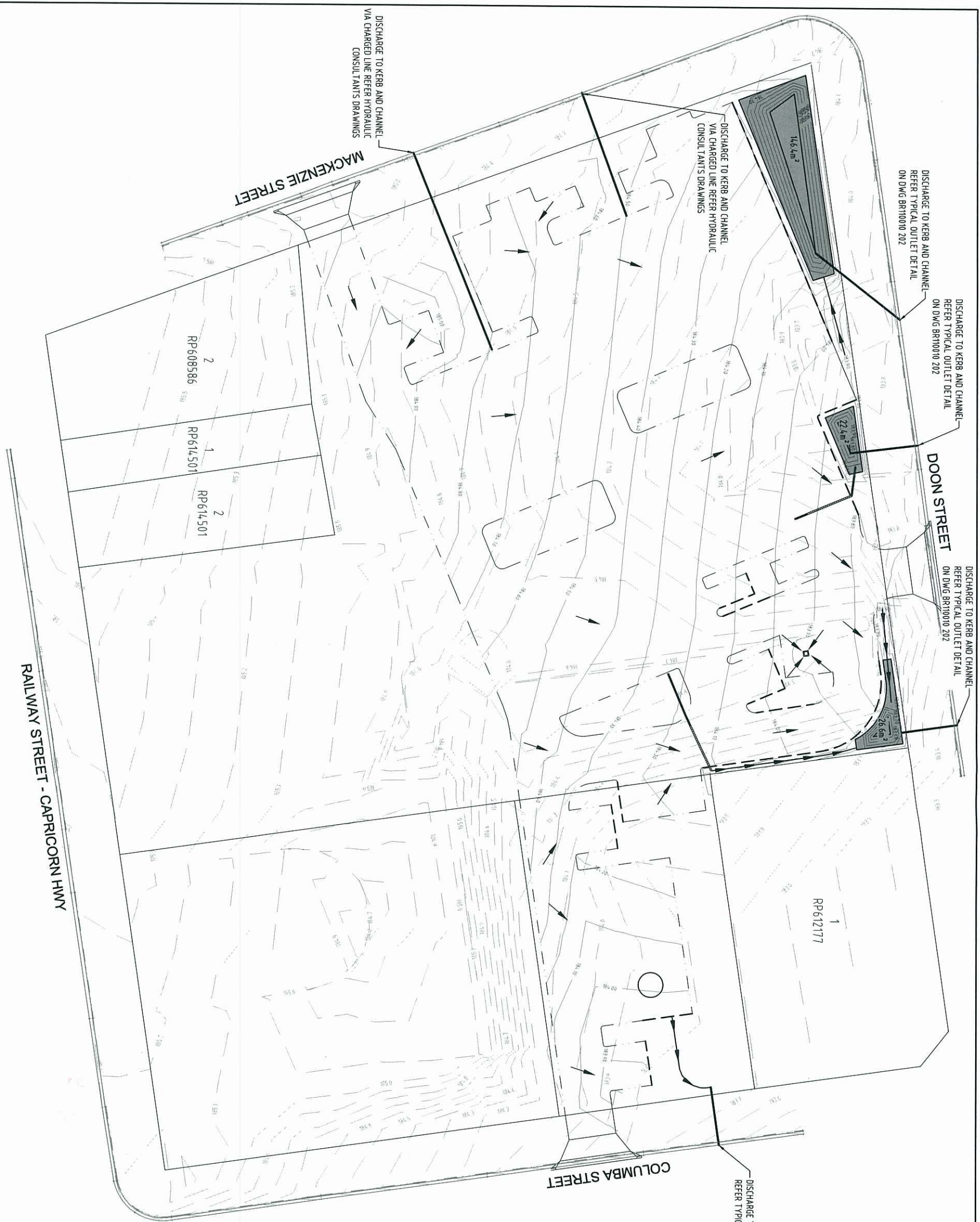
Project
**3 MACKENZIE STREET
BLACKWATER**

Drawing Title			
STORMWATER MANAGEMENT PLAN			
Drawn	Date	Scale	Date
BSP	SEPT 2011	A1 QLA Check	30/09/11
Designed	Project No.	Dwg No.	Issue
TC	BR110010	201	E

PLANS TO BE READ IN CONJUNCTION
WITH PROJECT SPECIFICATIONS.

Not for Construction

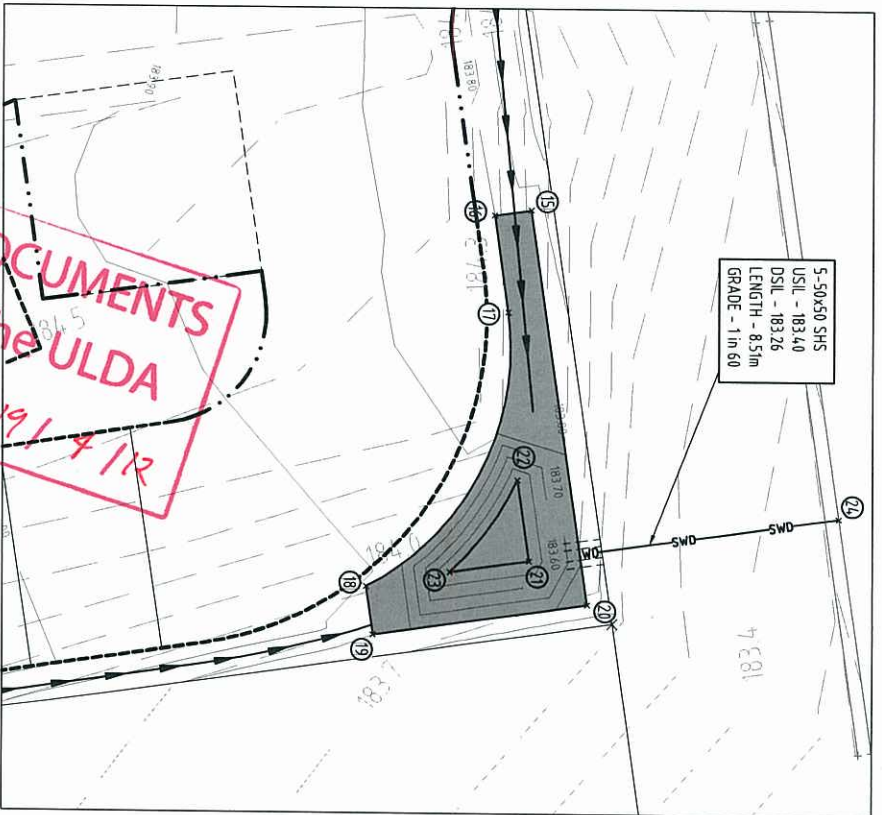
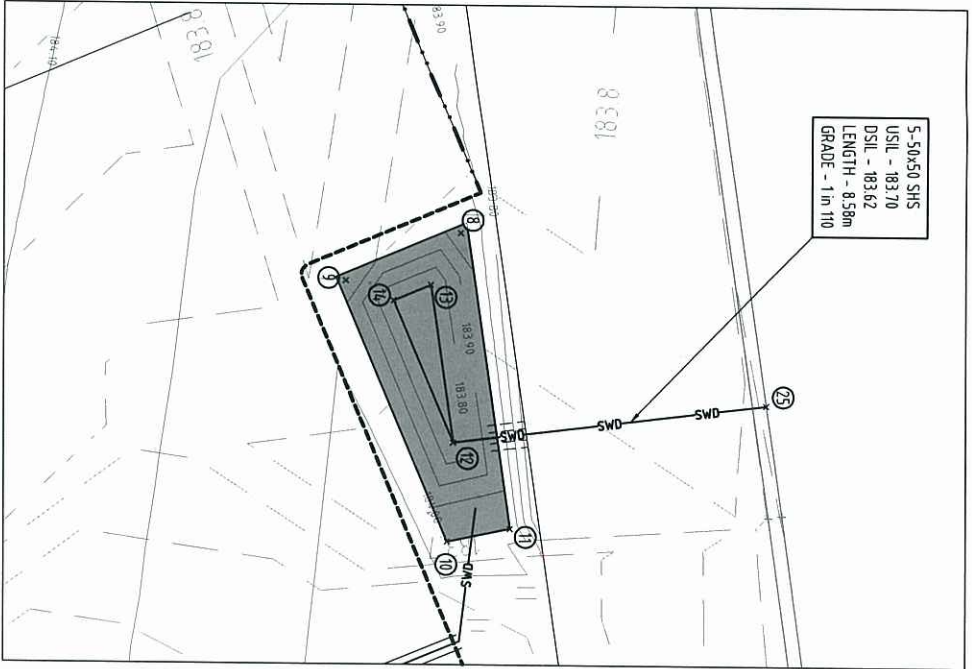
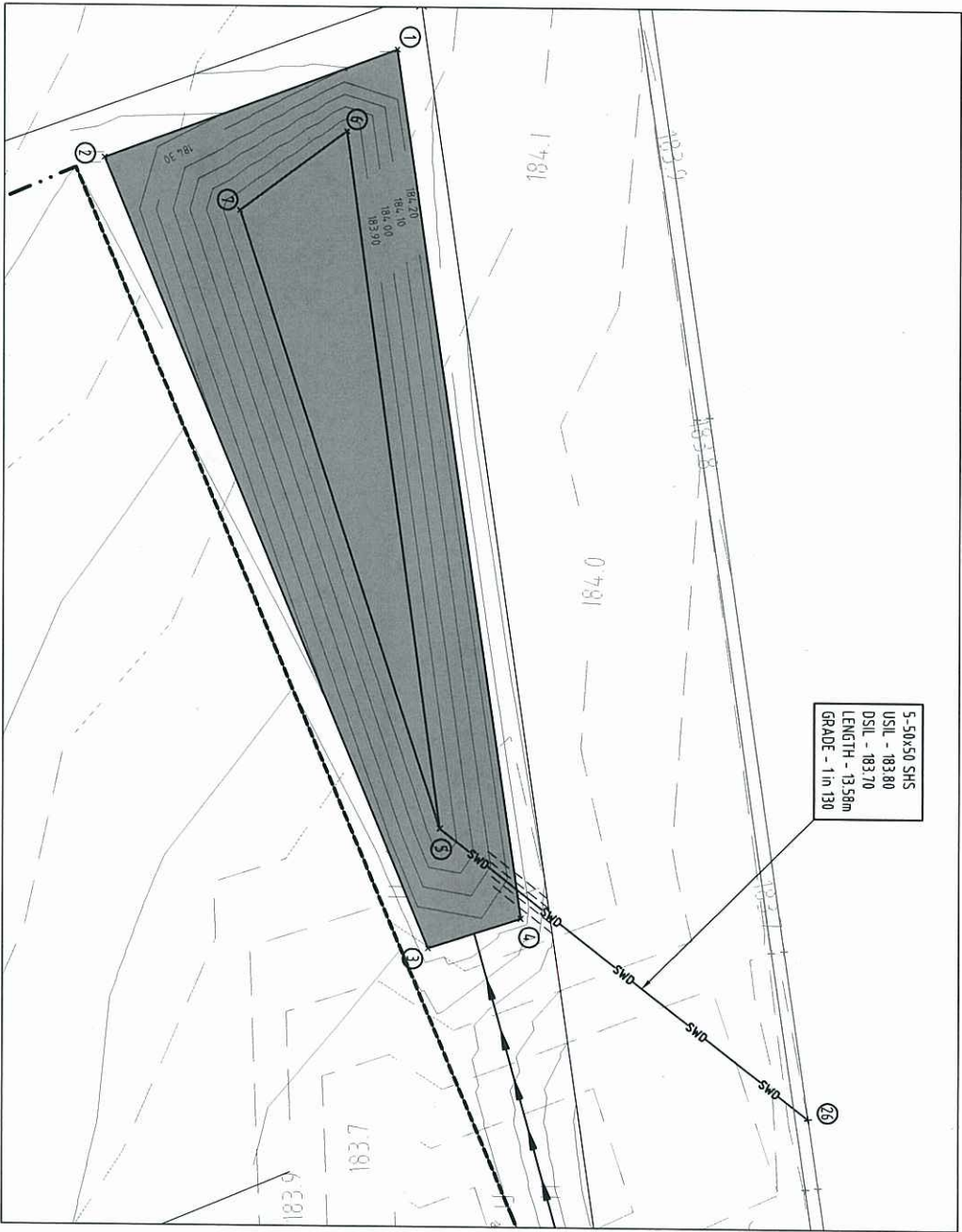
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 19 / 4 / 12



LEGEND

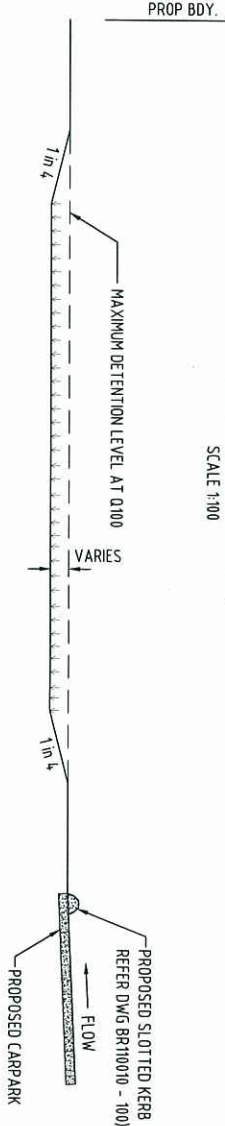
- NOMINAL KERB LINE
- PROPOSED GRASSED SWALE
- PROPOSED STORMWATER
- SEWER RETICULATION
- DESIGN CONTOURS
- STAGE BOUNDARY
- EXISTING CONTOURS
- PROPOSED 15kL DETENTION TANK (ABOVE GROUND RAINWATER TANK WITH LOW LEVEL OUTLET). REFER TO HYDRAULIC SERVICES DRAWING FOR LOCATION.
- PROPOSED STORMWATER GRASSSED DETENTION BASIN (REFER DWG BR10010 - 202)
- PROPOSED DIRECTION OF FALL
- SLOTTED KERB (REFER DETAIL ON DWG BR10010 - 100)

NOTE
FOR DETENTION BASIN
DETAILS AND SETOUT
REFER DWG BR10010 202



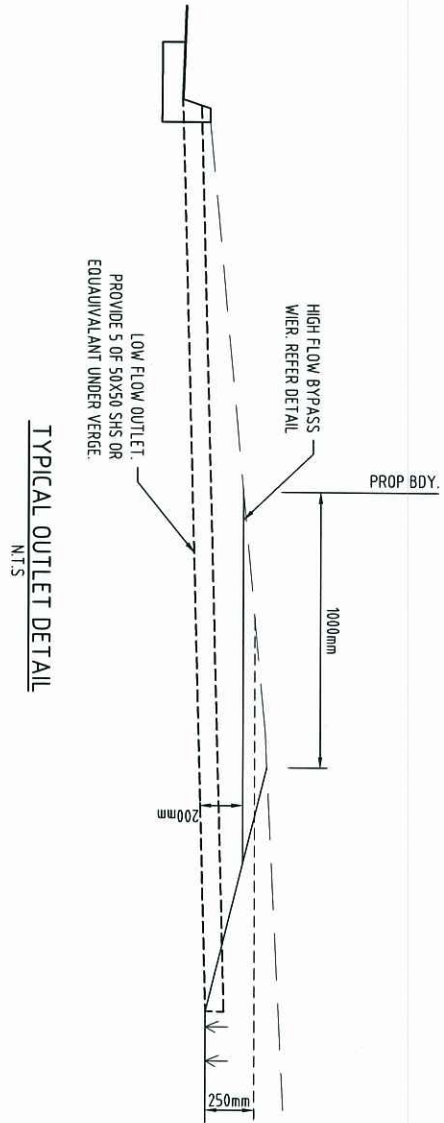
DETENTION BASIN PLAN

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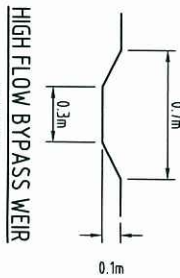
TYPICAL DETENTION BASIN DETAIL

NTS



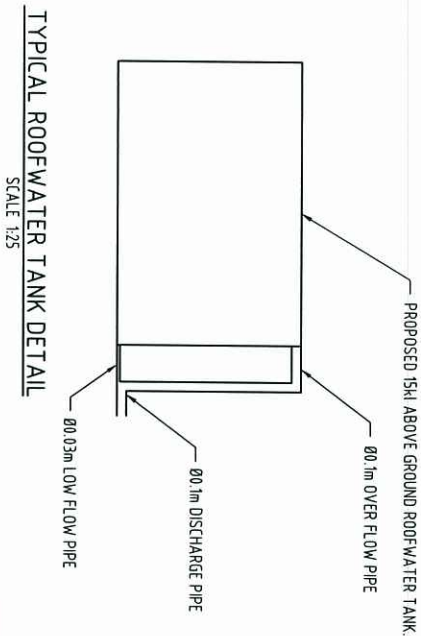
TYPICAL OUTLET DETAIL

NTS



HIGH FLOW BYPASS WEIR

SCALE 1:10



TYPICAL ROOFWATER TANK DETAIL

SCALE 1:25

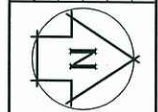
PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 19/11/12

PT No.	EASTING	NORTHING	LEVEL
1	1001.306	999.313	184.259
2	1004.486	990.847	184.497
3	1027.231	1000.269	184.250
4	1026.357	1002.948	184.250
5	1023.782	1000.603	183.800
6	1003.677	997.864	183.800
7	1005.981	994.776	183.800
8	1043.020	1005.391	184.000
9	1044.528	1001.837	184.000
10	1051.690	1004.876	184.000
11	1051.331	1006.589	184.000
12	1049.009	1005.042	183.700
13	1044.733	1004.425	183.700
14	1045.164	1003.470	183.700
15	1074.932	1010.192	183.800
16	1075.075	1009.196	183.800
17	1077.727	1009.566	183.800
18	1085.192	1005.743	183.800
19	1086.513	1005.911	183.800
20	1086.674	1011.740	183.800
21	1084.488	1010.354	183.400
22	1082.275	1009.835	183.400
23	1084.798	1007.998	183.400
24	1083.273	1018.581	184.260
25	1047.958	1013.556	183.620
26	1032.096	1011.263	183.700

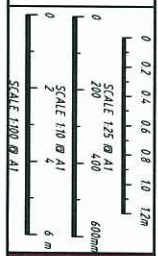
PLANS TO BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS.

Not for Construction

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ASSOCIATED CONSULTANTS:
GEO. CONSULTANTS:
ELECTRICAL:
LANDSCAPE:
TRAFFIC & ACCIDENT:
LICENSED SURVEYOR:
TOPOGRAPHICAL SURVEY:



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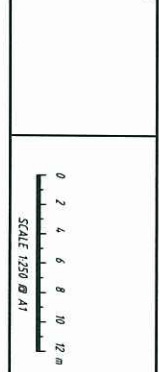
CENTRAL OLD
HOTELS GROUP

3 MACKENZIE STREET
BLACKWATER

Drawn	Check	Date	Scale	AI	QA	Check	Date
AJB	SEP 2011	1:250	BSP	30/09/11			
Designed	Project No.	BR110010	Dwg No.	202			

E	RE-ISSUE FOR ULDA APPROVAL	20/03/12	JAK
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No.	REVISION	DATE	DRAWN

ASSOCIATED CONSULTANTS:
GEOLOGISTS:
BUILDING:
CIVIL:
LANDSCAPE:
TRAFFIC & ACQUATIC:
TOWN PLANNING:
ENVIRONMENTAL:
TOPOGRAPHICAL SURVEY:



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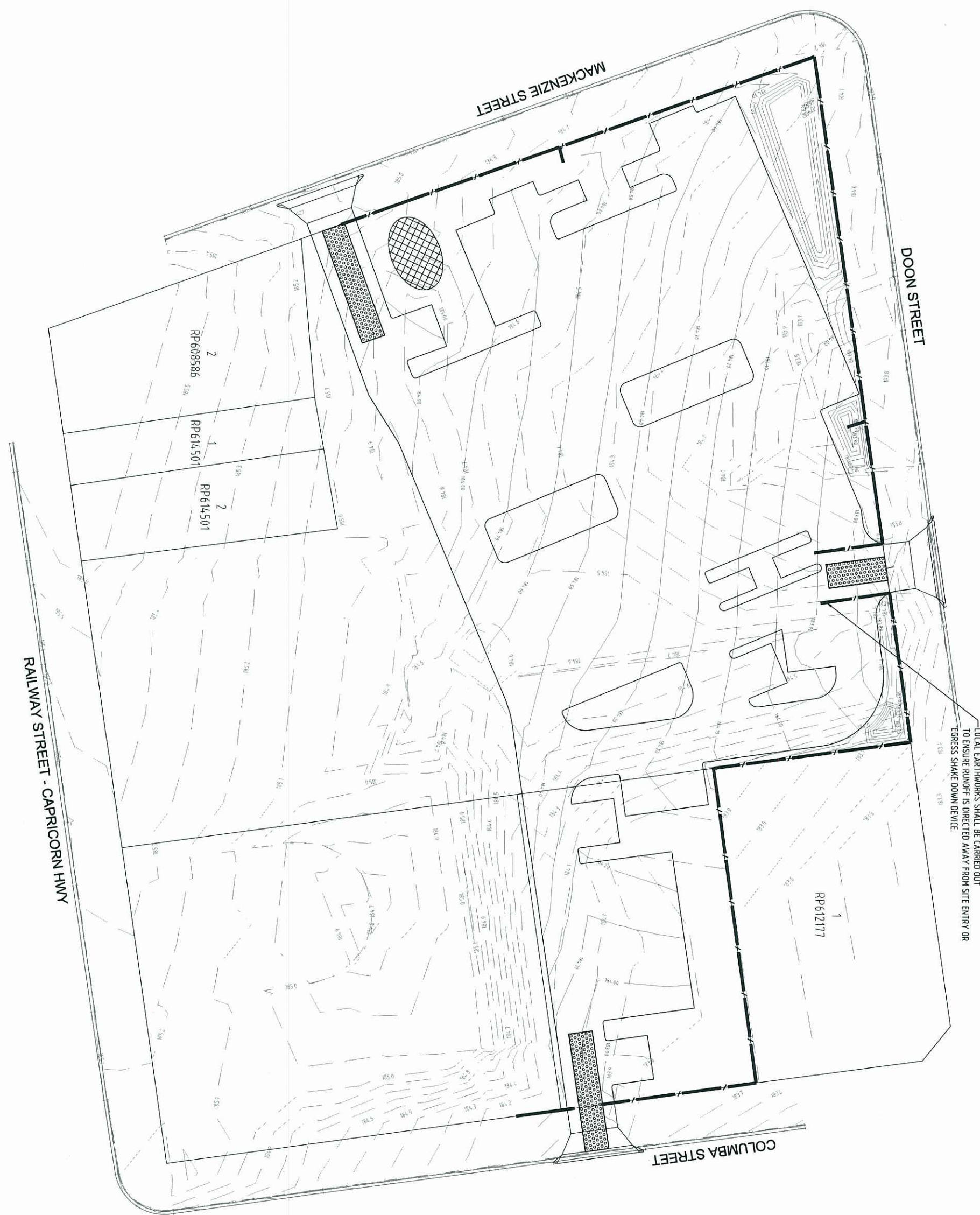
CLIENT
**CENTRAL QLD
HOTELS GROUP**

Project
**3 MACKENZIE STREET
BLACKWATER**

Drawing Title			
EROSION AND SEDIMENT CONTROL LAYOUT PLAN			
Drawn	Date	Scale	AI QA Check
AJB	SEP 2011	1:250	BSF
Designed	Project No.	Dwg No.	Issue
AJB	BR110010	400	E

Not for Construction

**PLANS AND DOCUMENTS
referred to in the ULDA
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THE PERSON RESPONSIBLE FOR THE DEMOLITION WORKS SHALL ENSURE THAT ALL VEHICLES LEAVING THE SITE CARRYING DEMOLITION MATERIALS HAVE THEIR LOADS COVERED AND DO NOT TRACK SOIL OR WASTE MATERIALS ONTO THE ROAD.

SHOULD ASBESTOS BE PRESENT, ITS REMOVAL SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL OH&S COMMITTEE - CODE OF PRACTICE FOR SAFE REMOVAL OF ASBESTOS AND ITS CODE OF PRACTICE FOR THE MANAGEMENT AND CONTROL OF ASBESTOS IN THE WORKPLACE.

NOTE
FOR EROSION AND SEDIMENT
CONTROL NOTES AND DETAILS
REFER DWG BR110010.401

LEGEND

EXISTING CONTOURS

FINISHED CONTOURS

SEDIMENT FENCE

SITE ENTRY/EGRESS
SHAKE DOWN DEVICE

STOCK PILE - FINAL
LOCATION TO BE
CONFIRMED ON SITE

PRE CONSTRUCTION		
1. IDENTIFY THE EXTREMITIES OF SITE OF WORKS AND AREAS TO BE DISTURBED BY THE WORKS. 2. CONSTRUCT SEDIMENT BASINS IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN. 3. INSTALL PERIMETER SEDIMENT FENCE, CUTOFF DRAINS AND MULCH BUND AS NECESSARY TO REDIRECT OVERLAND FLOW AROUND PERIMETER OF SITE WHERE POSSIBLE IN ACCORDANCE WITH THE PRE-CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN. 4. CLEAR AREAS OF VEGETATION AS NECESSARY IN ORDER TO CARRY OUT WORKS. 5. AFTER CLEARING RE-ASSESS AREAS OF DISTURBANCE AND INSTALL FURTHER EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY TO SUIT SITE CONDITIONS.		
DURING CONSTRUCTION		
1. IDENTIFY CONSTRUCTION PHASING AND IMPLEMENT AND MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AS DETAILED ON THE SEDIMENT AND EROSION CONTROL PLAN FOR USE DURING CONSTRUCTION. 2. CARRY OUT INSPECTIONS TO ENSURE THE SEDIMENT AND EROSION CONTROL DEVICES ARE MAINTAINED IN WORKING ORDER. INSPECTIONS SHALL BE CARRIED OUT: • AT LEAST DAILY WHEN RAIN IS OCCURRING • AT LEAST WEEKLY EVEN IF WORK IS NOT BEING CARRIED OUT ON SITE • WITHIN 24 HOURS PRIOR TO EXPECTED RAINFALL • WITHIN 18 HOURS OF A RAINFALL EVENT 3. REPAIR, REINSTATE AND OR MODIFY INSTALLED EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY TO SUIT CHANGING SITE CONDITIONS. 4. UNDERTAKE PROGRESSIVE REVEGETATION OF THE SITE AS STAGES OF THE WORKS ARE COMPLETED.		
POST CONSTRUCTION		
1. IMPLEMENT EROSION AND SEDIMENT CONTROL DEVICES AS DETAILED ON THE POST CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN. 2. MONITOR THE PERFORMANCE OF THE DEVICES DURING THE MAINTENANCE PERIOD AND REPAIR, REINSTATE AND OR MODIFY AS NECESSARY TO SUIT SITE CONDITIONS. 3. REMOVE EROSION AND SEDIMENT CONTROL DEVICES ONCE REVEGETATION OF THE SITE IS SUFFICIENT TO CONTROL EROSION AND SEDIMENT RUNOFF.		

1. IDENTIFY THE EXTREMITIES OF SITE OF WORKS AND AREAS TO BE DISTURBED BY THE WORKS
2. CONSTRUCT SEDIMENT BASINS IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN.
3. INSTALL PERIMETER SEDIMENT FENCE, CUTOFF DRAINS AND MULCH BUND AS NECESSARY TO REDIRECT OVERLAND FLOW AROUND PERIMETER OF SITE WHERE POSSIBLE IN ACCORDANCE WITH THE PRE-CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN.
4. CLEAR AREAS OF VEGETATION AS NECESSARY IN ORDER TO CARRY OUT WORKS.
5. AFTER CLEARING RE-ASSESS AREAS OF DISTURBANCE AND INSTALL FURTHER EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY TO SUIT SITE CONDITIONS.

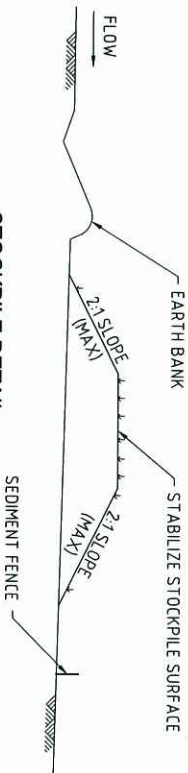
1. IDENTIFY CONSTRUCTION PHASING AND IMPLEMENT AND MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AS DETAILED ON THE SEDIMENT AND EROSION CONTROL PLAN FOR USE DURING CONSTRUCTION.
2. CARRY OUT INSPECTIONS TO ENSURE THE SEDIMENT AND EROSION CONTROL DEVICES ARE MAINTAINED IN WORKING ORDER; INSPECTIONS SHALL BE CARRIED OUT:
 - AT LEAST DAILY WHEN RAIN IS OCCURRING
 - AT LEAST WEEKLY EVEN IF WORK IS NOT BEING CARRIED OUT ON SITE
 - WITHIN 24 HOURS PRIOR TO EXPECTED RAINFALL
3. REPAIR, REINSTATE AND OR MODIFY INSTALLED EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY TO SUIT CHANGING SITE CONDITIONS.
4. UNDERTAKE PROGRESSIVE REVEGETATION OF THE SITE AS STAGES OF THE WORKS ARE COMPLETED.

1. IMPLEMENT EROSION AND SEDIMENT CONTROL DEVICES AS DETAILED ON THE POST CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN.
2. MONITOR THE PERFORMANCE OF THE DEVICES DURING THE MAINTENANCE PERIOD AND REPAIR, REINSTATE AND OR MODIFY AS NECESSARY TO SUIT SITE CONDITIONS.
3. REMOVE EROSION AND SEDIMENT CONTROL DEVICES ONCE REVEGETATION OF THE SITE IS SUFFICIENT TO CONTROL EROSION AND SEDIMENT RUNOFF.

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.

2. CONSTRUCT ON THE CONTOUR AS LOW FLAT ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

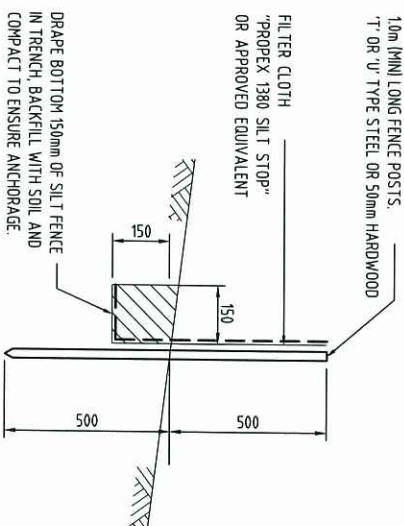
5.1.2.



1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.

2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

N.T.S.



1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE DEVELOPED BY 150mm AND FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE 14mm GAUGE, 150mm MESH SPACING TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES.
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BURGES" DEVELOP IN SILT FENCE.
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCE SPILLWAYS AT SPACINGS NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACINGS ON STEEP TERRAIN.

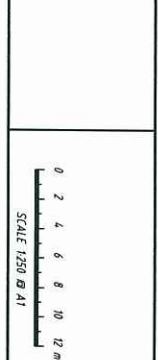
SHOULD ASBESTOS BE PRESENT, ITS REMOVAL SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL OHSAS COMMITTEE - CODE OF PRACTICE FOR SAFE REMOVAL OF ASBESTOS AND ITS CODE OF PRACTICE FOR THE MANAGEMENT AND CONTROL OF ASBESTOS IN THE WORKPLACE.

PLANS TO BE READ IN CONJUNCTION
WITH PROJECT SPECIFICATIONS.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 19 / 4 /12

E	RE-ISSUE FOR ULDA APPROVAL	20/03/12	JAK
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No.	REVISION	DATE	DRAWN

ASSOCIATED CONSULTANTS:
GEO. DESIGNS:
ELECTRICAL:
LANDSCAPE:
TRAFFIC & ACQUISITION:
LICENSED SURVEYOR:
TOPOGRAPHICAL SURVEY:



ACOR
OR

ACOR BASELINE CONSULTANTS
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WWW.ACOR.COM.AU

APPROVED BY

QUALITY ASSURED COMPANY
ACCREDITED BY
ISO 9001:2008

CLIENT

CENTRAL QLD
HOTELS GROUP

Project:

3 MACKENZIE STREET
BLACKWATER

Drawing Title

BULK EARTHWORKS
LAYOUT PLAN

Drawn	SEP 2011	Scale	A1 Q.A. Check	Date
AJB		1:250	BSP	30/09/11
Designed	Project No.		Dwg No.	Issue
AJB	BR110010		500	E



LEGEND

FINISHED CONTOURS

EXISTING CONTOURS

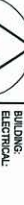
EXCAVATION

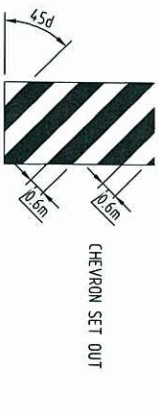
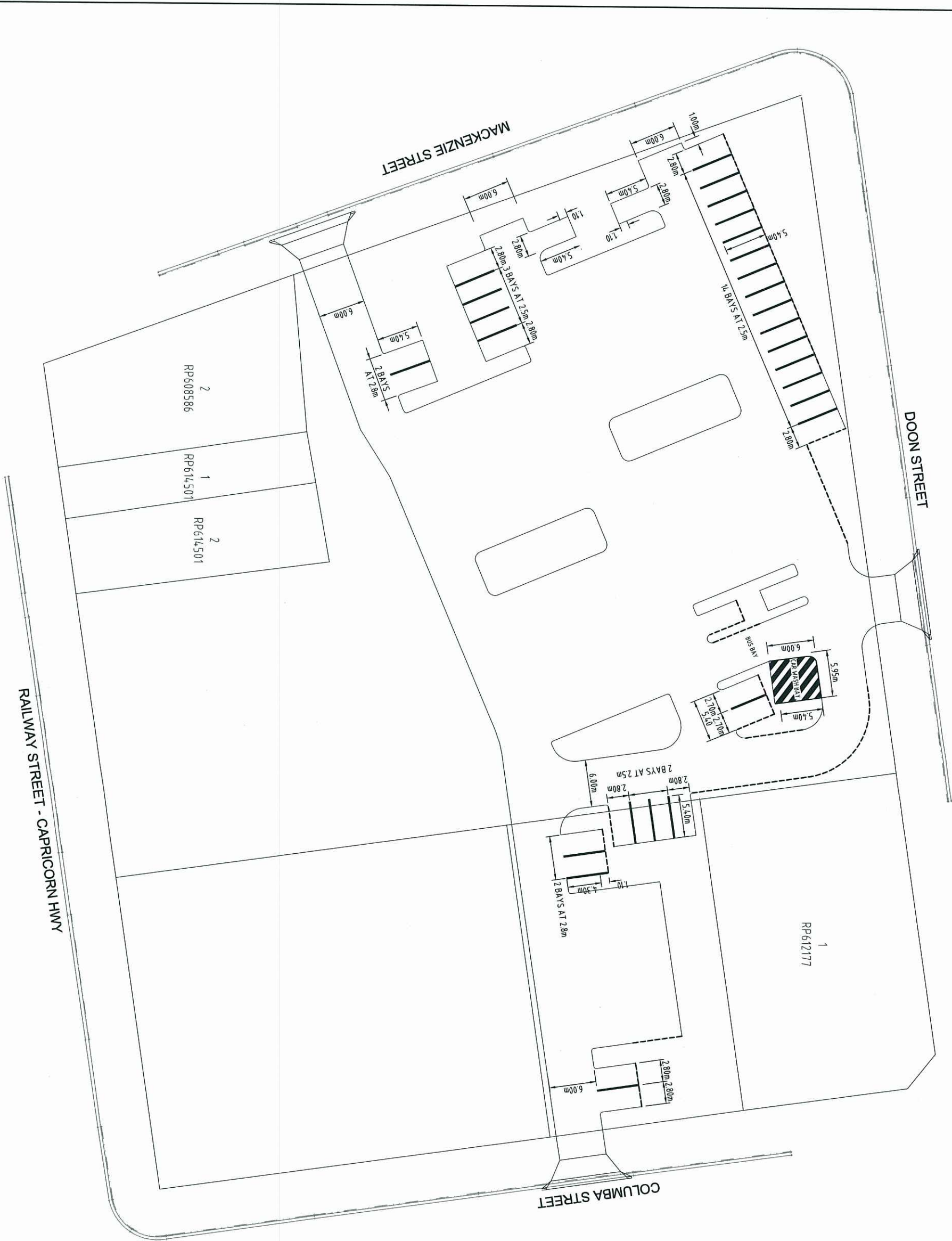
FILLING

- GENERAL NOTES
- DO NOT SCALE OFF THESE DRAWINGS. IF IN DOUBT ASK SUPERINTENDENT FOR CLARIFICATION.
 - LEVELS AND GRADIENTS AT JUNCTIONS WITH EXISTING WORKS MAY BE VARIED WITH SUPERINTENDENT'S APPROVAL AS REQUIRED TO ACHIEVE SATISFACTORY CONNECTIONS.
 - ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT COUNCIL STANDARDS AND STANDARD DRAWINGS UNLESS DIRECTED OTHERWISE.
 - THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ANY POINT OF CONFLICT WILL BE RESOLVED BY THE SUPERINTENDENT ON REQUEST. THE ACCURACY AND COMPLETENESS OF EXISTING SERVICE INFORMATION SHOWN ON THE DRAWINGS IS NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL SERVICES PRIOR TO CONSTRUCTION AND ADVISE THE SUPERINTENDENT OF ANY DIFFERENCES FROM THE DRAWINGS. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTORS COST.
 - THE CONTRACTOR IS TO CONFIRM THE LOCATION OF SERVICE CONDUITS WITH THE SUPERINTENDENT PRIOR TO LAYING STORMWATER DRAINAGE. ALL TRENCH EXCAVATION AND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORKPLACE HEALTH AND SAFETY ACT 1995.
 - THE PRINCIPALS SURVEYOR SHALL PROVIDE BENCH MARKS WITH CO-ORDINATE INFORMATION FOR ALL PROPERTY BOUNDARIES FROM THESE BENCH MARKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING OUT THESE WORKS FROM AND MAINTAINING THESE BENCH MARKS/BENCH MARKS AND LEVELS TO AHD.
 - WORKS SHALL BE PROGRAMMED SO AS NOT TO DISTURB NEARBY HOUSEHOLDERS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES. FOR MARKETING REASONS IT IS ESSENTIAL THE SITE IS KEPT IN A TIDY STATE EVEN DURING CONSTRUCTION. THE CONTRACTOR SHALL ALLOW IN HIS TENDER TO CLEAN-UP THE SITE INCLUDING REMOVAL OF RUBBISH AND EXCESS SOIL, STACKING OF LOOSE PIPES AND GRADING OF DISTURBED AREAS AS DIRECTED EACH FRIDAY AFTERNOON TO PRESENT THE SITE IN THE MOST ATTRACTIVE MANNER AT ALL TIMES.
 - NOTWITHSTANDING THE LIMITS OF CUTTING AND FILLING SHOWN ON THE PLAN THE ACTUAL LIMITS SHALL BE DETERMINED ON SITE BY THE SUPERINTENDENT DURING CONSTRUCTION AND SIMILARLY THE FINISHED SURFACE CONTOURS MAY BE ADJUSTED BY THE SUPERINTENDENT DURING CONSTRUCTION.
 - ALL PERVIOUS AREAS DISTURBED BY CONSTRUCTION WORKS TO BE TOP-SOILED (100mm MINIMUM THICKNESS) AND GRASS SEED.
 - ALL FILL SHALL BE COMPACTED IN ACCORDANCE WITH A.S. 3798 - 1990 WITH LEVEL ONE SUPERVISION UNLESS NOTED OTHERWISE BY THE SUPERINTENDENT.
 - SIDE DRAINS SHALL BE PROVIDED UNDER ALL KERBING IN ACCORDANCE WITH COUNCIL STANDARDS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT. ALL SIDE DRAINS MUST BE FREE DRAINING WITH OUTLETS TO THE NEAREST GULLY PIT OR OTHER SUITABLE STRUCTURE.
 - DRAWINGS TO BE READ AS A SET
 - ALL BATTERS TO BE MAX 1:3 UNO

PLANS AND DOCUMENTS
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APPROVAL dated 19 / 4 / 12

Not for Construction

E	RE-ISSUE FOR ULDA APPROVAL	20/03/12	JAK		ASSOCIATED CONSULTANTS: GEO. CONSULTANTS: ELECTRICAL: LANDSCAPE: TRAFFIC & ACQUISITION: LICENSED SURVEYOR: TOPOGRAPHICAL SURVEY:		ACOR BASELINE CONSULTANTS ENGINEERS DEVELOPMENT CONSULTANTS INFRASTRUCTURE PLANNERS 86 Victoria Street, West End St Lucia, 4013 PH: +61 7 3444 5900 FAX: +61 7 3444 5901 WWW.ACOR.COM.AU		APPROVED BY REC'D. 7875 QUALITY ASSURED COMPANY REGISTERED WITH THE AUSTRALIAN STANDARD AS/NZS ISO 9001:2008	CLIENT CENTRAL QLD HOTELS GROUP	Project 3 MACKENZIE STREET BLACKWATER	Drawing Title SIGNS AND LINE MARKING LAYOUT PLAN					Drawn AJB	Date SEPT 2011	Scale A1 QLA Check 1:250	Design BSP	Drawn By 30/09/11	Issue E
D	ISSUE FOR REVIEW	07/03/12	AJB																			
C	ISSUE FOR PRICING	08/12/11	AJB																			
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No	REVISION	DATE	DRAWN																			



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referred to in the ULDA
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NOTE:
REFER TO ARCHITECT'S PLAN FOR DETAILS OF
SPEED CONTROL DEVICES AND WHEEL STOPS.

Not for Construction

NOTE:

CONCRETE JOINTING PLAN IS TO BE CONFIRMED BY THE ENGINEER PRIOR TO CONSTRUCTION.

DOON STREET

MACKENZIE STREET

COLUMBA STREET



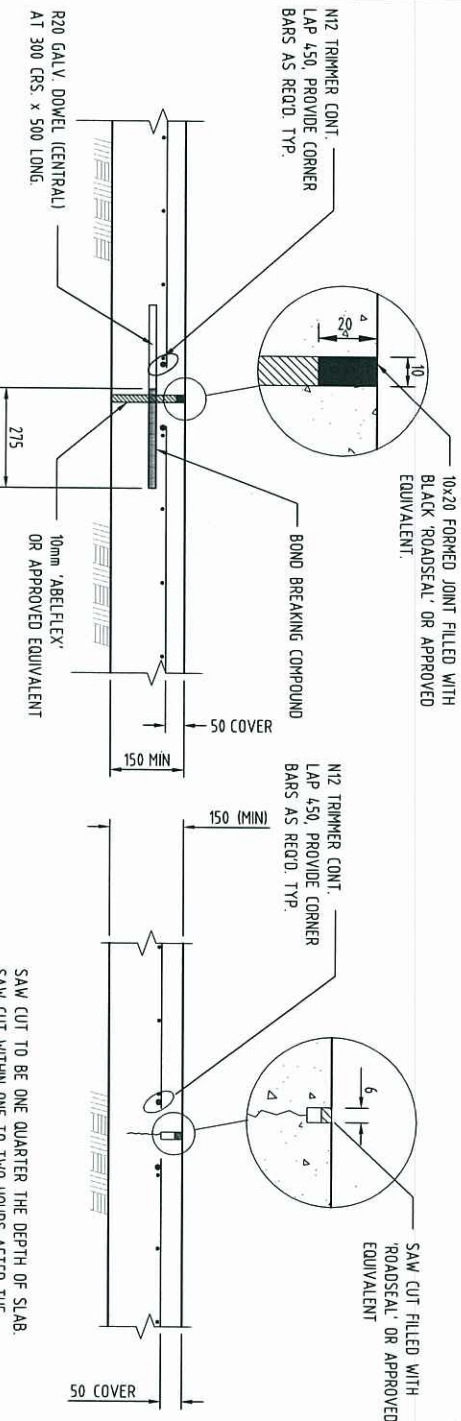
Not for Construction

CONCRETE

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND OTHER CURRENT AUSTRALIAN STANDARDS.
2. BEFORE CONCRETE IS PLACED, THE DRAWINGS SHALL BE EXAMINED FOR PROVISION OF OPENINGS OR CAST IN ITEMS OF ANY TRADE.
3. CONCRETE SHALL HAVE A SLUMP OF 80mm, A MAXIMUM AGGREGATE SIZE OF 20mm AND STRENGTH GRADE N32.
4. MECHANICALLY VIBRATE CONCRETE IN THE FORM TO ENSURE PROPER COMPACTION.
5. THE MATERIALS, DESIGN AND CONSTRUCTION OF FORMWORK SHALL COMPLY WITH AS3610.
6. ALL FORMED EXPOSED EDGES AND RE-ENTRANT CORNERS SHALL BE CHAMFERED OR FILED 20mm UNO.
7. STRIPPING OF FORMWORK SHALL COMPLY WITH SECTION 19 OF AS3600.

NOTE
ALL SETTING OUT IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO WORKS COMMENCING ON SITE. THE PRINCIPAL'S SURVEYOR SHALL PEG ALL ALLOTMENT BOUNDARIES, PROVIDE COORDINATE INFORMATION TO THESE PEGS AND PLACE BENCH MARKS. THE CONTRACTOR SHALL SET OUT THE WORKS FROM AND MAINTAIN THESE PEGS.

PLANS TO BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS.



DOVELLED CONSTRUCTION JOINT (DCJ)

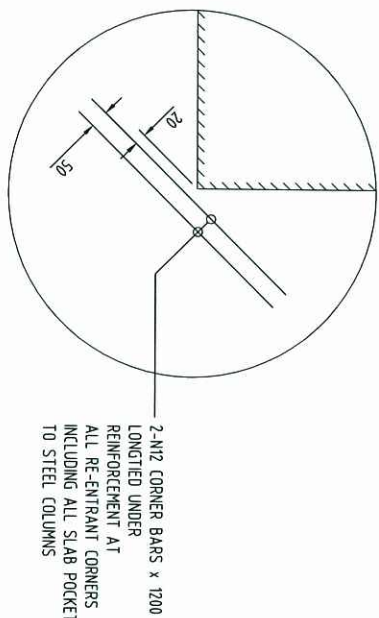
SCALE N.T.S.

SAWN JOINT (SJ)

SCALE 1:10

TYPICAL SLAB RE-ENTRANT CORNER DETAIL

NTS



LEGEND

— SJ — SJ
— DCJ — DCJ
DOVELLED CONSTRUCTION JOINT

PLANS AND DOCUMENTS
referred to in the ULDA
Approval dated 19 / 4 / 12

GENERAL

- G1. ACOR BASELINE CONSULTANTS SHALL BE REFERRED TO AS 'THE ENGINEER'.
- G2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. WHERE THERE IS A DISCREPANCY, THIS SHALL BE RESOLVED BY THE ENGINEER.
- G3. NOTES ON SPECIFIC DOCUMENTS TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE BUILDING ACT AND THE APPROPRIATE AND CURRENT AUSTRALIAN STANDARDS.
- G5. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
- G6. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- G7. SET-OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION OR FABRICATION ARE COMMENCED.
- G8. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G9. GENERAL NOTATIONS AND ABBREVIATIONS.
EW EACH WAY
FF EACH FACE
NF NEAR FACE
FF FAR FACE
HORIZ. HORIZONTAL
VERT. VERTICAL
CONT. CONTINUOUS
UNO. UNLESS NOTED OTHERWISE
TOP
BOTTOM
- R1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600, AS4671 AND OTHER RELEVANT AUSTRALIAN CODES.
- R2. REINFORCEMENT TYPE AND GRADE ARE AS DENOTED BELOW.

SYMBOL	GRADE	DUCTILITY	TYPE
N	500	N	DEFORMED RIBBED BAR
R	250	N	ROUND BAR
RF	500	L	DEFORMED RIBBED MESH

EXPOSURE CONDITION	COVER (mm)
(A) CONCRETE NORMALLY IN CONTACT WITH AIR	40
1. SLAB	45
2. OTHER THAN SLABS	
(A) CONCRETE IN CONTACT WITH EARTH OR FRESH WATER	50
1. SLAB OF BOX CULVERTS	50
2. OTHER THAN CULVERTS	
(C) CONCRETE IN AGGRESSIVE ENVIRONMENT	70
1. SLAB OF BOX CULVERTS	

BAR SIZE	MIN. LAP LENGTH (mm)	BAR SIZE	MIN. LAP LENGTH (mm)
N12	400 (500)	N16	500 (650)
N20	650 (850)	N24	750 (950)

- R4. REINFORCEMENT SHALL ONLY BE LAPPED WHERE SHOWN ON THE STRUCTURAL DRAWINGS AND LAP LENGTHS SHALL BE AS SHOWN BELOW. ADJACENT LAPS TO BE STAGGERED.
- R5. LAP LENGTHS SHOWN IN BRACKETS APPLY TO HORIZONTAL BARS WITH MORE THAN 300mm OF CONCRETE BELOW THE BAR.
- R6. FABRIC SHALL BE LAPPED SUCH THAT THE TWO OUTERMOST WIRES OF ONE SHEET OVERLAP THE TWO OUTERMOST WIRES OF THE OTHER.
- R7. REINFORCEMENT SHALL NOT BE BENT OR HEATED ON SITE WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- R8. ALL REINFORCEMENT SHALL BE SECURELY TIED AND POSITIONED ACCURATELY BY MEANS OF STEEL OR PLASTIC BAR CHAIRS OR OTHER APPROVED ACCESSORIES.
- R9. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.

G	RE-ISSUE FOR ULDA APPROVAL	20/03/12	JAK
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D	ISSUE FOR CLIENT REVIEW	29/11/11	JAK
C	ISSUE FOR CLIENT REVIEW	01/11/11	AJB
No.	REVISION	DATE	DRAWN

ASSOCIATED CONSULTANTS:	GEOTECHNICAL ENGINEERS
LANDSCAPE ARCHITECTS	LANDSCAPE ARCHITECTS
TOPOGRAPHICAL SURVEY	TOPOGRAPHICAL SURVEY

SCALE 1:10	SCALE 1:10
0 2 4 6 8 10 12 m	0 2 4 6 8 10 12 m
SCALE 1:250 @ A1	SCALE 1:250 @ A1

ACOR BASELINE CONSULTANTS	ENGINEERS
DEVELOPMENT CONSULTANTS	INFRASTRUCTURE PLANNERS
88 Victoria Street, West End	PO Box 3055
Brisbane, QLD 4101	Ph: 481 07 3444
www.acor.com.au	www.acor.com.au

APPROVED BY	RECD: 18/15
QUALITY ASSURED COMPANY	REGISTERED

CENTRAL QLD HOTELS GROUP

3 MACKENZIE STREET BLACKWATER

CONCRETE JOINTING PLAN AND DETAILS	Scale 1:250	Date 30/09/11
Designed AJB	Project No. BR110010	Drawn No. 700

