

The incorporation of appropriate building setbacks and interface treatments to the ultimate Beams Road overpass project subject to further compliance assessment

Outdoor car park distribution not part of this approval. Final layout subject to compliance approval under Condition 5 and to incorporate an appropriate shade tree a minimum every 5 car bays.

Incorporation of a landscaping buffer providing an appropriate visual buffer to the rail corridor required along length of boundary. E.g. a dense row of pine trees.

Footpath along rail corridor not part of this approval.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2020/1103  
 Date: 12 August 2021



Note: Building setbacks shown are indicative and subject to compliance assessment.

Detailed landscaping, public realm and built form design subject to compliance assessment

AMENDED IN RED  
 By: Chris Hinton  
 Date: 6 July 2021



ISSUE	DATE	DESCRIPTION	INITIAL
M	24.11.2020	REVISION	CM
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A	23.10.2017	PRELIMINARY ISSUE	MW



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CLIENT  
**BOB KELLY & CO PTY LTD**  
**ATF RJ & KO KELLY FAMILY TRUST**

PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD FITZGIBBON**

TITLE  
**SITE PLAN**

DATE  
**OCTOBER 2017**

SCALE  
**1:500 @ A1 1:1000 @ A3**

JOB NO  
 DRAWN  
**MW**

DRAWING NO  
**SK-02 M**

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**SITE STATISTICS**

ORIGINAL TITLE AREA	35,572m <sup>2</sup>
LESS BUSWAY RESUMPTION	8,216m <sup>2</sup>
LESS BEAMS ROAD SETBACK	3,366m <sup>2</sup>
EQUALS USABLE SITE AREA	23,990m <sup>2</sup>
SITE COVER	23.2% (8,273m <sup>2</sup> )
LANDSCAPING (20% minimum)	9,219m <sup>2</sup> (25.9%)
(WITH A MINIMUM OF 5% (1,779m <sup>2</sup> ) DEDICATED TO DEEP PLANTING)	
COMMUNAL RECREATION	4870m <sup>2</sup> (13.7%)
PRIVATE OPEN SPACE	26.9% (9604m <sup>2</sup> )
GFA	137% (48,911m <sup>2</sup> )

**APARTMENT SCHEDULE**

STAGE	BUILDING	1 BED	2 BED	3 BED	TOTAL
1	A	25	37	16	78
2	B	25	37	16	78
3	C	25	37	16	78
4	D	39	24	15	78
5	E	16	20	12	48
6	F	25	37	16	78
7	G	25	37	16	78
TOTAL		180	229	107	516
		35%	44%	21%	

**CARPARKING**

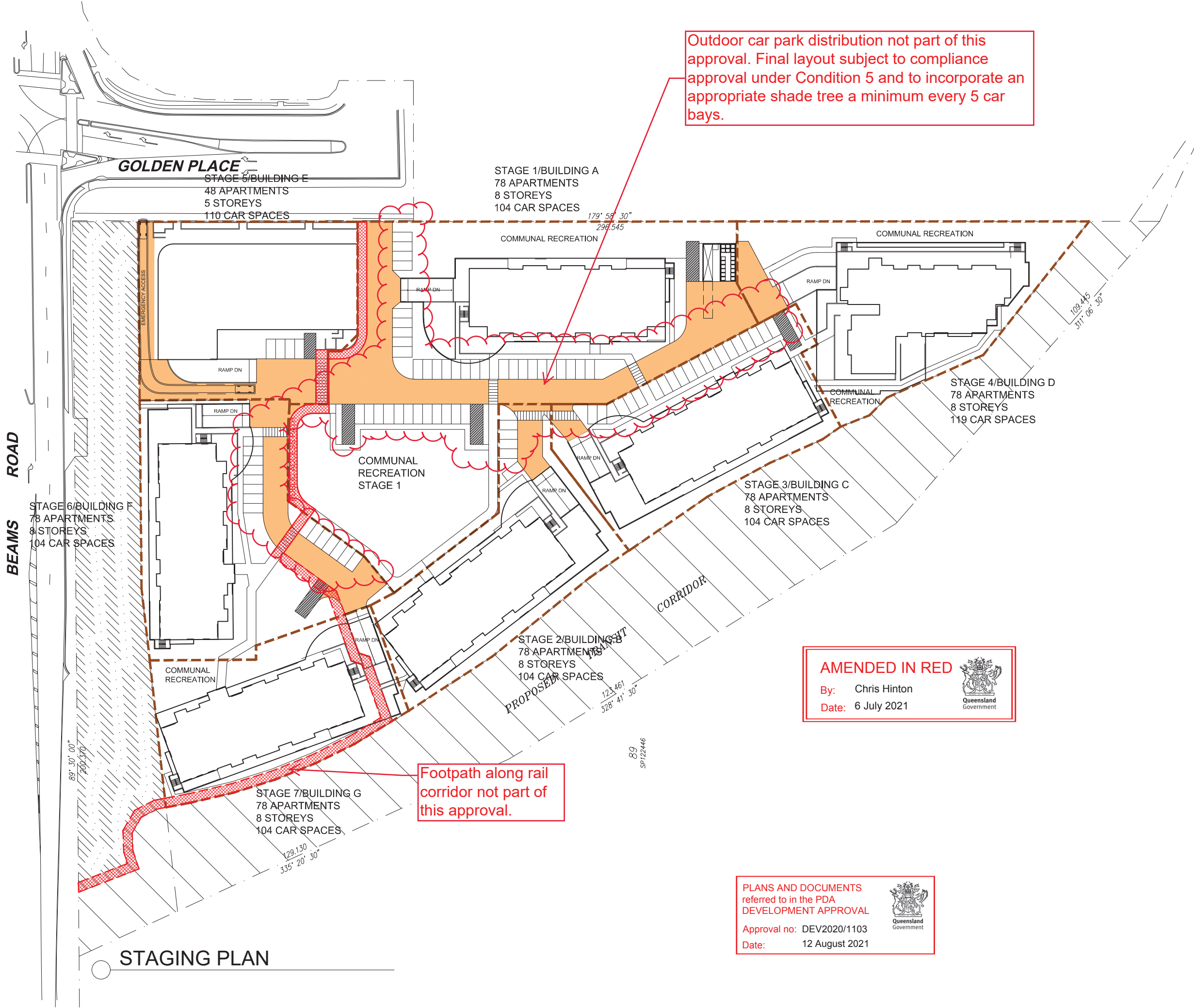
STAGE	BUILDING	TOTAL APARTMENTS	RESIDENT PARKS	VISITOR PARKS	COMMERCIAL PARKS	BICYCLE SPACES
1	A	78	104	38		63
2	B	78	104	5		63
3	C	78	104	19		63
4	D	78	119	0		39
5	E	48	110	4	28	63
6	F	78	104	15		63
7	G	78	104	0		63
TOTAL	7 BUILDINGS	516	749	81	28	417

**STAGE STATISTICS**

STAGE	STAGE AREA	SITE COVER	GFA	PRIVATE OPEN SPACE
1	7,226m <sup>2</sup>	15.9% (1,156m <sup>2</sup> )	7,317m <sup>2</sup>	1,449m <sup>2</sup>
2	2,418m <sup>2</sup>	47.8% (1,156m <sup>2</sup> )	7,317m <sup>2</sup>	1,449m <sup>2</sup>
3	2,633m <sup>2</sup>	43.9% (1,156m <sup>2</sup> )	7,317m <sup>2</sup>	1,449m <sup>2</sup>
4	3,195m <sup>2</sup>	34.2% (1,094m <sup>2</sup> )	6,692m <sup>2</sup>	1,419m <sup>2</sup>
5	2,793m <sup>2</sup>	50.0% (1,399m <sup>2</sup> )	5,634m <sup>2</sup>	940m <sup>2</sup>
6	3,363m <sup>2</sup>	34.3% (1,156m <sup>2</sup> )	7,317m <sup>2</sup>	1,449m <sup>2</sup>
7	2,363m <sup>2</sup>	48.9% (1,156m <sup>2</sup> )	7,317m <sup>2</sup>	1,449m <sup>2</sup>
TOTAL		23.2% (8,273m <sup>2</sup> )	48,911m <sup>2</sup>	9,604m <sup>2</sup>

**SITE PLAN**

Outdoor car park distribution not part of this approval. Final layout subject to compliance approval under Condition 5 and to incorporate an appropriate shade tree a minimum every 5 car bays.



Footpath along rail corridor not part of this approval.

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 By: Chris Hinton  
 Date: 6 July 2021



**PLANS AND DOCUMENTS**  
 referred to in the PDA  
**DEVELOPMENT APPROVAL**  
 Approval no: DEV2020/1103  
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490 BEAMS ROAD, FITZGIBBON  
 LOT 4 ON RP 80282  
 ORIGINAL TITLE AREA 35,572m<sup>2</sup>  
 BUSWAY RESUMPTION 8,216m<sup>2</sup>  
 BEAMS ROAD SETBACK 3,366m<sup>2</sup>  
 USABLE SITE AREA 23,990m<sup>2</sup>

STAGE 1	7,226m <sup>2</sup>
STAGE 2	2,418m <sup>2</sup>
STAGE 3	2,633m <sup>2</sup>
STAGE 4	3,195m <sup>2</sup>
STAGE 5	2,793m <sup>2</sup>
STAGE 6	3,363m <sup>2</sup>
STAGE 7	2,363m <sup>2</sup>

 COMMUNITY TITLE SCHEME ROADS WITHIN PROPERTY BOUNDARY

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PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD FITZGIBBON**

TITLE  
**STAGING PLAN**

DATE **OCTOBER 2017**

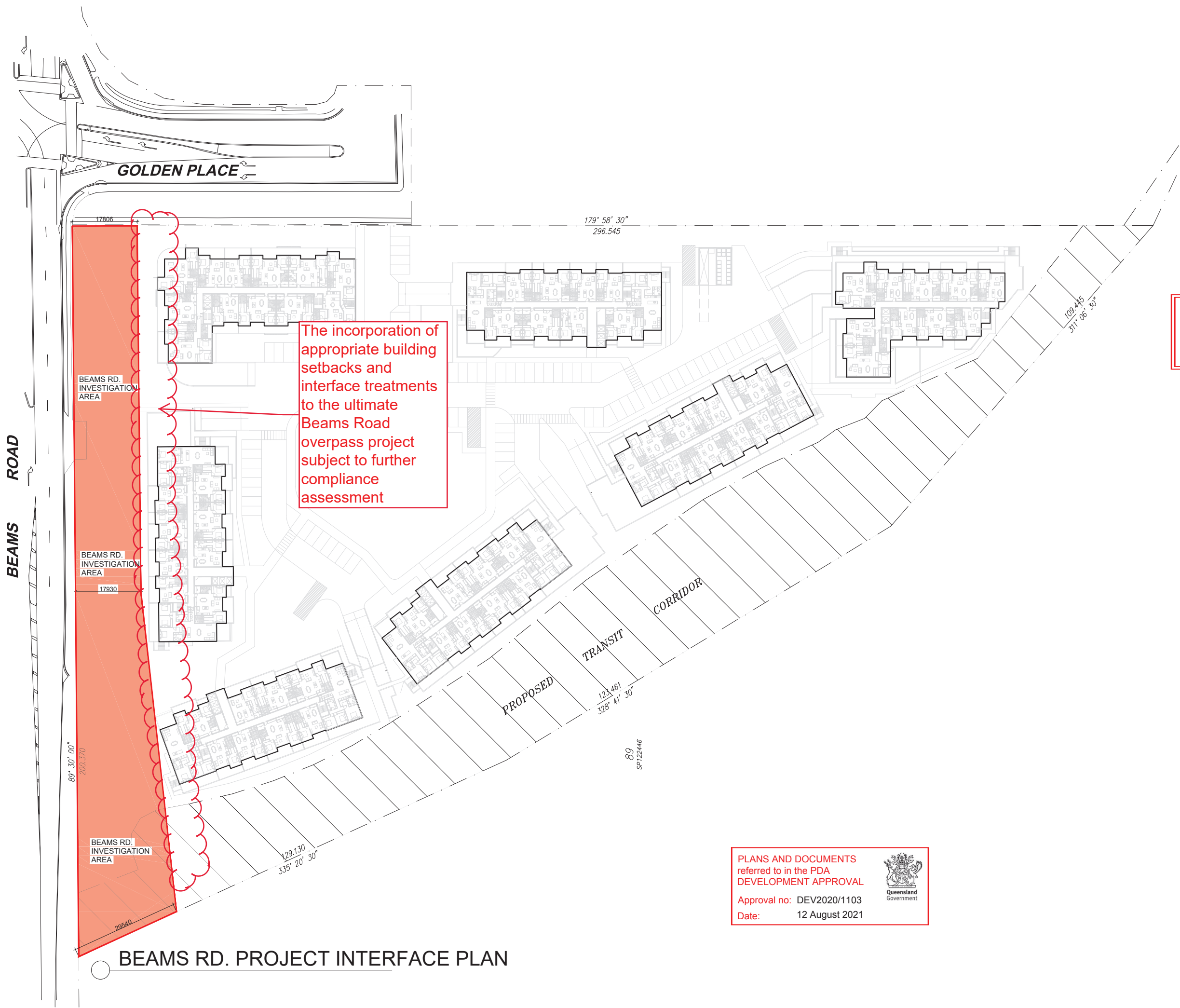
SCALE **1:500@ A1 1:1000 @ A3**

JOB NO. DRAWN **MW**

DRAWING NO. **SK-03** M

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**STAGING PLAN**



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**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD FITZGIBBON**

TITLE

**BEAMS RD. PROJECT INTERFACE PLAN**

DATE **OCTOBER 2017**


SCALE **1:500@ A1 1:1000 @ A3**

JOB NO - DRAWN **MW**

DRAWING NO **SK-03A** M

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**BEAMS RD. PROJECT INTERFACE PLAN**

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BEAMS ROAD

STAGE 6/BUILDING F  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

GOLDEN PLACE  
 STAGE 5/BUILDING E  
 48 APARTMENTS  
 5 STOREYS  
 110 CAR SPACES

STAGE 1/BUILDING A  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 4/BUILDING D  
 78 APARTMENTS  
 8 STOREYS  
 119 CAR SPACES

STAGE 3/BUILDING C  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 2/BUILDING B  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 7/BUILDING G  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

COMMUNAL RECREATION  
 STAGE 1

PROPOSED RAIL CORRIDOR

Incorporation of a landscaping buffer providing an appropriate visual buffer to the rail corridor required along length of boundary. E.g. a dense row of pine trees.

Footpath along rail corridor not part of this approval.

SITE PLAN GROUND LEVEL

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PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
**490 BEAMS ROAD FITZGIBBON**

TITLE  
**SITE PLAN GROUND LEVEL**

DATE **OCTOBER 2017**

SCALE **1:500@ A1 1:1000 @ A3**

JOB NO. DRAWN **MW**

DRAWING NO. **SK-04** M

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Detailed built form design subject to compliance assessment

**GOLDEN PLACE**

STAGE 5/BUILDING E  
 48 APARTMENTS  
 5 STOREYS  
 110 CAR SPACES

STAGE 1/BUILDING A  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 4/BUILDING D  
 78 APARTMENTS  
 8 STOREYS  
 119 CAR SPACES

STAGE 3/BUILDING C  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 2/BUILDING B  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 7/BUILDING G  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 6/BUILDING F  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

BEAMS ROAD

CORRIDOR

PROPOSED DRIVEWAY

**SITE PLAN LEVEL 1-6**

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**490 BEAMS ROAD  
 FITZGIBBON**

TITLE  
**SITE PLAN LEVEL 1-6**

DATE **OCTOBER 2017**

SCALE **1:500@ A1 1:1000 @ A3**

JOB NO - DRAWN **MW**

DRAWING NO **SK-05** M

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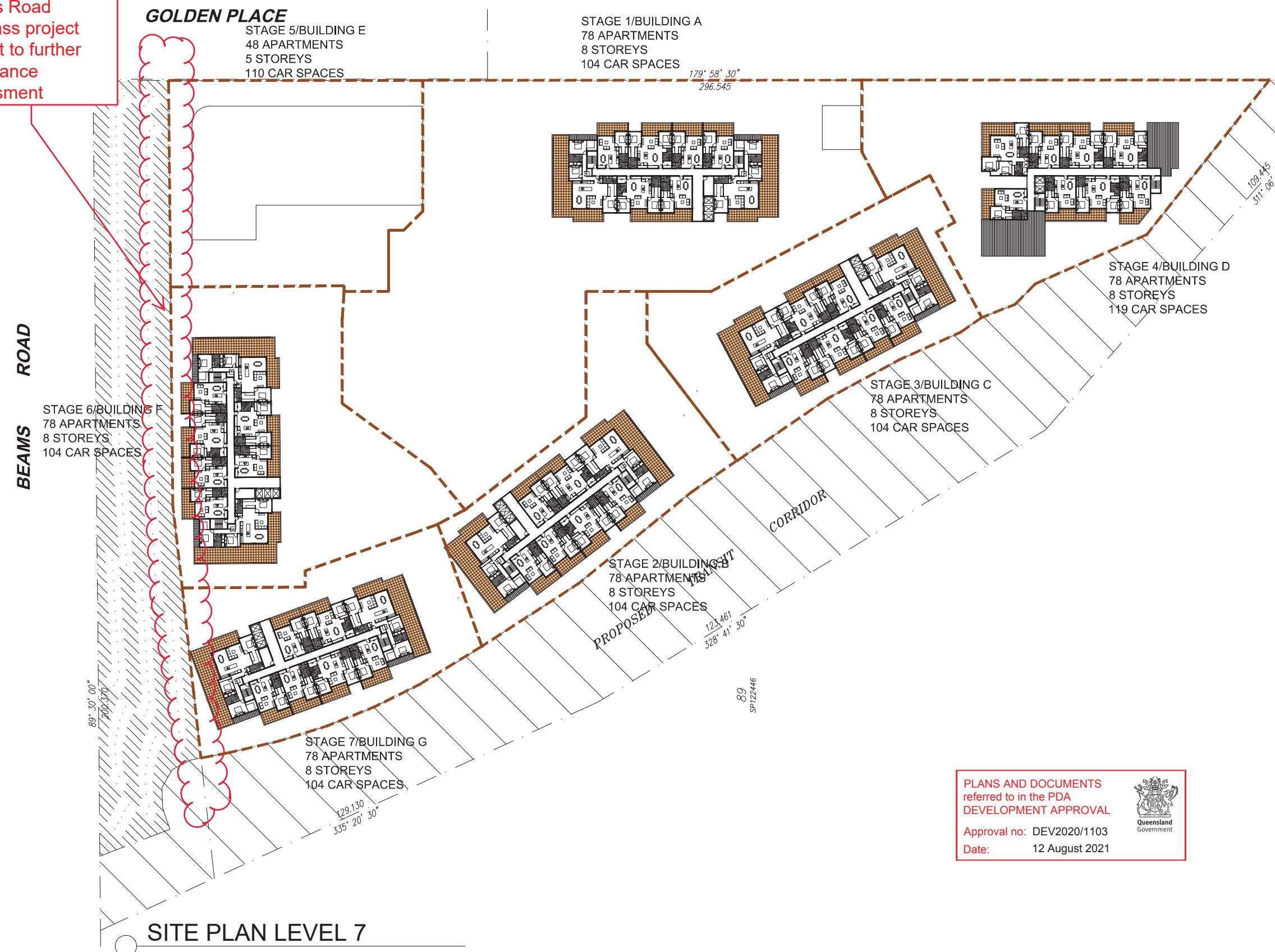


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**490 BEAMS ROAD FITZGIBBON**

TITLE  
**SITE PLAN LEVEL 7**

DATE **OCTOBER 2017**

SCALE **1:500@ A1 1:1000 @ A3**

JOB NO - DRAWN **MW**

DRAWING NO **SK-06** M

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**SITE PLAN LEVEL 7**

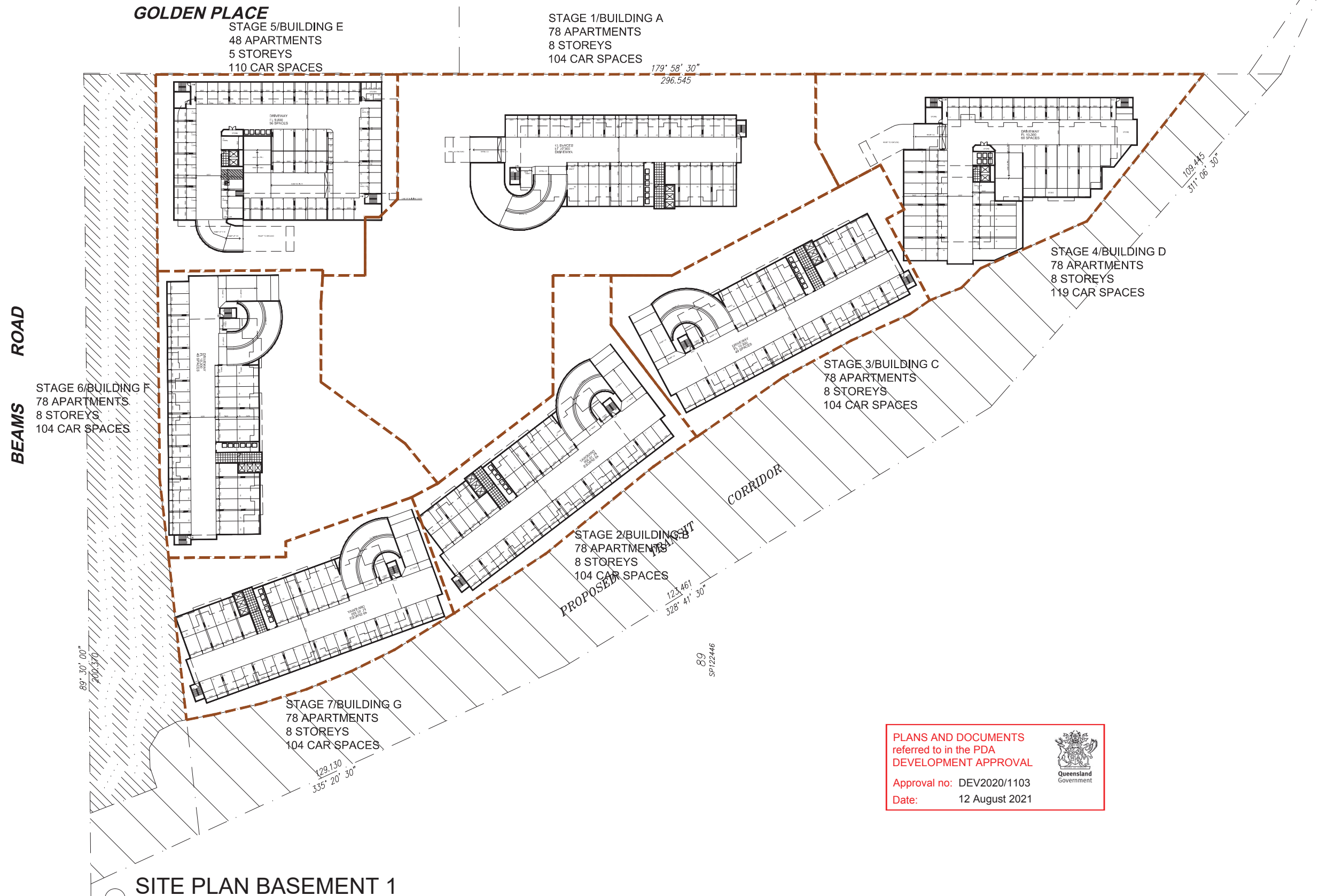
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PROJECT  
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DEVELOPMENT**

**490 BEAMS ROAD  
FITZGIBBON**

TITLE  
**SITE PLAN BASEMENT 1**

DATE  
OCTOBER 2017

SCALE  
1:500@ A1 1:1000 @ A3

JOB NO  
DRAWN  
MW

DRAWING NO  
SK-07  
M

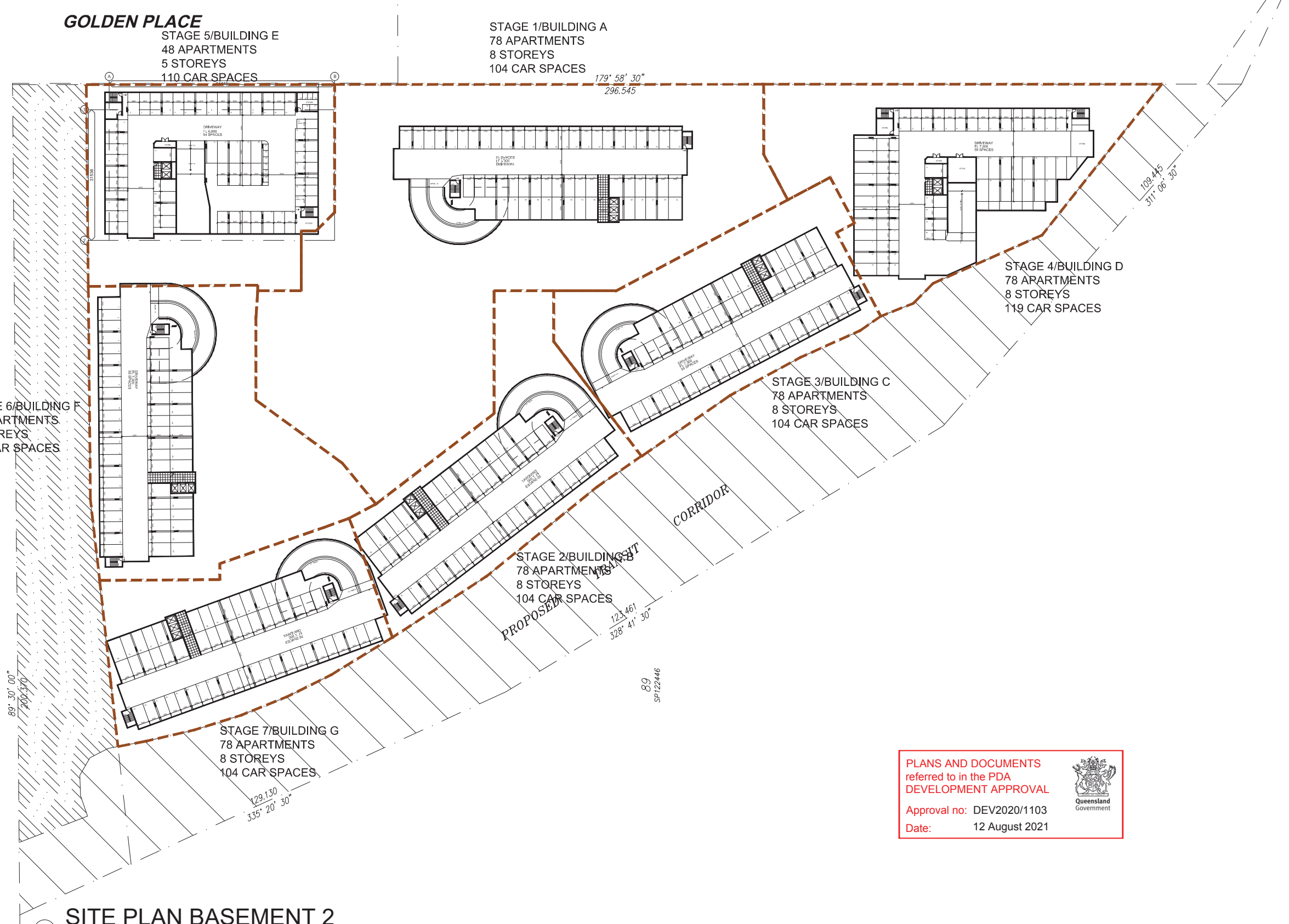
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SITE PLAN BASEMENT 1

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**GOLDEN PLACE**  
 STAGE 5/BUILDING E  
 48 APARTMENTS  
 5 STOREYS  
 110 CAR SPACES

STAGE 1/BUILDING A  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 4/BUILDING D  
 78 APARTMENTS  
 8 STOREYS  
 119 CAR SPACES

STAGE 3/BUILDING C  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 2/BUILDING B  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 7/BUILDING G  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

STAGE 6/BUILDING F  
 78 APARTMENTS  
 8 STOREYS  
 104 CAR SPACES

BEAMS ROAD

**SITE PLAN BASEMENT 2**

**PLANS AND DOCUMENTS**  
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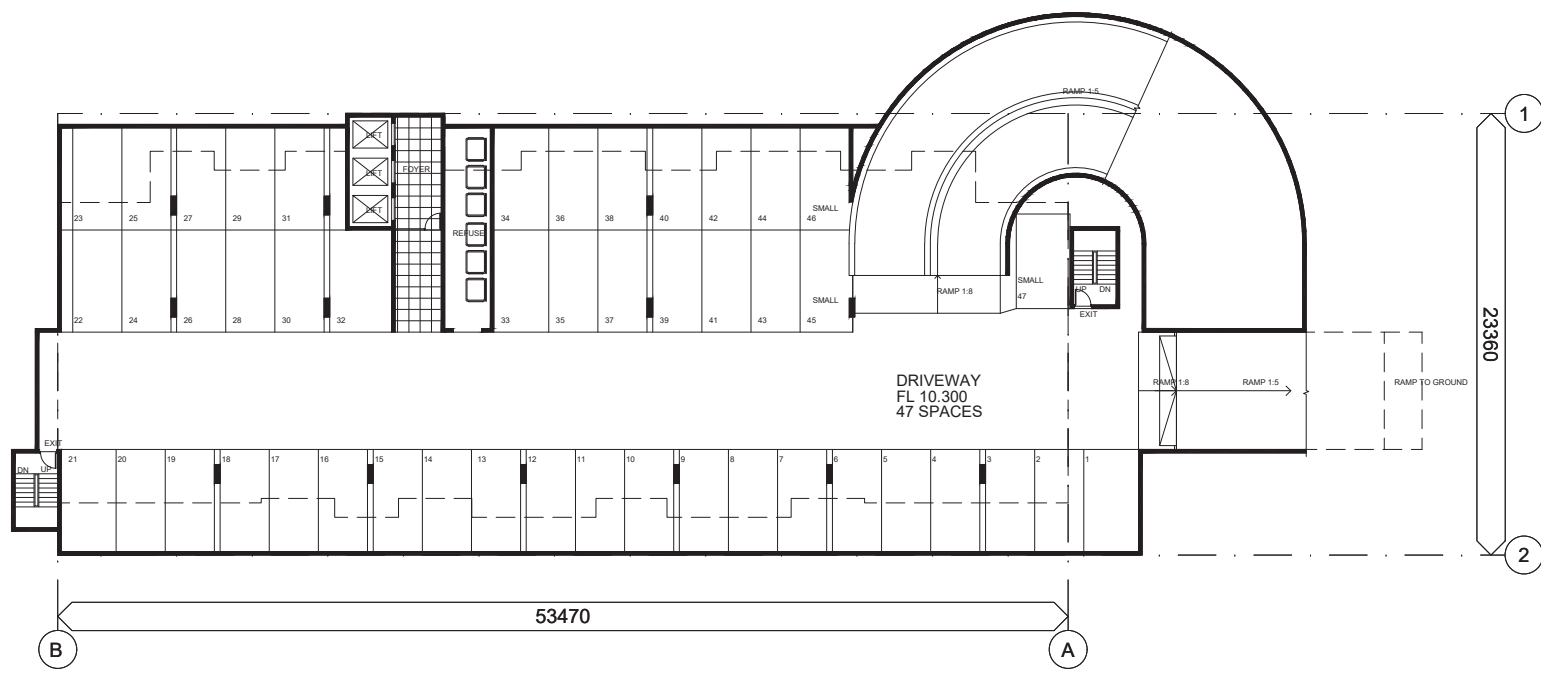
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**490 BEAMS ROAD FITZGIBBON**  
 TITLE  
**SITE PLAN BASEMENT 2**

DATE **OCTOBER 2017**  
 SCALE **1:500@ A1 1:1000 @ A3**  
 JOB NO - DRAWN **MW**  
 DRAWING NO **SK-08** M






Design indicative only.  
Detailed built form design  
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assessment

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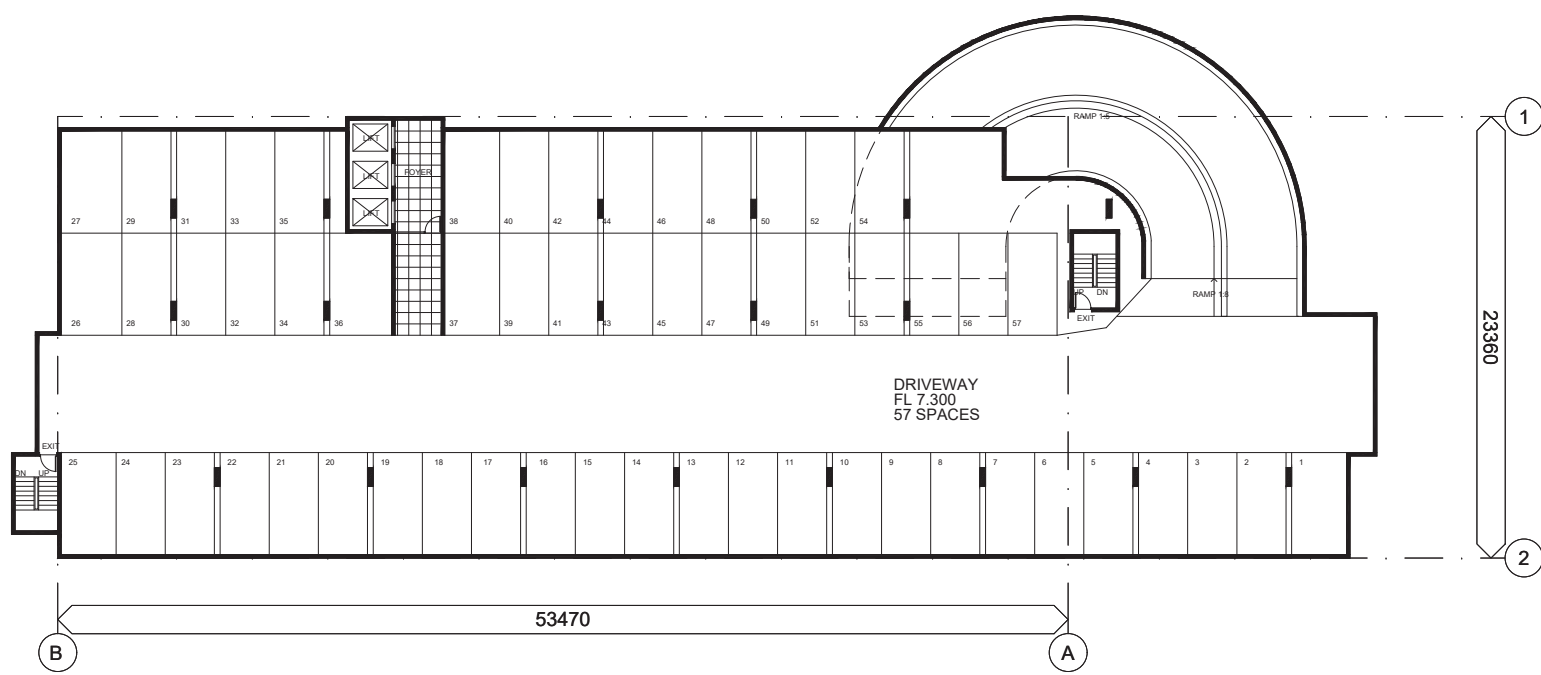


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BUILDING A BASEMENT 1 FLOOR PLAN



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**PROPOSED RESIDENTIAL  
DEVELOPMENT**

**490 BEAMS ROAD  
FITZGIBBON**

TITLE  
**BUILDING A BASEMENT  
1/2 FLOOR PLAN**

DATE **OCTOBER 2017**

SCALE **1:200@ A1 1:400 @ A3**

JOB NO. DRAWN **MW**

DRAWING NO. **SK-09** L

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BUILDING A BASEMENT 2 FLOOR PLAN

47 LEVEL 1  
57 LEVEL 2  
104 TOTAL

296.545  
179' 58" 30"

296.545  
179' 58" 30"



TOTAL APARTMENTS		
1 BED	25	32%
2 BED	37	47%
3 BED	16	21%
TOTAL	78	

ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS.  
 PS... METAL PRIVACY SCREEN  
 SB... SOLID, GAP FREE BALUSTRADE AS REQUIRED BY SDAP STATE CODE 2



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AMENDED IN RED

By: Chris Hinton  
 Date: 6 July 2021



BUILDING A LEVEL 0 - 6 FLOOR PLAN

FLOOR LEVELS	
LEVEL 0	FL 13.800
LEVEL 1	FL 16.800
LEVEL 2	FL 19.800
LEVEL 3	FL 22.800
LEVEL 4	FL 25.800
LEVEL 5	FL 28.800
LEVEL 6	FL 31.800
LEVEL 7	FL 34.800



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ISSUE	DATE	DESCRIPTION	INITIAL
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C	10.04.2019	REVISION	CM
B	03.08.2018	REVISION HEIGHTS	MW
A	23.10.2017	PRELIMINARY ISSUE	MW

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32 Thomas Street West End 4101  
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CLIENT

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 ATF RJ & KO KELLY FAMILY TRUST

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT

490 BEAMS ROAD FITZGIBBON

TITLE  
 BUILDING A FLOOR PLANS

DATE OCTOBER 2017

SCALE 1:125@ A1 1:250 @ A3

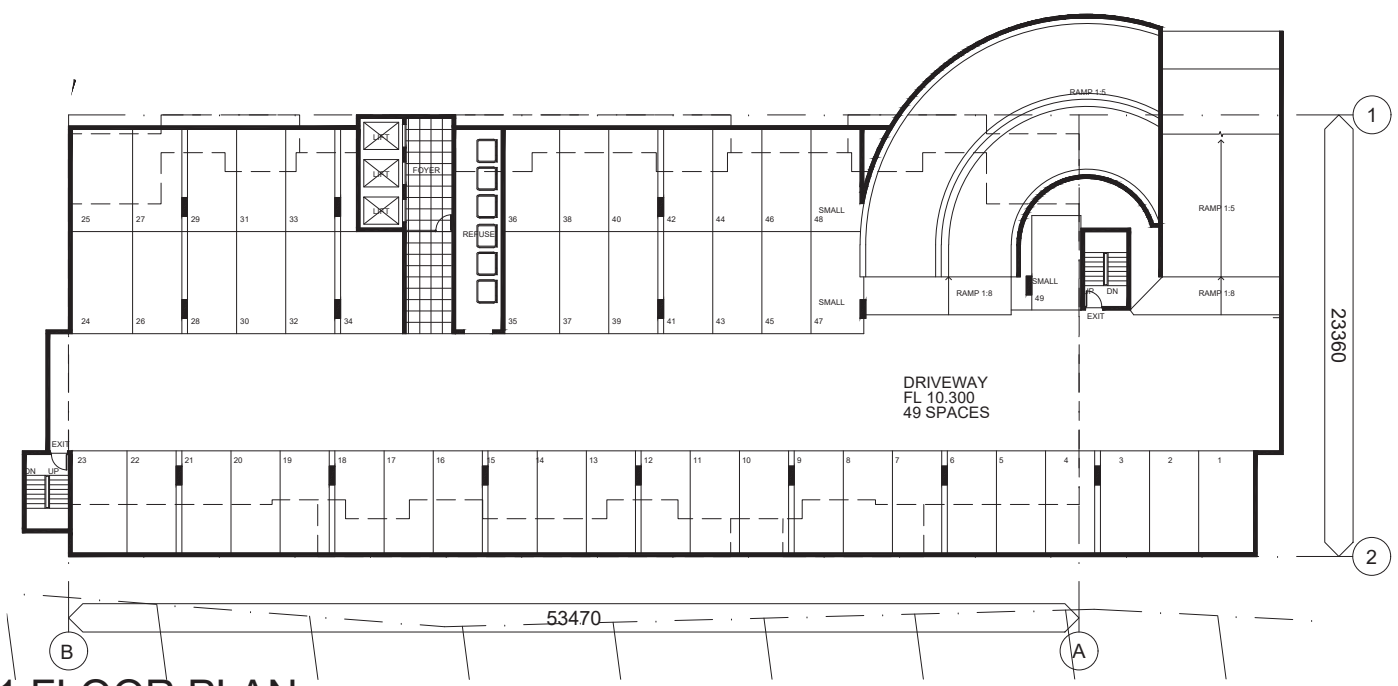
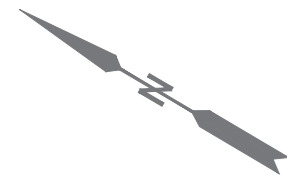
JOB NO. DRAWN MW

DRAWING NO SK-10 L

WILTSHIRE STEVENS ARCHITECTS PTY LTD  
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BUILDING A LEVEL 7 FLOOR PLAN

296.545  
 179.58'30"



BUILDING B BASEMENT 1 FLOOR PLAN

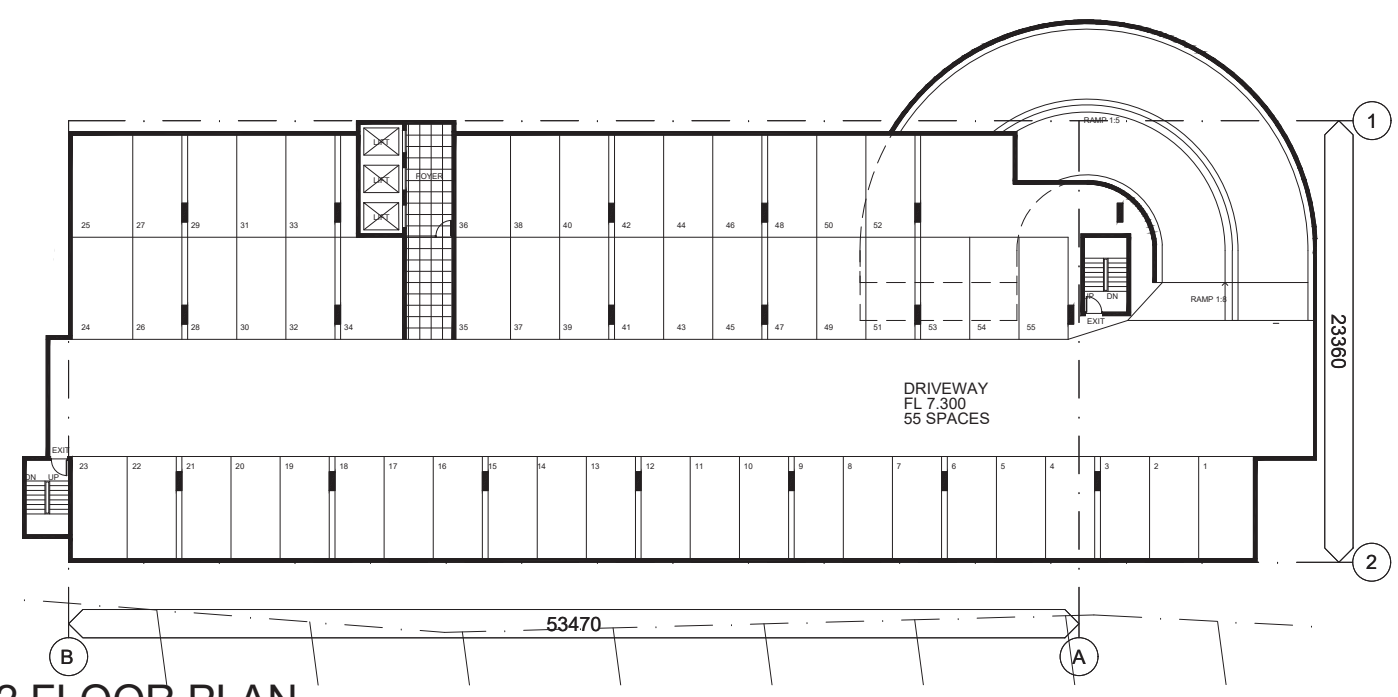
Design indicative only.  
Detailed built form design  
subject to compliance  
assessment

**AMENDED IN RED**  
By: Chris Hinton  
Date: 6 July 2021



**PLANS AND DOCUMENTS**  
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**DEVELOPMENT APPROVAL**

Approval no: DEV2020/1103  
Date: 12 August 2021

BUILDING B BASEMENT 2 FLOOR PLAN

49 LEVEL 1  
55 LEVEL 2  
104 TOTAL

ISSUE	DATE	DESCRIPTION	INITIAL
L	14.10.2020	REVISION	MP
K	09.09.2020	REVISION	MP
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**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD FITZGIBBON**

TITLE  
**BUILDING B BASEMENT 1/2 FLOOR PLAN**

DATE  
OCTOBER 2017

SCALE  
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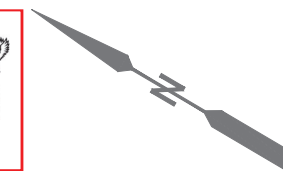
JOB NO  
DRAWN  
MW

DRAWING NO  
SK-11  
L

TOTAL APARTMENTS		
1 BED	25	32%
2 BED	37	47%
3 BED	16	21%
TOTAL	78	

ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS.  
 PS... METAL PRIVACY SCREEN  
 SB... SOLID, GAP FREE BALUSTRADE AS REQUIRED BY SDAP STATE CODE 2

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
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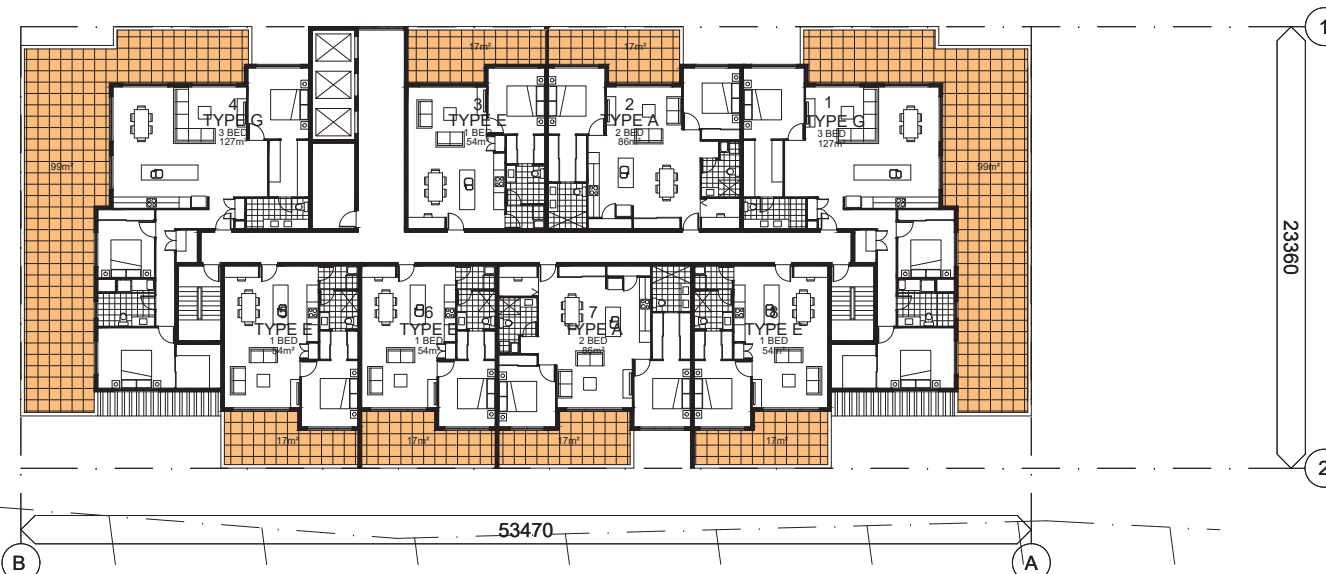


FLOOR LEVELS	
LEVEL G	FL 13.800
LEVEL 1	FL 16.800
LEVEL 2	FL 19.800
LEVEL 3	FL 22.800
LEVEL 4	FL 25.800
LEVEL 5	FL 28.800
LEVEL 6	FL 31.800
LEVEL 7	FL 34.800

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BUILDING B LEVEL 0 - 6 FLOOR PLAN



BUILDING B LEVEL 7 FLOOR PLAN



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PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT

490 BEAMS ROAD FITZGIBBON

TITLE  
 BUILDING B FLOOR PLANS

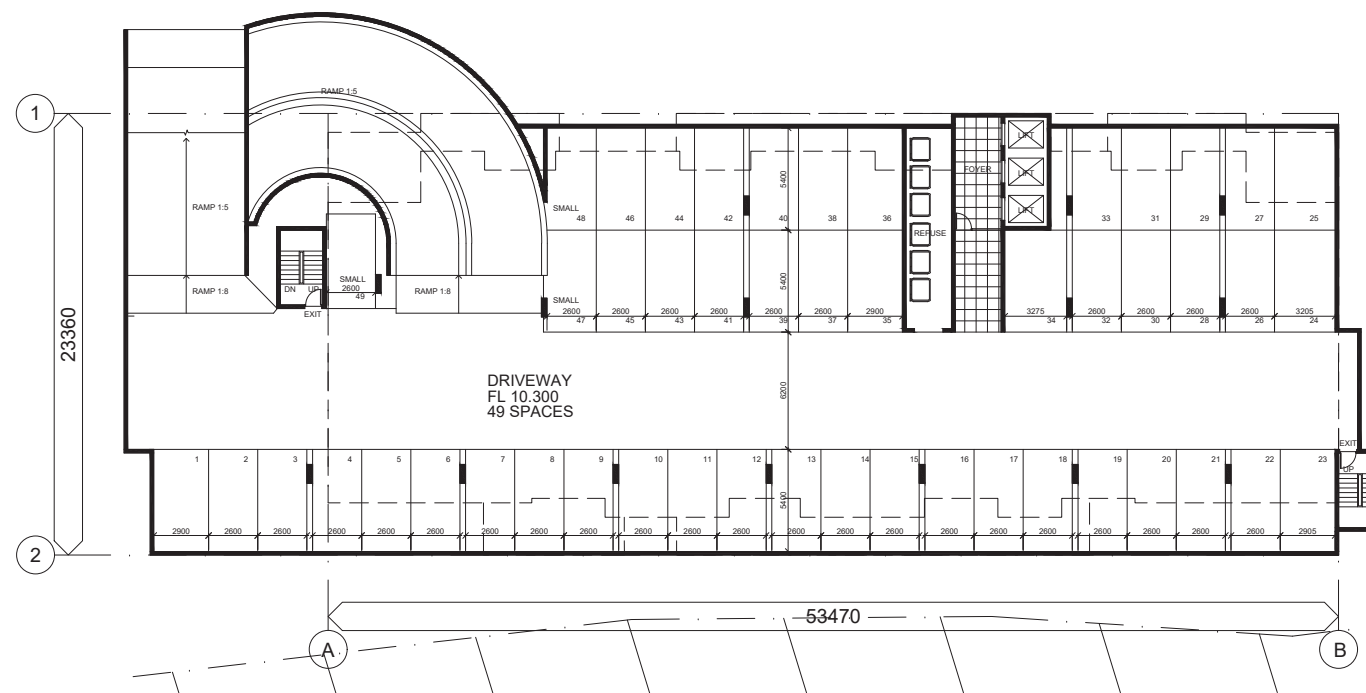
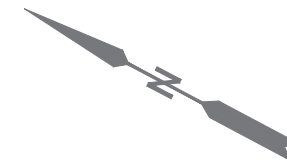
DATE OCTOBER 2017

SCALE 1:200 @ A1 1:400 @ A3

JOB NO. DRAWN MW

DRAWING NO. SK-12 L

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**BUILDING C BASEMENT 1 FLOOR PLAN**

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assessment

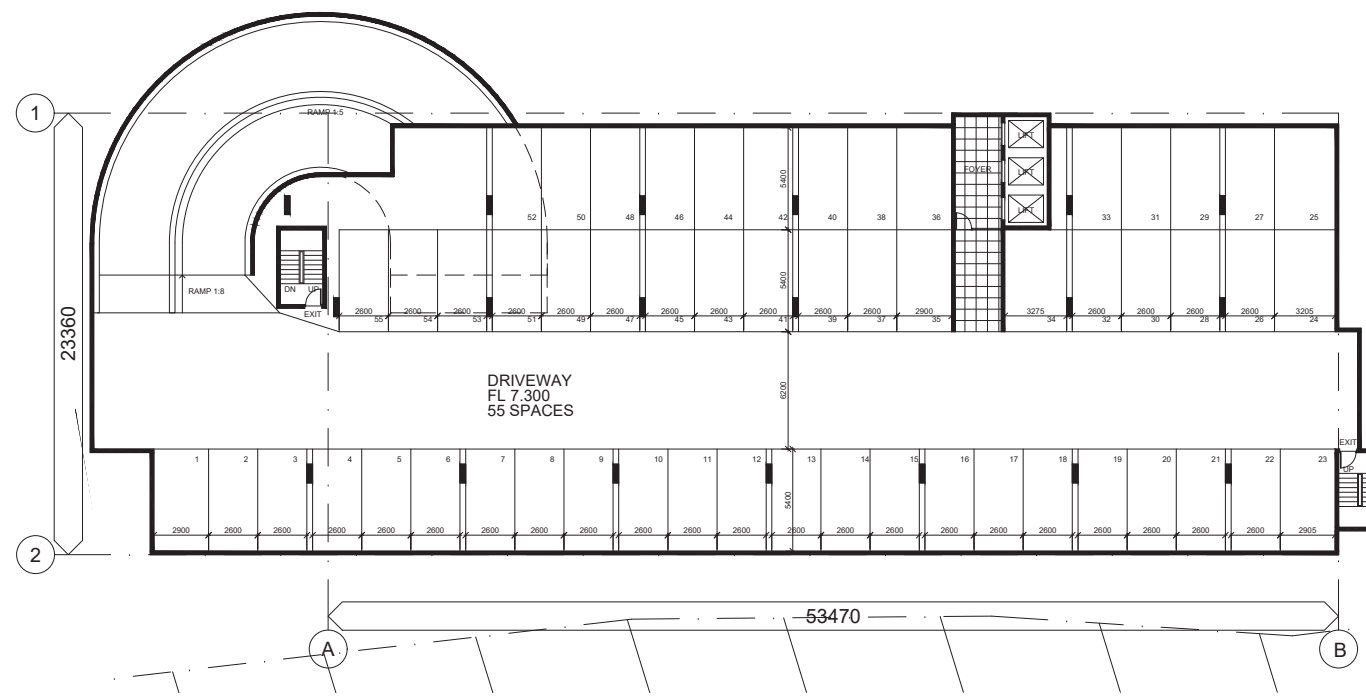
**AMENDED IN RED**  
By: Chris Hinton  
Date: 6 July 2021



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Approval no: DEV2020/1103  
Date: 12 August 2021



**BUILDING C BASEMENT 2 FLOOR PLAN**

49 LEVEL 1  
55 LEVEL 2  
104 TOTAL

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PROJECT  
**PROPOSED RESIDENTIAL  
DEVELOPMENT**

**490 BEAMS ROAD  
FITZGIBBON**

TITLE  
**BUILDING C BASEMENT  
1/2 FLOOR PLAN**

DATE  
OCTOBER 2017

SCALE  
1:200@ A1 1:400 @ A3

JOB NO  
DRAWN  
MW

DRAWING NO  
SK-13  
L



BUILDING C LEVEL 0 - 6 FLOOR PLAN



BUILDING C LEVEL 7 FLOOR PLAN

TOTAL APARTMENTS		
1 BED	25	32%
2 BED	37	47%
3 BED	16	21%
<b>TOTAL</b>	<b>78</b>	

ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS.  
 PS... METAL PRIVACY SCREEN  
 SB... SOLID, GAP FREE BALUSTRADE AS REQUIRED BY SDAP STATE CODE 2

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FLOOR LEVELS	
LEVEL G	FL 13.800
LEVEL 1	FL 16.800
LEVEL 2	FL 19.800
LEVEL 3	FL 22.800
LEVEL 4	FL 25.800
LEVEL 5	FL 28.800
LEVEL 6	FL 31.800
LEVEL 7	FL 34.800

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E	22.11.2019	REVISION	MP
D	09.09.2019	REVISION	CM
C	10.04.2019	REVISION	CM
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PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD FITZGIBBON**

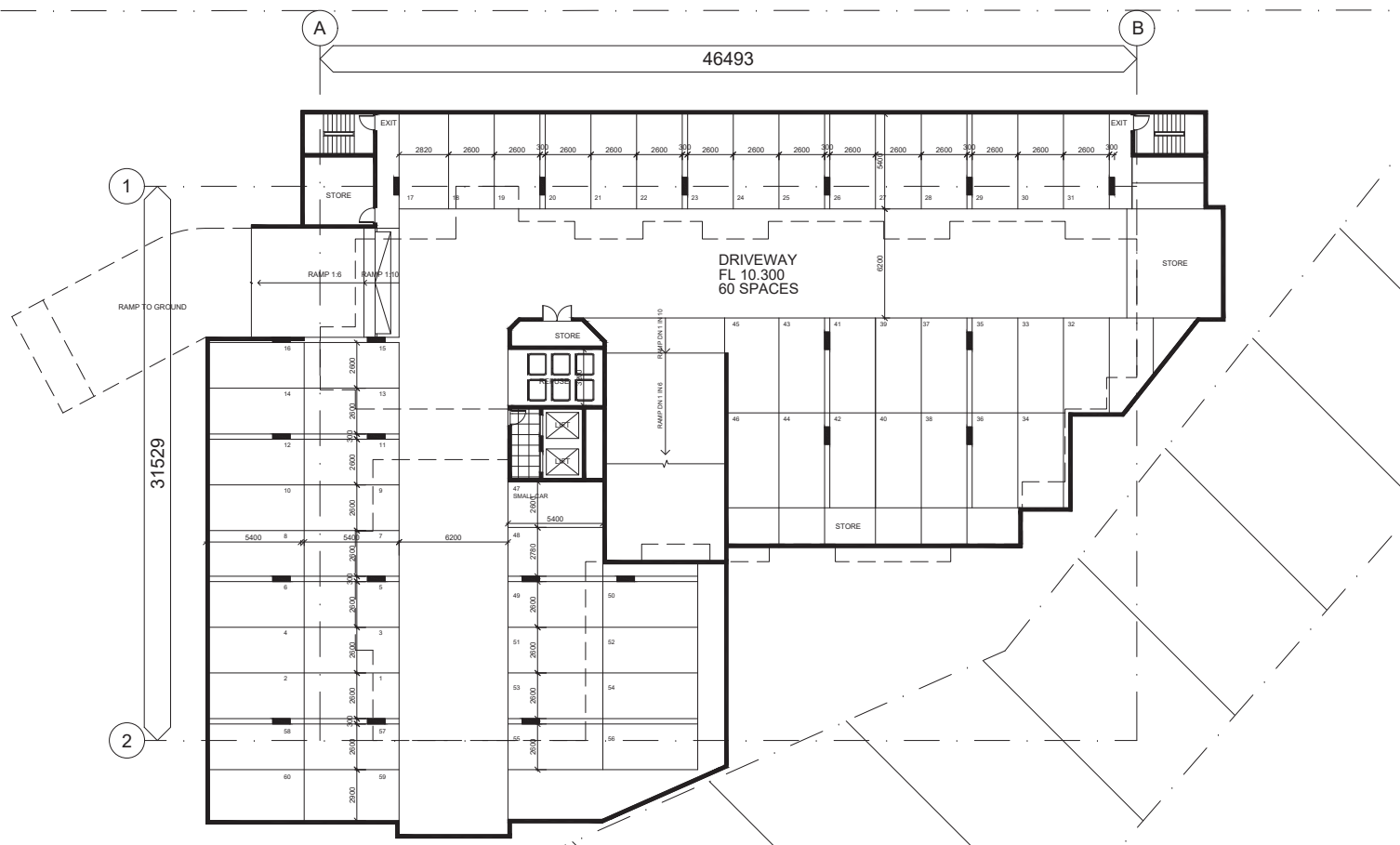
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DATE **OCTOBER 2017**

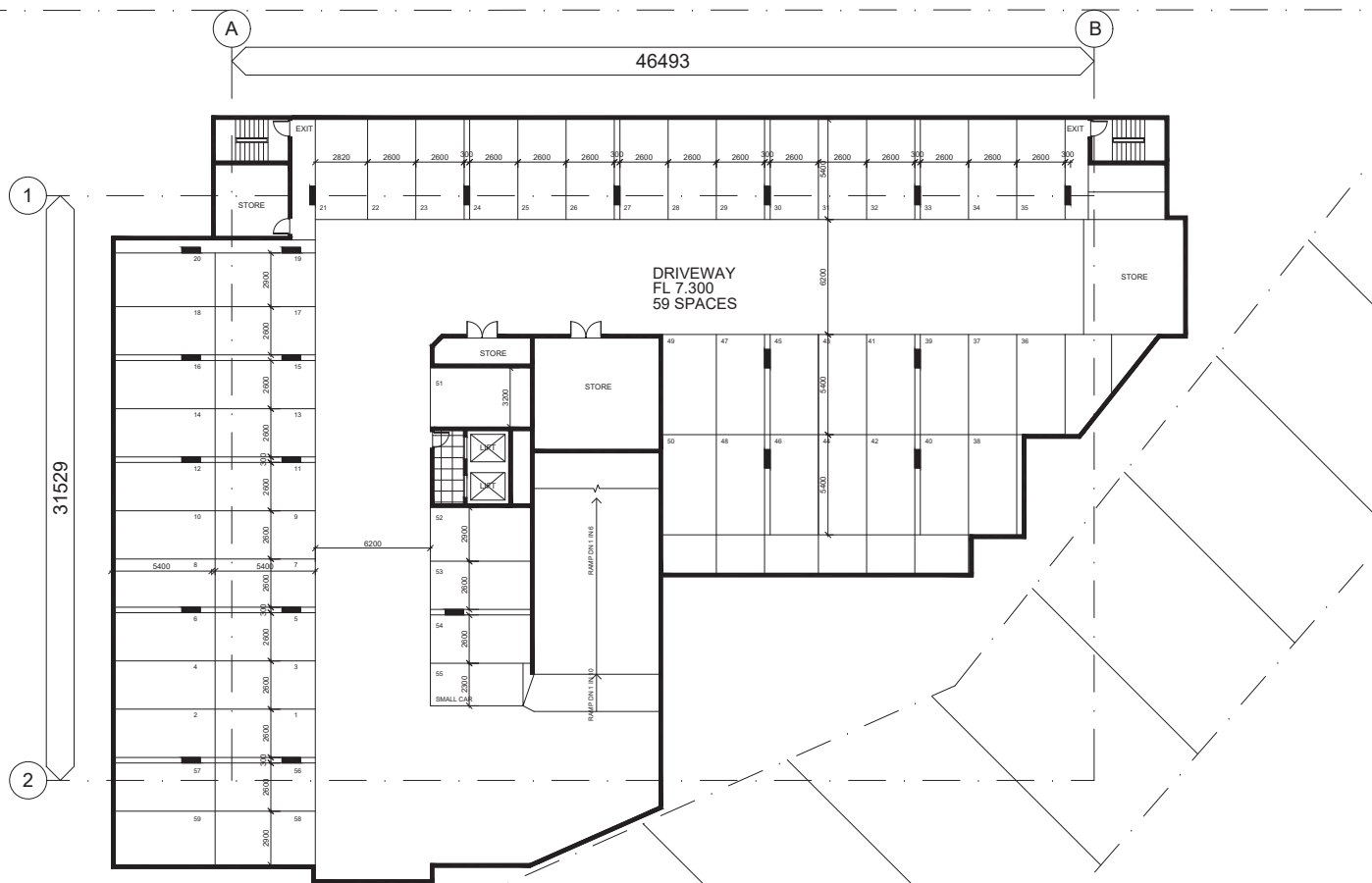
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JOB NO. DRAWN **MW**

DRAWING NO. **SK-14** L



**BUILDING D BASEMENT 1 FLOOR PLAN**



**BUILDING D BASEMENT 2 FLOOR PLAN**

60 LEVEL 1  
59 LEVEL 2  
119 TOTAL

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
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PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD  
 FITZGIBBON**

TITLE  
**BUILDING D BASEMENT  
 1/2 FLOOR PLAN**

DATE **OCTOBER 2017**

SCALE **1:200@ A1 1:400 @ A3**

JOB NO. DRAWN **MW**

DRAWING NO. **SK-15** L



BUILDING D LEVEL 0 - 6 FLOOR PLAN



BUILDING D LEVEL 7 FLOOR PLAN

FLOOR LEVELS

LEVEL G	FL 13.800
LEVEL 1	FL 16.800
LEVEL 2	FL 19.800
LEVEL 3	FL 22.800
LEVEL 4	FL 25.800
LEVEL 5	FL 28.800
LEVEL 6	FL 31.800
LEVEL 7	FL 34.800

TOTAL APARTMENTS

1 BED	39	50%
2 BED	24	31%
3 BED	15	19%
TOTAL	78	

- ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS.
- PS... METAL PRIVACY SCREEN
- SB... SOLID, GAP FREE BALUSTRADE AS REQUIRED BY SDAP STATE CODE 2



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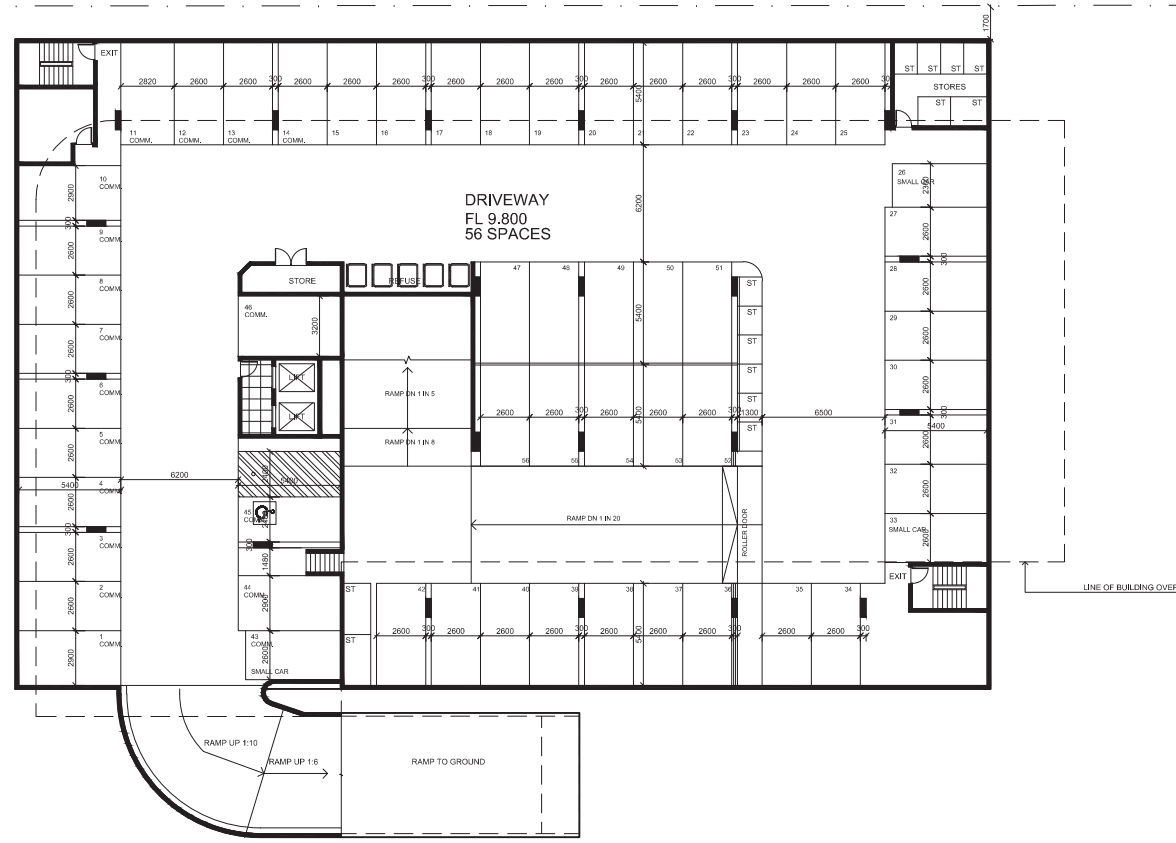
PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
**490 BEAMS ROAD FITZGIBBON**  
 TITLE  
**BUILDING D FLOOR PLANS**

DATE **OCTOBER 2017**  
 SCALE **1:200@ A1 1:400 @ A3**  
 JOB NO. DRAWN **MW**  
 DRAWING NO. **SK-16** L





BEAMS RD. 20M SETBACK ZONE



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Date: 6 July 2021

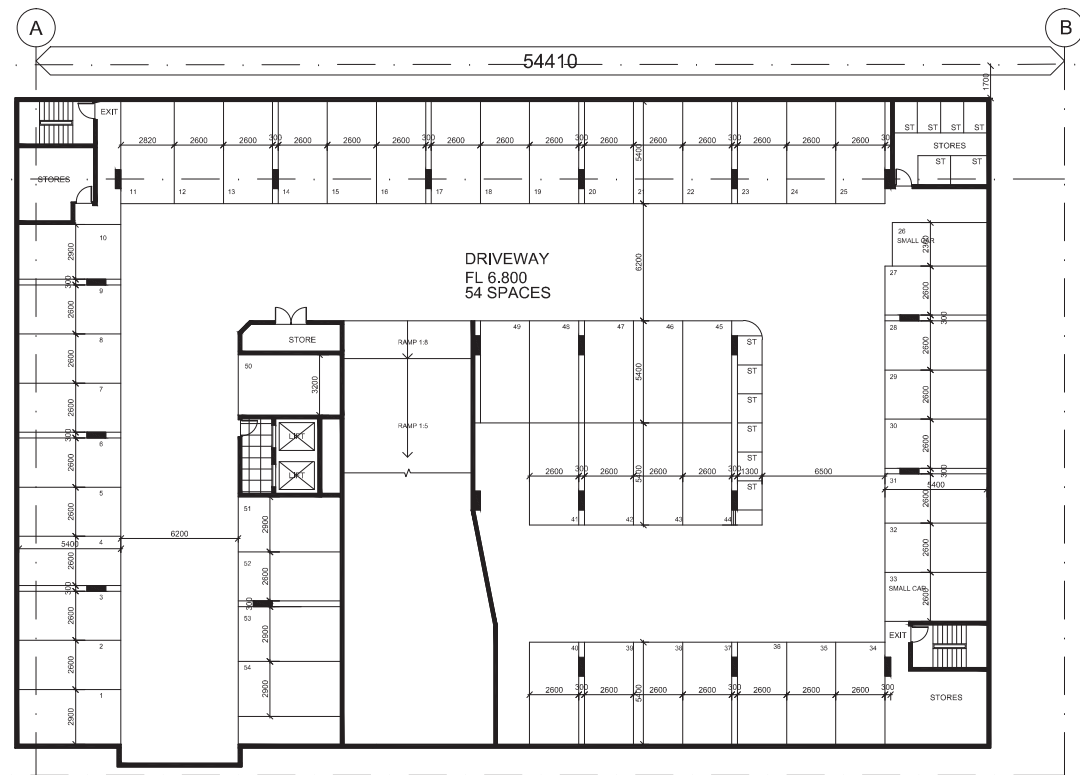


PLANS AND DOCUMENTS  
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**BUILDING E BASEMENT 1 FLOOR PLAN**

BEAMS RD. 20M SETBACK ZONE



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PROJECT  
**PROPOSED RESIDENTIAL  
DEVELOPMENT**

**490 BEAMS ROAD  
FITZGIBBON**

TITLE  
**BUILDING E BASEMENT  
1/2 FLOOR PLAN**

DATE **OCTOBER 2017**

SCALE **1:200@ A1 1:400 @ A3**

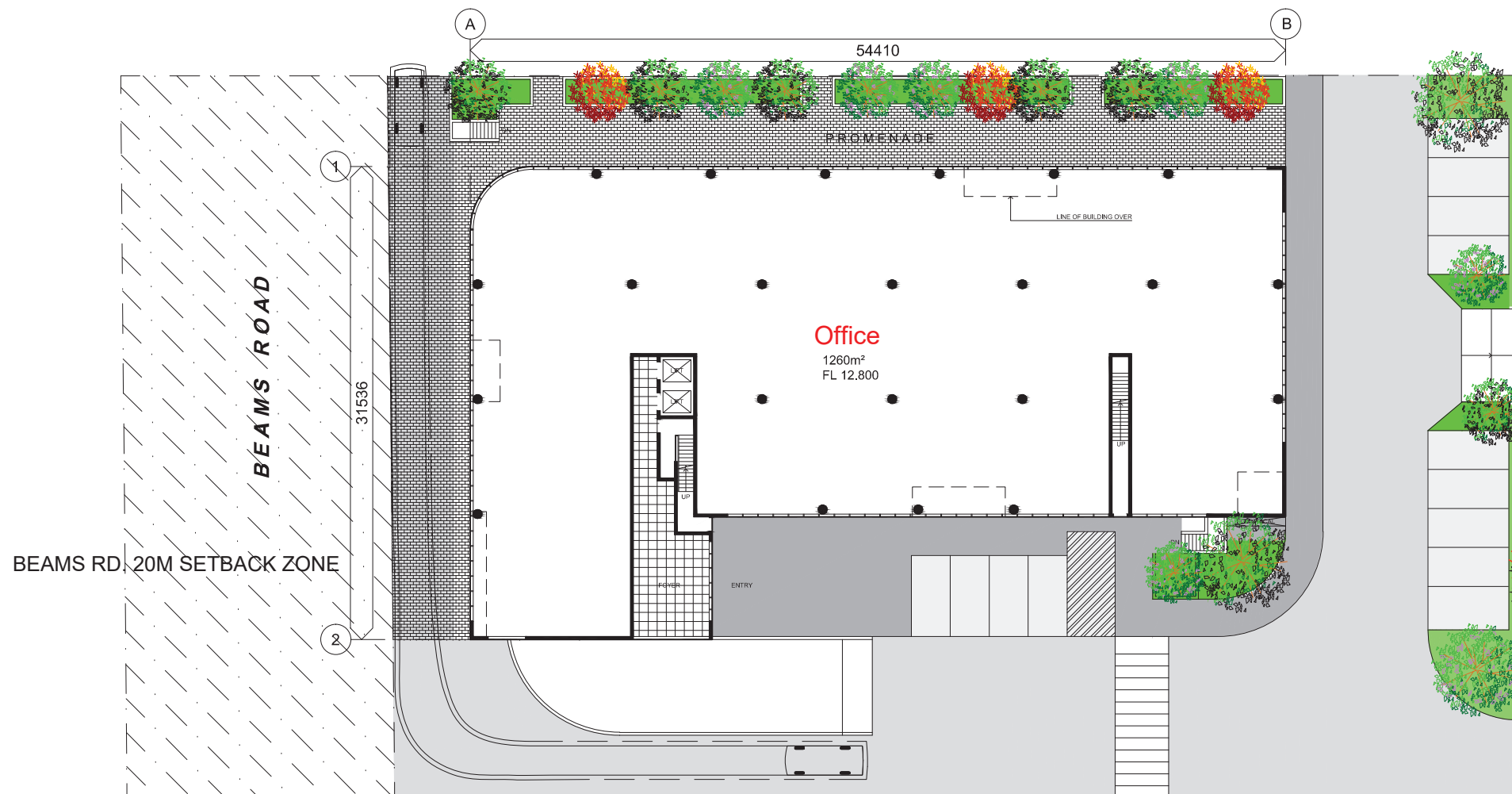
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DRAWING NO **SK-17** M

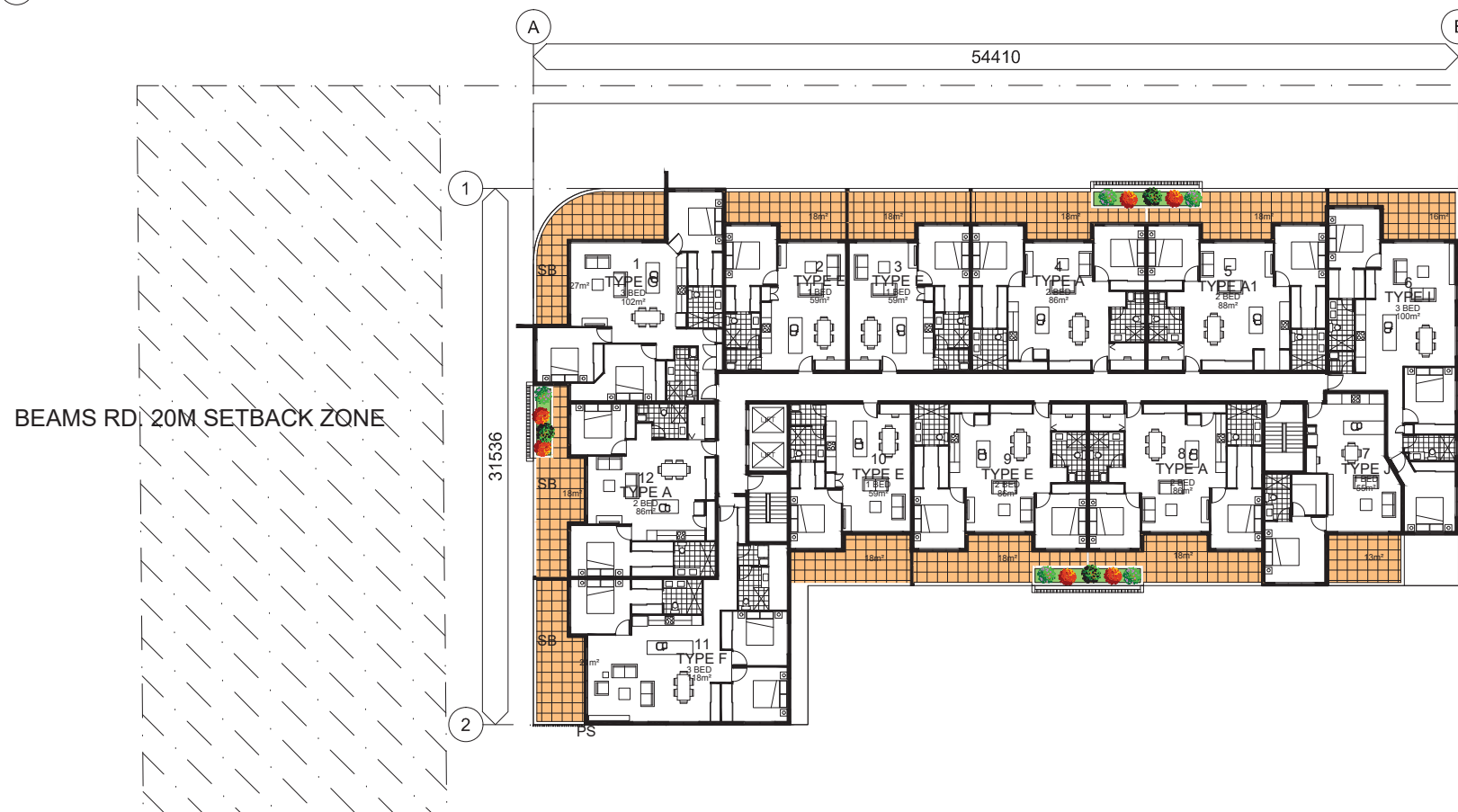
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**BUILDING E BASEMENT 2 FLOOR PLAN**

56 LEVEL 1  
54 LEVEL 2  
110 TOTAL



BUILDING E GROUND FLOOR PLAN



BUILDING E LEVEL 1- 4 FLOOR PLAN

TOTAL APARTMENTS		
1 BED	16	33%
2 BED	20	41%
3 BED	12	26%
TOTAL	48	

ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS  
 PS... METAL PRIVACY SCREEN  
 SB... SOLID, GAP FREE BALUSTRADE AS REQUIRED BY SDAP STATE CODE 2



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C	10.04.2019	REVISION	CM
B	03.08.2018	REVISION HEIGHTS	MW
A	23.10.2017	PRELIMINARY ISSUE	MW

FLOOR LEVELS  
 LEVEL 1 FL 16.800  
 LEVEL 2 FL 19.600  
 LEVEL 3 FL 22.400  
 LEVEL 4 FL 25.200



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PROJECT  
 PROPOSED RESIDENTIAL DEVELOPMENT

490 BEAMS ROAD  
 FITZGIBBON

TITLE  
 BUILDING E  
 FLOOR PLANS

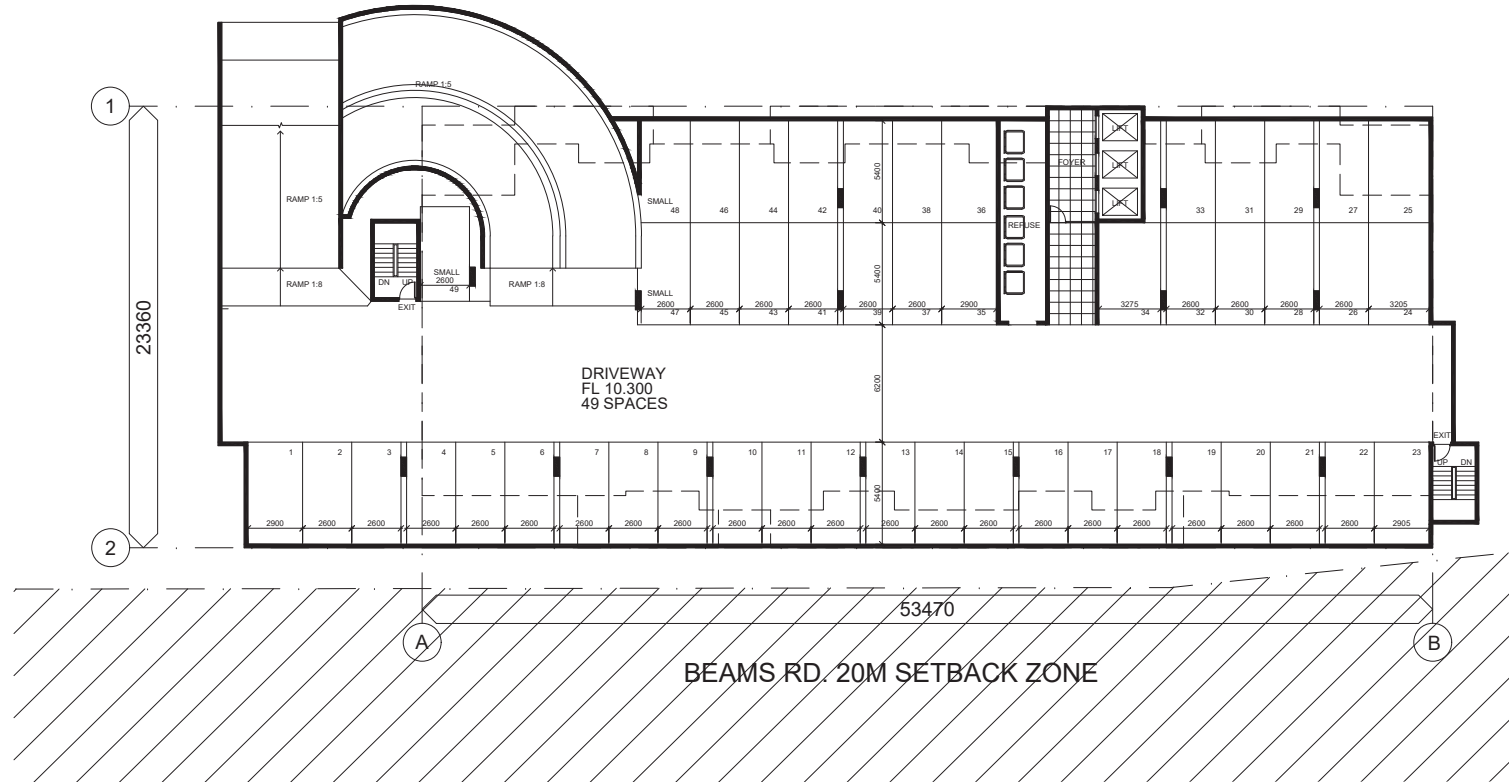
DATE  
 OCTOBER 2017

SCALE  
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JOB NO  
 DRAWN  
 MW

DRAWING NO  
 SK-18  
 M

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**BUILDING F BASEMENT 1 FLOOR PLAN**

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assessment

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By: Chris Hinton  
Date: 6 July 2021

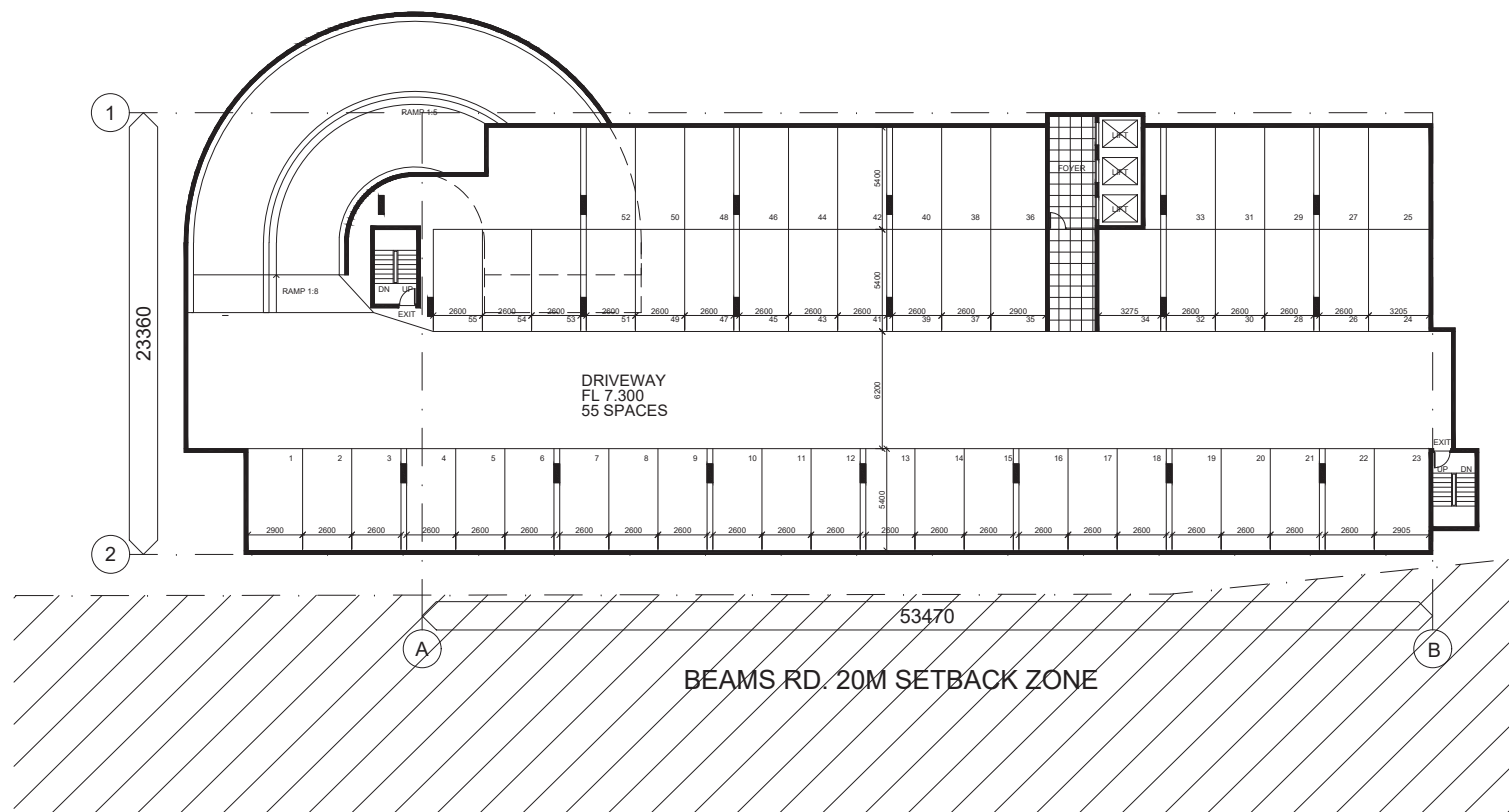


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B	03.08.2018	REVISION HEIGHTS	MW
A	23.10.2017	PRELIMINARY ISSUE	MW



**BUILDING F BASEMENT 2 FLOOR PLAN**

49 LEVEL 1  
55 LEVEL 2  
104 TOTAL



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ATF RJ & KO KELLY FAMILY  
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PROJECT  
**PROPOSED RESIDENTIAL  
DEVELOPMENT**

**490 BEAMS ROAD  
FITZGIBBON**

TITLE  
**BUILDING F BASEMENT  
1/2 FLOOR PLAN**

DATE **OCTOBER 2017**

SCALE **1:200@ A1 1:400 @ A3**

JOB NO. DRAWN **MW**

DRAWING NO. **SK-19** L



BUILDING F LEVEL 0 - 6 FLOOR PLAN



BUILDING F LEVEL 7 FLOOR PLAN

TOTAL APARTMENTS		
1 BED	25	32%
2 BED	37	47%
3 BED	16	21%
TOTAL	78	

ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS.  
 PS... METAL PRIVACY SCREEN  
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FLOOR LEVELS	
LEVEL G	FL 13.800
LEVEL 1	FL 16.800
LEVEL 2	FL 19.800
LEVEL 3	FL 22.800
LEVEL 4	FL 25.800
LEVEL 5	FL 28.800
LEVEL 6	FL 31.800
LEVEL 7	FL 34.800

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CLIENT  
**BOB KELLY & CO PTY LTD  
 ATF RJ & KO KELLY FAMILY TRUST**

PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD  
 FITZGIBBON**

TITLE  
**BUILDING F  
 FLOOR PLANS**

DATE **OCTOBER 2017**

SCALE **1:200@ A1 1:400 @ A3**

JOB NO. DRAWN **MW**

DRAWING NO. **SK-20** L

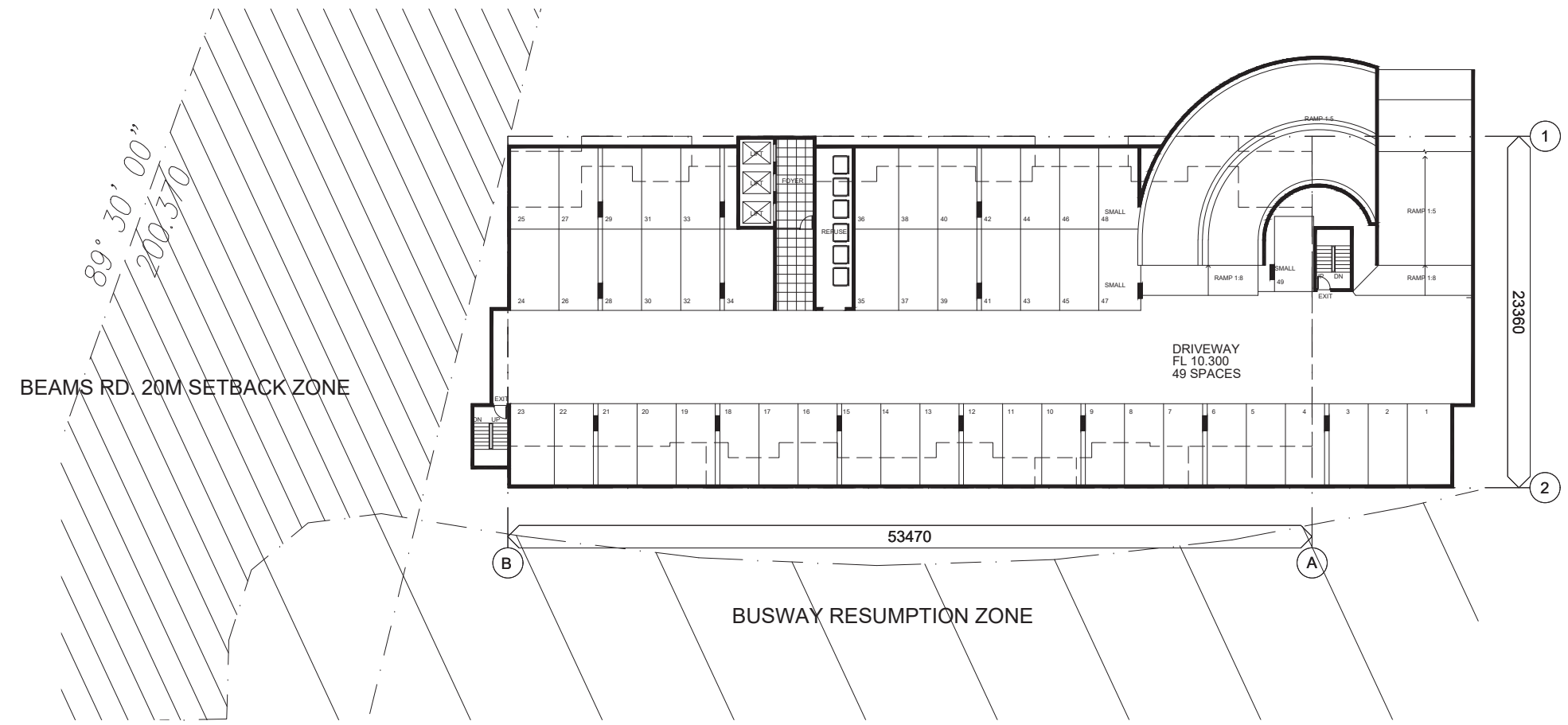


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 Approval no: DEV2020/1103  
 Date: 12 August 2021

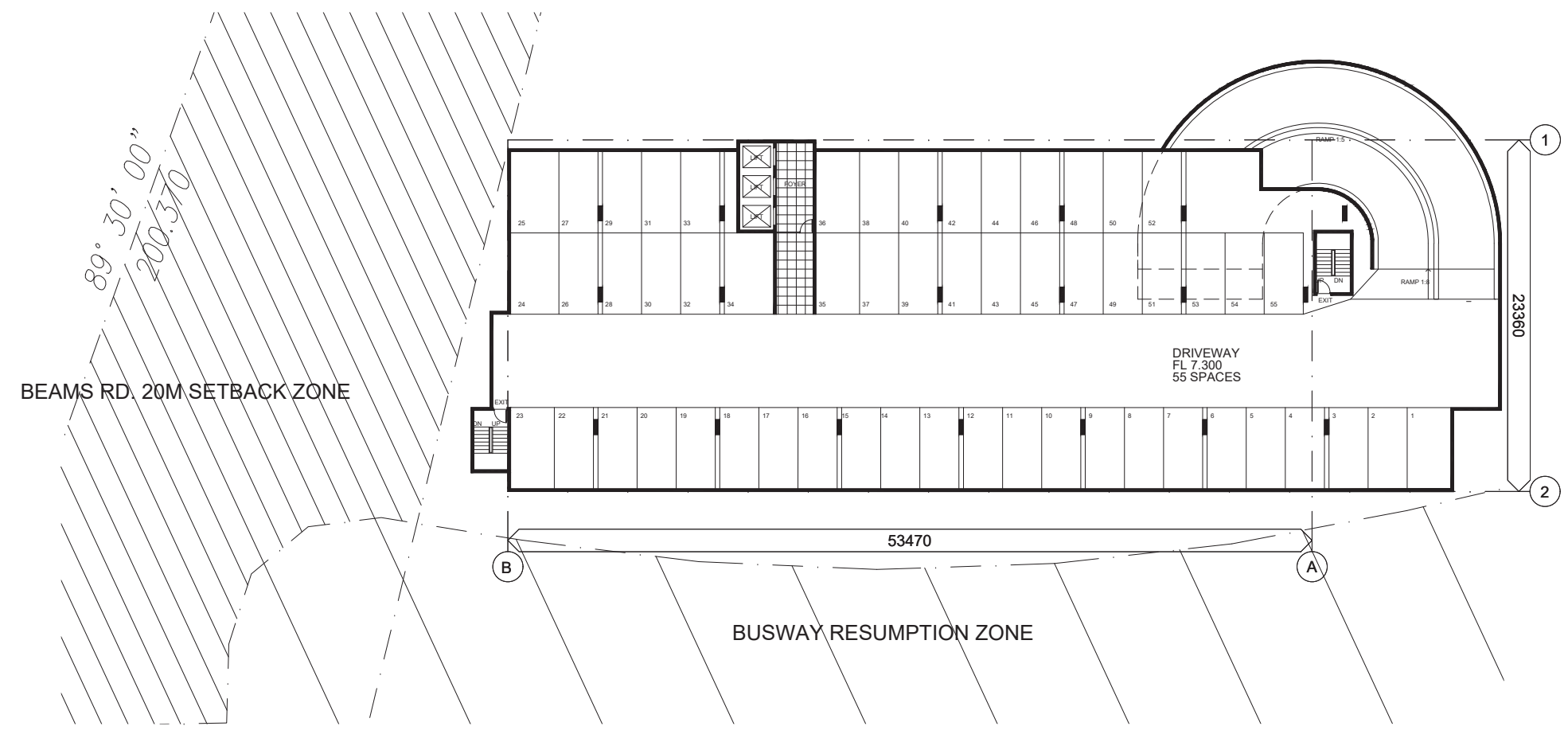


Design indicative only. Detailed built form design subject to compliance assessment

AMENDED IN RED  
 By: Chris Hinton  
 Date: 6 July 2021

BUILDING G BASEMENT 1 FLOOR PLAN



BUILDING G BASEMENT 2 FLOOR PLAN

49 LEVEL 1  
 55 LEVEL 2  
 104 TOTAL

ISSUE	DATE	DESCRIPTION	INITIAL
L	14.10.2020	REVISION	MP
K	09.09.2020	REVISION	MP
J	17.07.2020	REVISION	MP
I	25.06.2020	REVISION	MP
H	21.02.2020	REVISION	MP
G	28.01.2020	REVISION	MP
F	29.11.2019	REVISION	MP
E	22.11.2019	REVISION	MP
D	09.09.2019	REVISION	CM
C	10.04.2019	REVISION	CM
B	03.08.2018	REVISION HEIGHTS	MW
A	23.10.2017	PRELIMINARY ISSUE	MW

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PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD  
 FITZGIBBON**

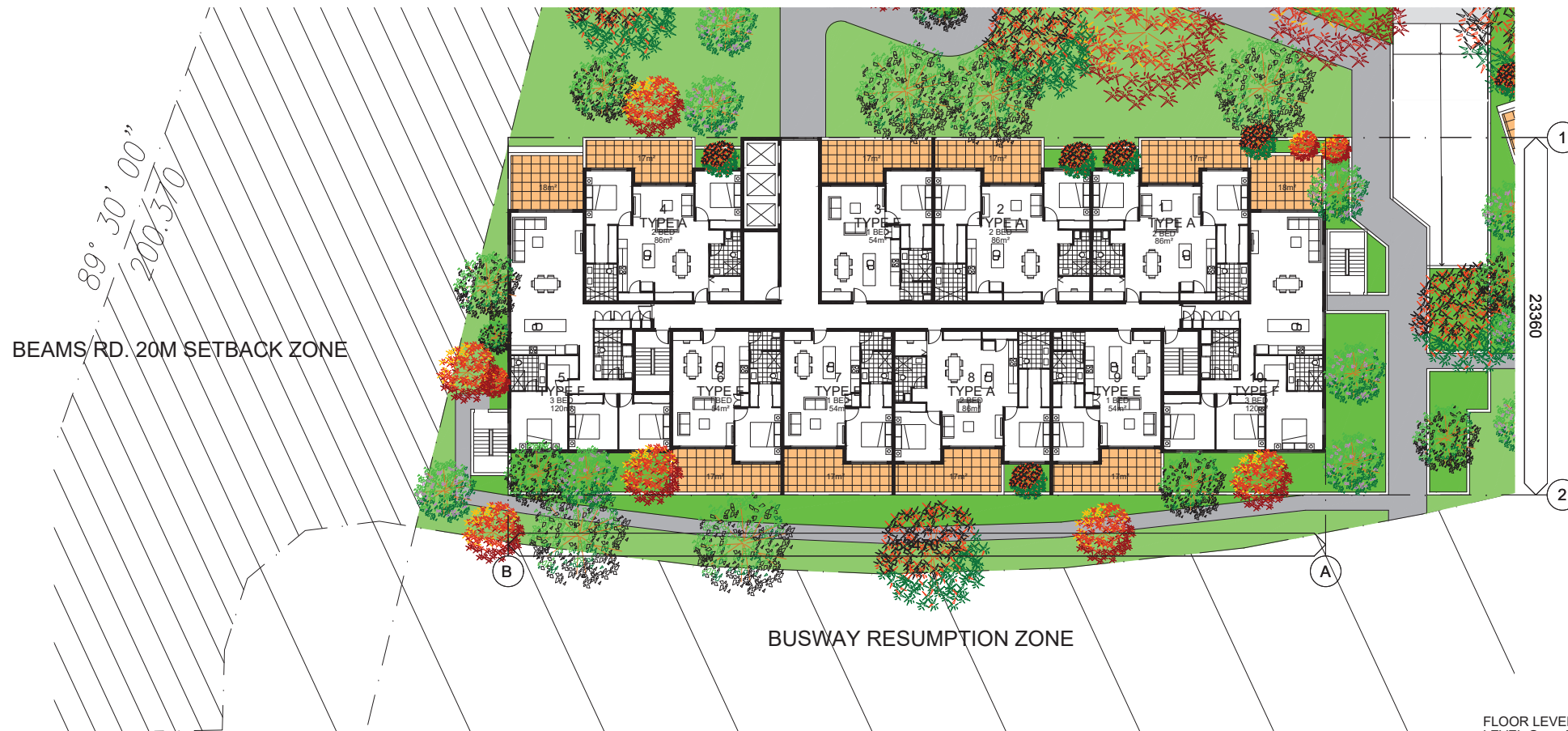
TITLE  
**BUILDING G BASEMENT  
 1/2 FLOOR PLAN**

DATE  
 OCTOBER 2017

SCALE  
 1:200@ A1 1:400 @ A3

JOB NO  
 DRAWN MW

DRAWING NO SK-21 L



**BUILDING G LEVEL 0 - 6 FLOOR PLAN**

FLOOR LEVELS

LEVEL G	FL 13.800
LEVEL 1	FL 16.800
LEVEL 2	FL 19.800
LEVEL 3	FL 22.800
LEVEL 4	FL 25.800
LEVEL 5	FL 28.800
LEVEL 6	FL 31.800
LEVEL 7	FL 34.800

TOTAL APARTMENTS

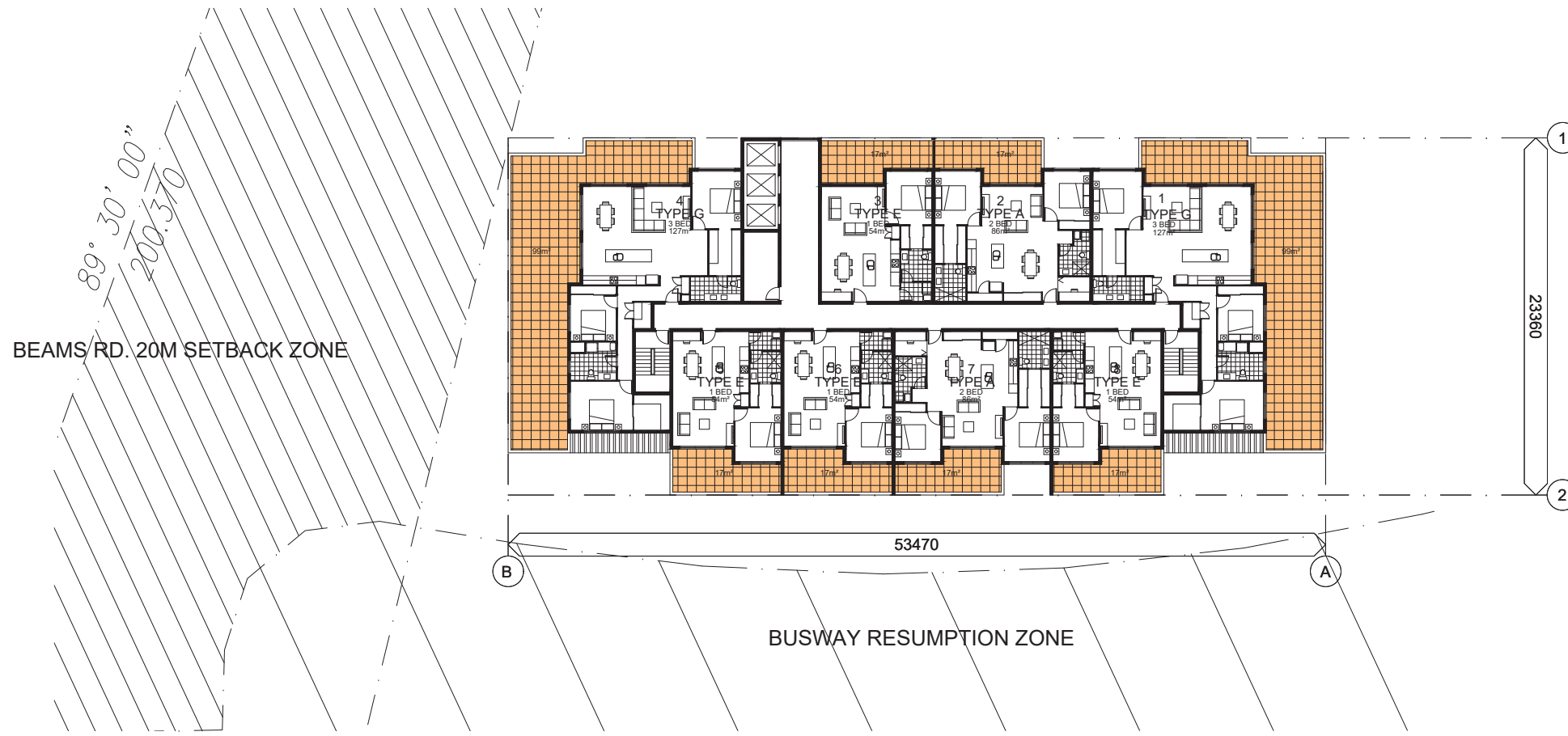
1 BED	25	32%
2 BED	37	47%
3 BED	16	21%
TOTAL	78	

- ATS... ANTI-THROW SCREEN TO QLD RAIL REQUIREMENTS.
- PS... METAL PRIVACY SCREEN
- SB... SOLID, GAP FREE BALUSTRADE AS REQUIRED BY SDAP STATE CODE 2



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 By: Chris Hinton  
 Date: 6 July 2021



**BUILDING G LEVEL 7 FLOOR PLAN**

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G	28.01.2020	REVISION	MP
F	29.11.2019	REVISION	MP
E	22.11.2019	REVISION	MP
D	09.09.2019	REVISION	CM
C	10.04.2019	REVISION	CM
B	03.08.2018	REVISION HEIGHTS	MW
A	23.10.2017	PRELIMINARY ISSUE	MW

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PROJECT  
**PROPOSED RESIDENTIAL DEVELOPMENT**

**490 BEAMS ROAD  
FITZGIBBON**

TITLE  
**BUILDING G  
FLOOR PLANS**

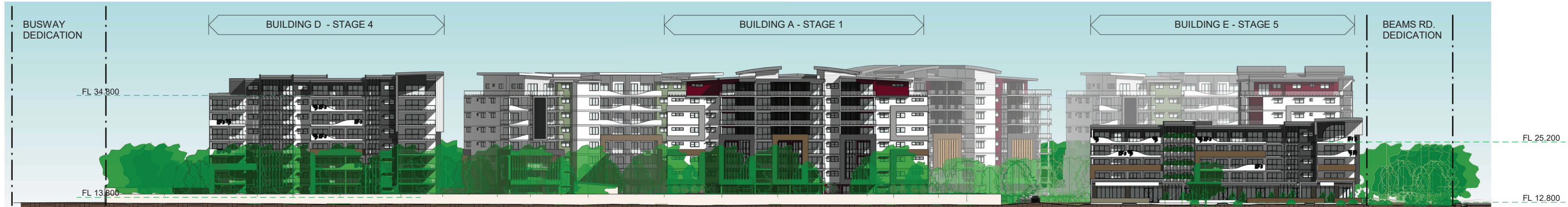
DATE  
OCTOBER 2017

SCALE  
1:200@ A1 1:400 @ A3

JOB NO  
DRAWN  
MW

DRAWING NO  
SK-22  
L

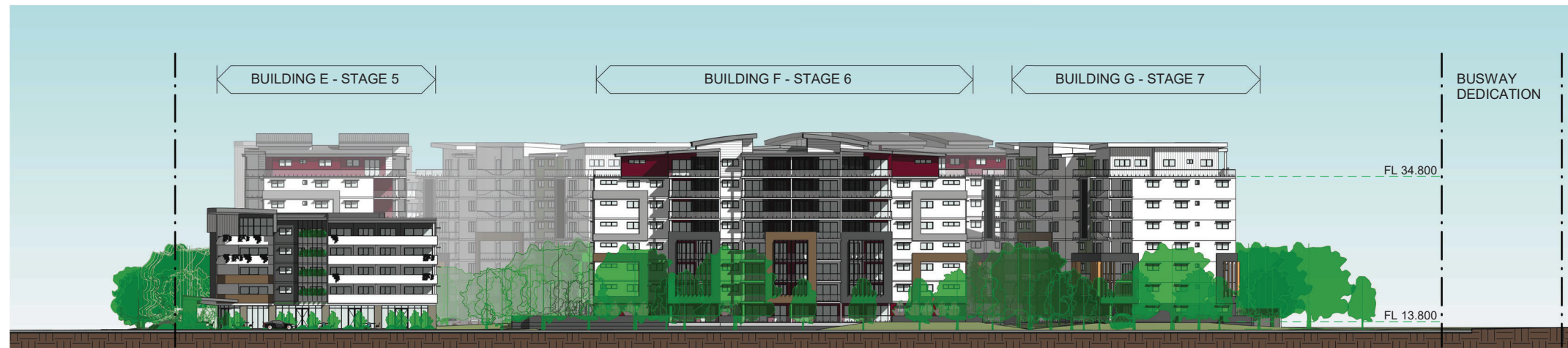
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1 EAST ELEVATION - FROM GOLDEN PLACE  
1:400


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2 NORTH ELEVATION - BEAMS ROAD  
1:400

PLANS AND DOCUMENTS  
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A	22.11.2019	REVISION	MP

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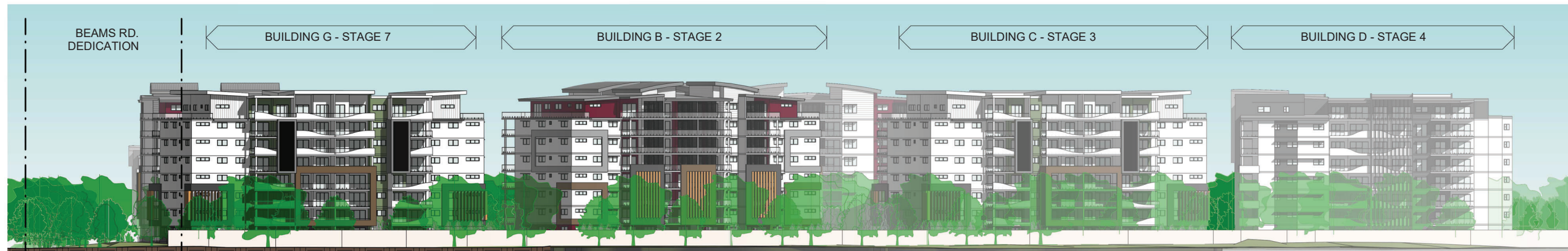
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**PROPOSED RESIDENTIAL**  
**DEVELOPMENT**  
**490 BEAMS ROAD**  
**FITZGIBBON**  
TITLE  
SITE ELEVATIONS

DATE JULY 2019  
SCALE 1:400 @ A1  
JOB NO. DRAWN MP  
DRAWING NO SK-23 F

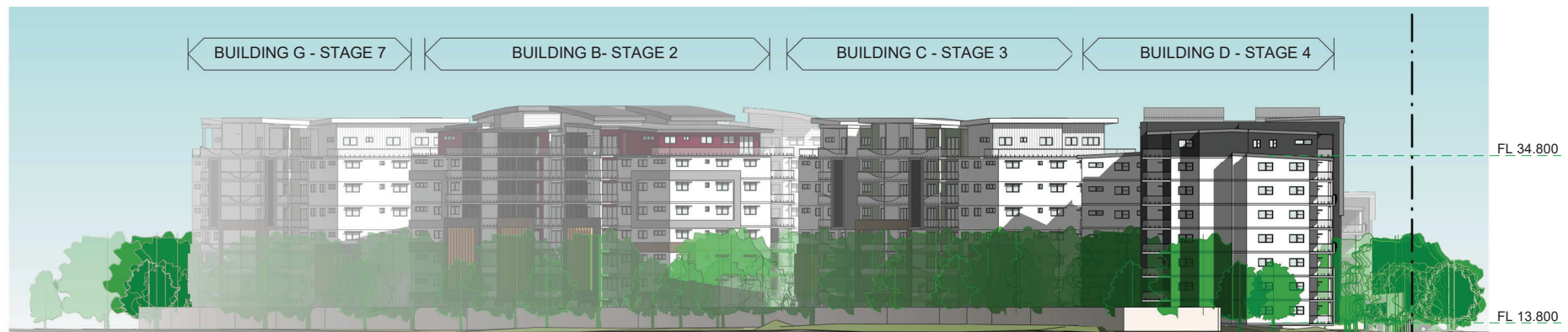
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1 WEST ELEVATION - FROM KEDRON WAVELL BALL PARK  
1 : 400

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2 SOUTH ELEVATION - CABBAGE TREE CREEK  
1 : 400

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A	22.11.2019	REVISION	MP

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**PROPOSED RESIDENTIAL  
DEVELOPMENT**  
490 BEAMS ROAD  
FITZGIBBON

TITLE  
SITE ELEVATIONS

DATE JULY 2019  
SCALE 1 : 400 @ A1  
JOB NO. DRAWN MP  
DRAWING NO SK-24 F

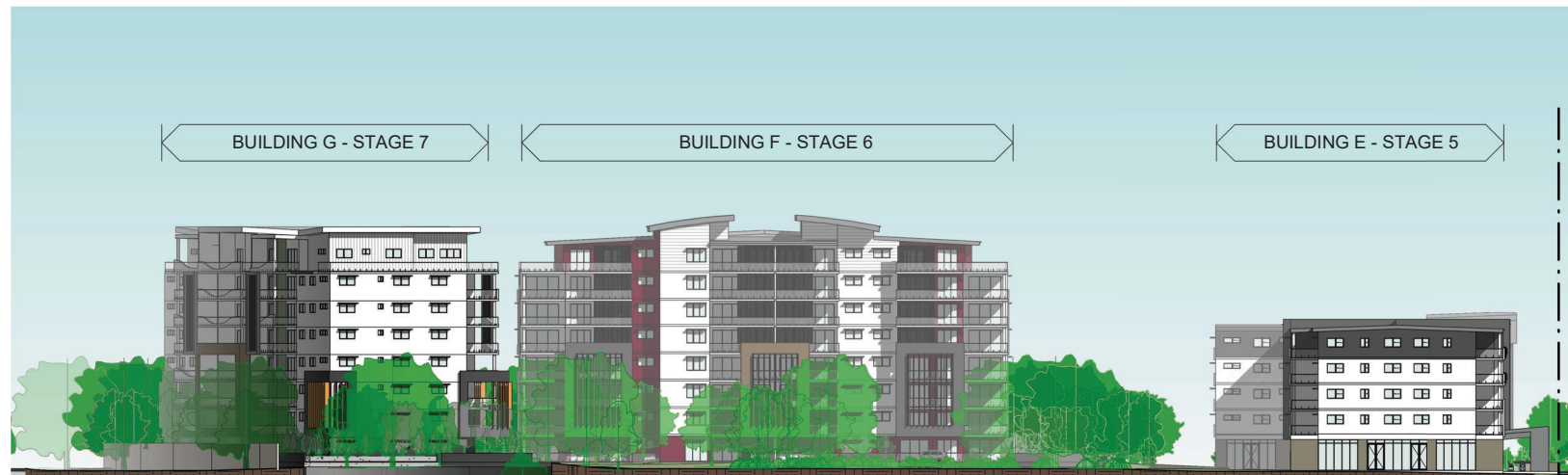


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1 INTERNAL EAST ELEVATION  
1 : 400



2 INTERNAL SOUTH ELEVATION  
1 : 400

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A	29.11.2019	REVISION	MP

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PROPOSED RESIDENTIAL  
DEVELOPMENT  
490 BEAMS ROAD  
FITZGIBBON  
TITLE  
SITE ELEVATIONS

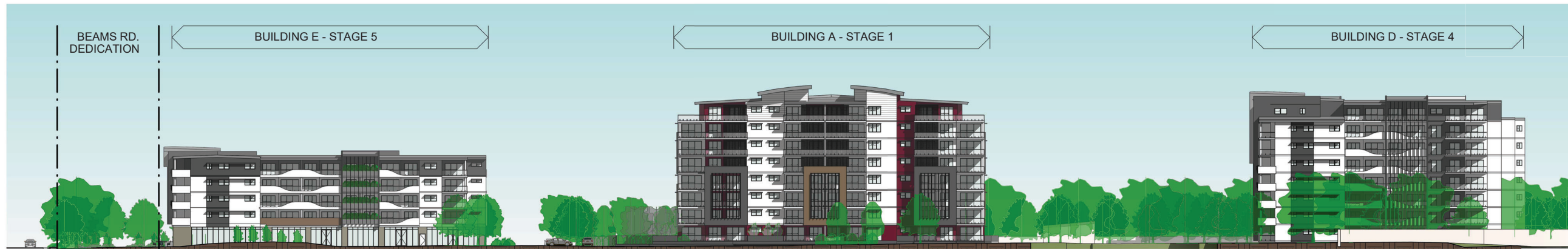
DATE JULY 2019

SCALE 1 : 400 @ A1

JOB NO. DRAWN MP

DRAWING NO SK-25 E

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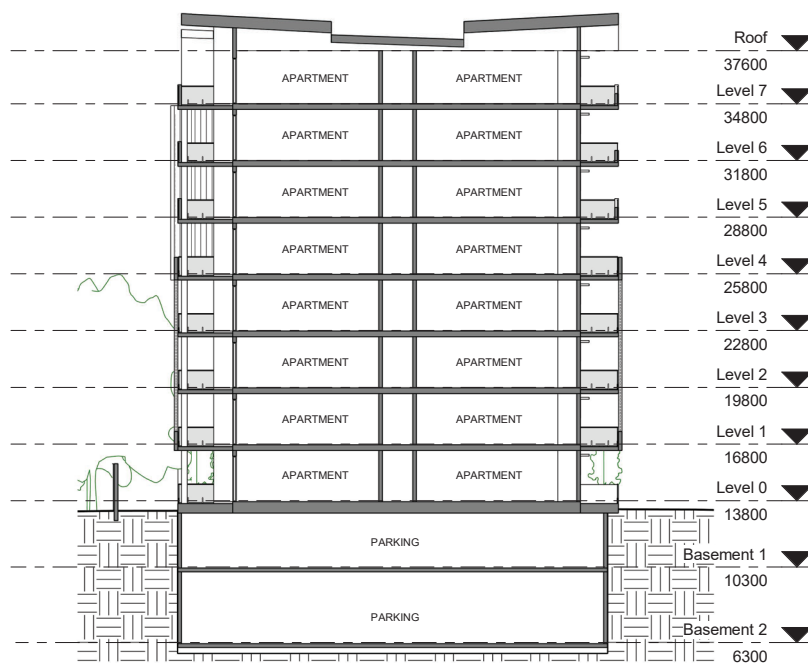
1 INTERNAL WEST ELEVATION  
1 : 400

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B	04.12.2019	PERSPECTIVES	MP
A	29.11.2019	REVISION	MP



2 BUILDING A/B/C/F/G SECTION 1  
1 : 200



3 BUILDING A/B/C/F/G SECTION 2  
1 : 200

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**PROPOSED RESIDENTIAL**  
**DEVELOPMENT**  
**490 BEAMS ROAD**  
**FITZGIBBON**  
TITLE  
SITE ELEVATIONS

DATE JULY 2019

SCALE As indicated @ A1

JOB NO DRAWN MP

DRAWING NO SK-26 F

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1 BUILDING E FRONT CORNER

ISSUE	DATE	DESCRIPTION	INITIAL
D	14.10.2020	REVISION	MP
C	09.09.2020	REVISION	MP
B	17.07.2020	REVISION	MP
A	04.12.2019	PERSPECTIVES	MP

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PROJECT  
**PROPOSED RESIDENTIAL  
DEVELOPMENT  
490 BEAMS ROAD  
FITZGIBBON**

TITLE  
PERSPECTIVES

DATE JULY 2019  
SCALE @ A1  
JOB NO DRAWN MP  
DRAWING NO SK-27 D

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1 INTERNAL PERSPECTIVE

ISSUE	DATE	DESCRIPTION	INITIAL
D	14.10.2020	REVISION	MP
C	09.09.2020	REVISION	MP
B	17.07.2020	REVISION	MP
A	04.12.2019	PERSPECTIVES	MP

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DEVELOPMENT  
490 BEAMS ROAD  
FITZGIBBON**  
TITLE  
PERSPECTIVES

DATE  
JULY 2019  
SCALE  
@ A1  
JOB NO  
DRAWN MP  
DRAWING NO SK-28 D




1 BUILDING F BEAMS ROAD

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2 BUILDING G

ISSUE	DATE	DESCRIPTION	INITIAL
D	14.10.2020	REVISION	MP
C	09.09.2020	REVISION	MP
B	17.07.2020	REVISION	MP
A	04.12.2019	PERSPECTIVES	MP

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PROJECT  
**PROPOSED RESIDENTIAL  
DEVELOPMENT  
490 BEAMS ROAD  
FITZGIBBON**  
TITLE  
PERSPECTIVES

DATE JULY 2019

SCALE @ A1

JOB NO. DRAWN MP

DRAWING NO. SK-29 D

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2 BUILDING D  
1 : 200

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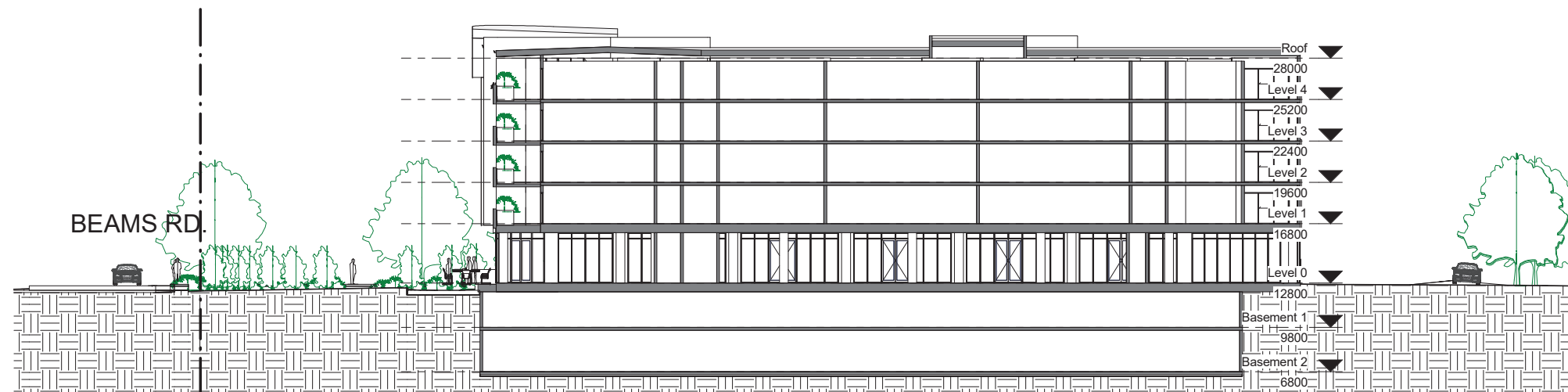
AMENDED IN RED

By: Chris Hinton  
Date: 6 July 2021



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1 BUILDING E  
1 : 200

ISSUE	DATE	DESCRIPTION	INITIAL
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PROJECT  
**PROPOSED RESIDENTIAL**  
**DEVELOPMENT**  
**490 BEAMS ROAD**  
**FITZGIBBON**

TITLE  
Unnamed

DATE 10/21/20

SCALE 1 : 200 @ A1

JOB NO. DRAWN Author

DRAWING NO SK-30

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