



Bushland Protection Systems

Specialising in
**BUSHFIRE HAZARD
PLANNING & MITIGATION**

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Lendlease
Attn: Kelly Pickering
GPO Box 2777
BRISBANE Q 4001

15th March, 2021.

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2017/904

Date: 23 June 2021



Re: Re-alignment of proposed lots in Sub-Precinct 4B, Yarrabilba, (previously known as Sub-Precinct 5B)

It is proposed to resize and re-align some allotments in Sub-Precinct 4B of Yarrabilba Estate (previously known as Sub-Precinct 5B), as shown in Attachment 1 & 2. The newly proposed layout adjusts the size of allotments compared to that previously approved but does not include any changes to the road network or bushland areas.

These proposed changes do not alter the overall development footprint and are generally inconsequential to the overall bushfire mitigation strategy employed over the Sub-Precinct. The proposed layout is still consistent with and in line with the intent of the previously approved report, being Sub-Precinct Specific Bushfire Hazard Assessment and Mitigation Plan for Sub-Precinct 5B, Yarrabilba, produced by Bushland Protection Systems, dated 10/1/18.

The proposed layout would also be in accordance with the Logan Planning Scheme 2015, Section 8.2.3 – Bushfire Hazard Overlay Code and Sc6.2.6 – Planning Scheme Policy 6, based on the State Planning Policy 7/17.

The proposed re-alignment of lots does not introduce any detrimental bushfire issues in comparison to the original design layout. Roads, Separation distances, bushfire buffers, parks, bushfire hazard ratings, etc. all remain the same.

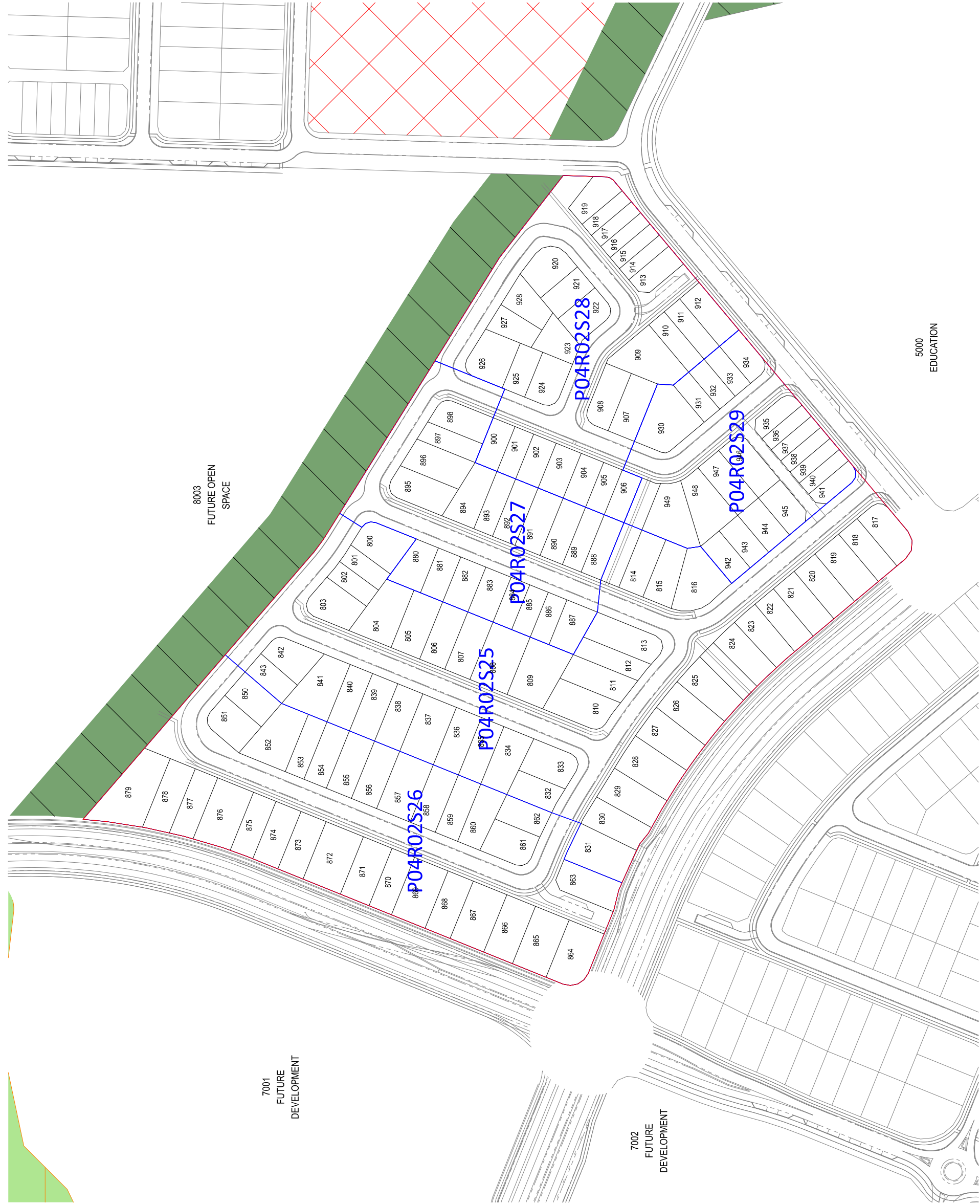
It is noted that some lot numbers will of course change from previous layouts used in past bushfire reports. These changes can be accommodated in an updated Bushfire Construction Ratings Report for the Sub-Precinct, which should be completed after the proposed re-alignment is approved and would supersede previous reports, revisions, amendments, etc. regarding bushfire construction ratings (BAL's). The BAL zones do not change just the lot numbering that is affected.

If you require any further assistance, please do not hesitate to contact this office.

Brett Bain, MDIA, MRFAQ
Lead Bushfire Consultant.

Appendix 1A: Precinct Four – Application Two, Bushfire Hazard Assessment and Management Plan, Sheet 1 of 2, drawn by Lendlease, drawing no. YAR-P04ROL2-BFA210223, dated 23/2/21.

Appendix 1B: Precinct Four – Application Two, Bushfire Hazard Assessment and Management Plan, Sheet 2 of 2, drawn by Lendlease, drawing no. YAR-P04ROL2-BFA210223, dated 23/2/21.



PRECINCT FOUR - APPLICATION TWO
BUSHFIRE HAZARD ASSESSMENT AND MANAGEMENT PLAN

NOTE: This plan is indicative only and specific uses, road alignment, boundaries, setbacks, and building layout shown may vary due to detailed design considerations. ©2024 Lendlease Communities (Australia). All rights reserved. Except as permitted by Lendlease, no part of this publication may be reproduced or stored in a database or retrieval system, without the permission of Lendlease.

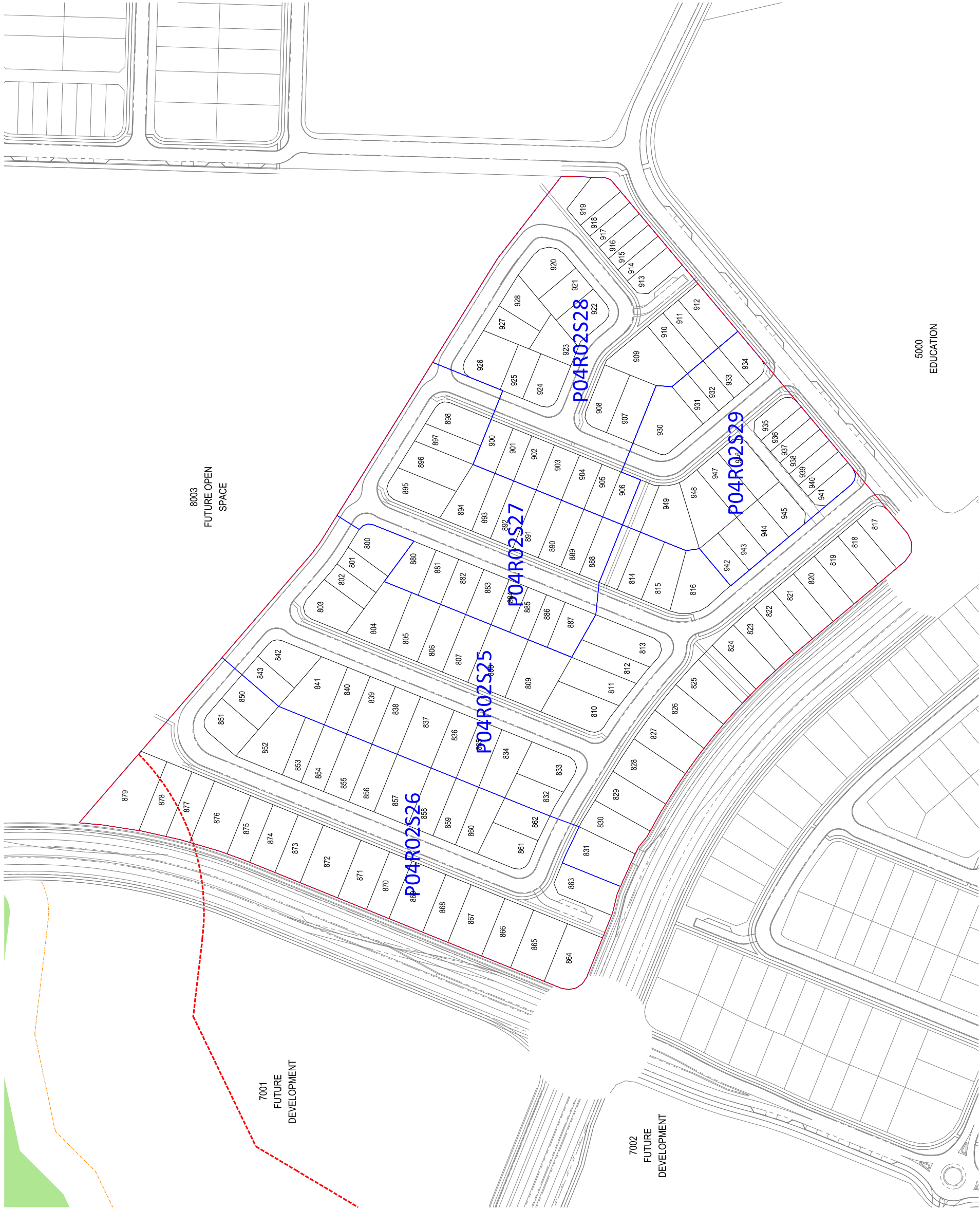


APPLICATION TWO

MINIMUM SEPARATION OF 20m FROM
ANY BUILDING TO EDGE OF FAUNA
CORRIDOR

100m OFFSET TO EDGE OF OPEN SPACE
CONSERVATION OPEN SPACE

PREPARED BY LENDLEASE ON BEHALF OF
BUSHLAND PROTECTION SYSTEMS



Scale 1:2,000 at A3

