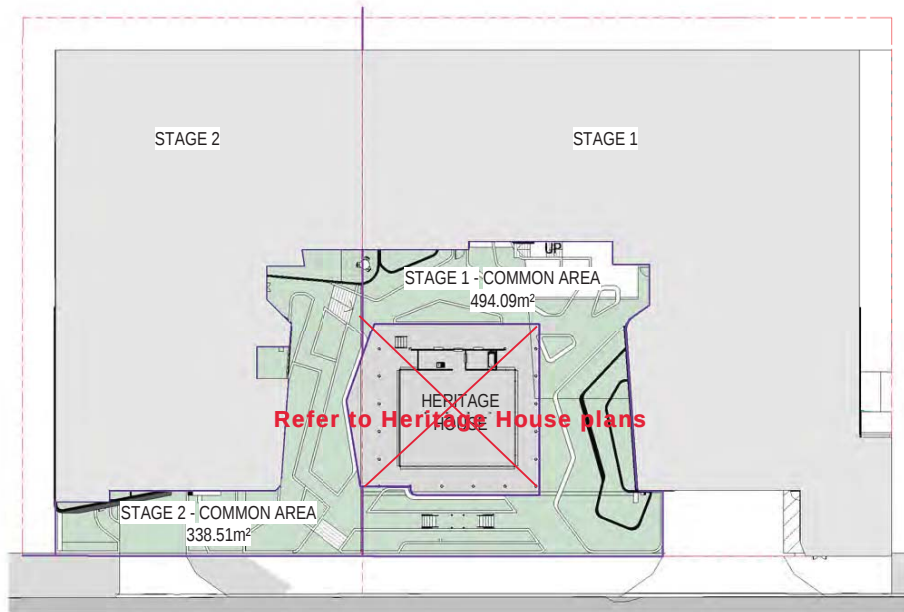
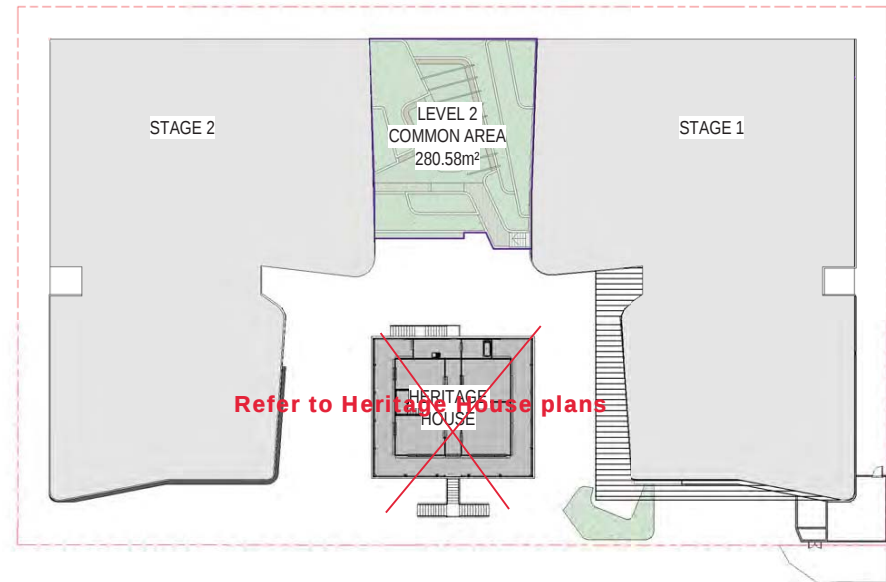
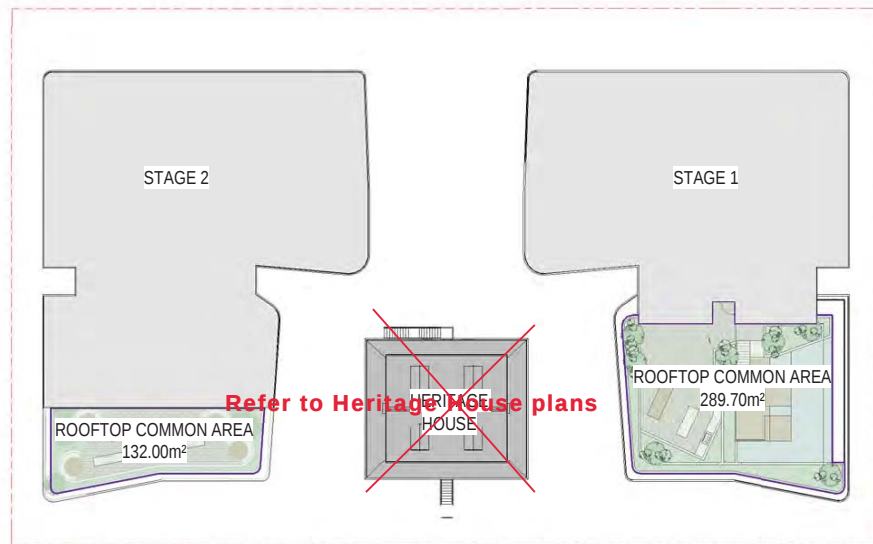




LEVEL 1 (GROUND FLOOR)



LEVEL 02 - COMMON AREA



LEVEL 09 - ROOFTOP RECREATION AREA

Common Area (m2)	
Area Name	Area
Stage 1 - Common Area	494.09 m ²
Stage 2 - Common Area	338.51 m ²
Level 2 Common Area	280.58 m ²
Stage 1 - Rooftop Common Area	289.70 m ²
Stage 2 - Rooftop Common Area	132.00 m ²

1534.88 m²

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1134

Date: 4 September 2020



AMENDED IN RED

By: K McGill

Date: 4 September 2020



PROJECT

ARCHITECTURALS
23-29 ABBOTSFORD RD BOWEN
HILLS | EDQ REVIEW PACKAGE

JOB NUMBER

70137

DATE

05/08/19

DRAWING

COMMUNAL OPEN SPACE

NORTH



SCALE

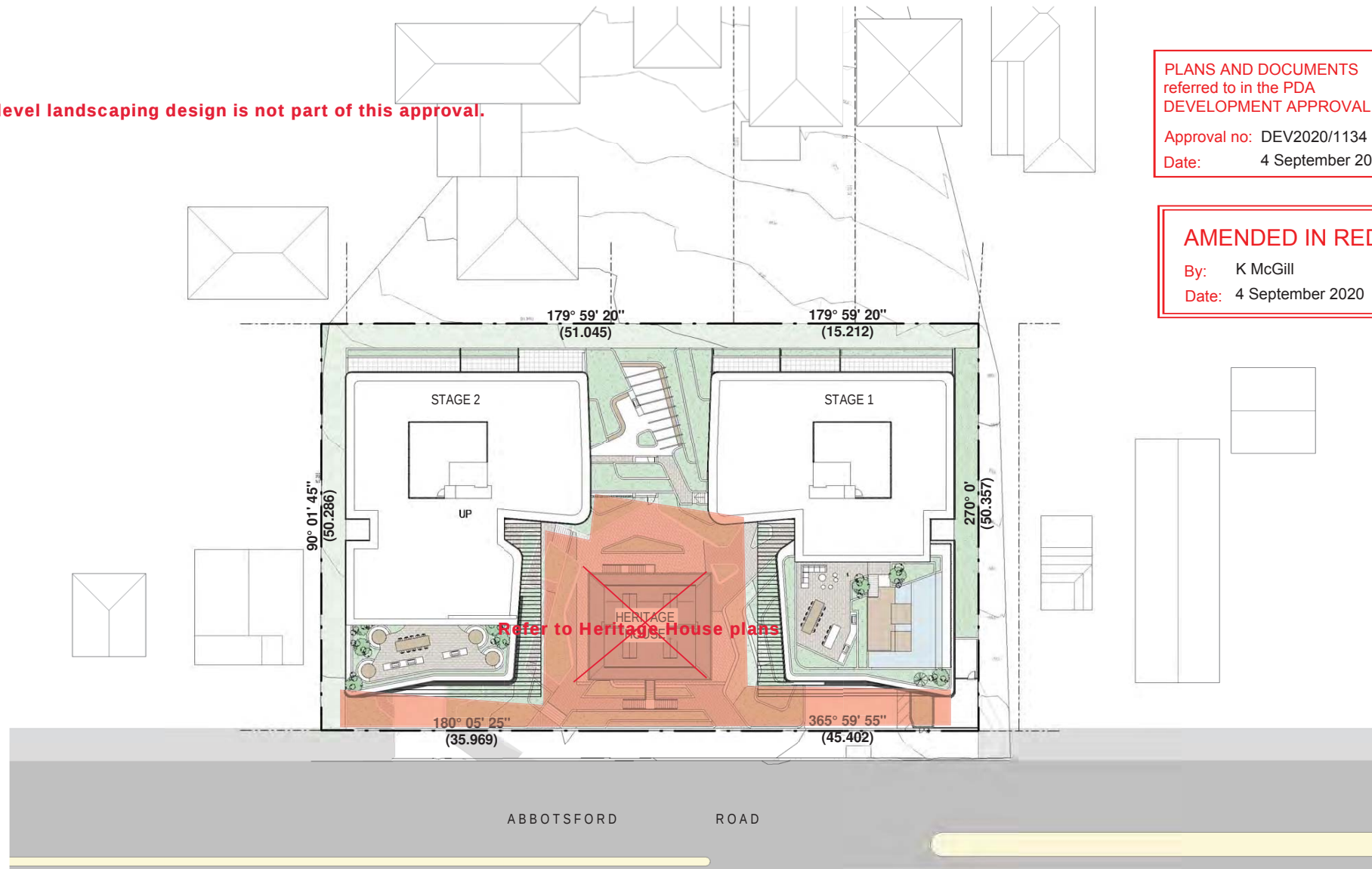
1 : 500

DRAWING #:

FS401



Ground level landscaping design is not part of this approval.



PLANS AND DOCUMENTS
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CARPARK SCHEDULE

LEVEL	
BASEMENT 01	
125	
GROUND FLOOR	
31	
PWD	
2	
VISITOR	
18	
TOTAL: 176	

MRV	
1	
TOTAL: 1	

BICYCLE PARKING	
RESIDENTIAL	136
VISITORS	38
TOTAL:	174

NOTE:
1. RESIDENTIAL BICYCLE PARKING IS PROVIDED IN FRONT OF CARPARK BAYS WITH WALL MOUNTED BIKE RACKS, AND IN AVAILABLE SPACES ON SITE ACHIEVING A TOTAL OF 140 BICYCLE PARKING.
2. VISITOR BICYCLE BAYS SIGNAGE - TO BE LOCATED AS PER EDQ'S REQUIREMENTS AT LOBBY ENTRY POINTS AS WELL AS AT BICYCLE STORAGE POINTS.

PROJECT
ARCHITECTURALS
23-29 ABBOTSFORD RD BOWEN
HILLS | EDQ REVIEW PACKAGE

JOB NUMBER
70137
DATE
15/04/20

DRAWING
BASEMENT 01

NORTH
SCALE
1 : 250

DRAWING #:
FS101



STAGE 2

STAGE 1

AMENDED IN RED

By: K McGill

Date: 4 September 2020

179° 59' 20"

(15.619)



Queensland Government

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Queensland Government

Approval No: DEV2020/1134

Date: 4 September 2020

LEVEL

BASEMENT 01

125

GROUND FLOOR

31

PWD

2

VISITOR

18

TOTAL: 176

MRV

1

TOTAL: 1

BICYCLE PARKING

RESIDENTIAL 136

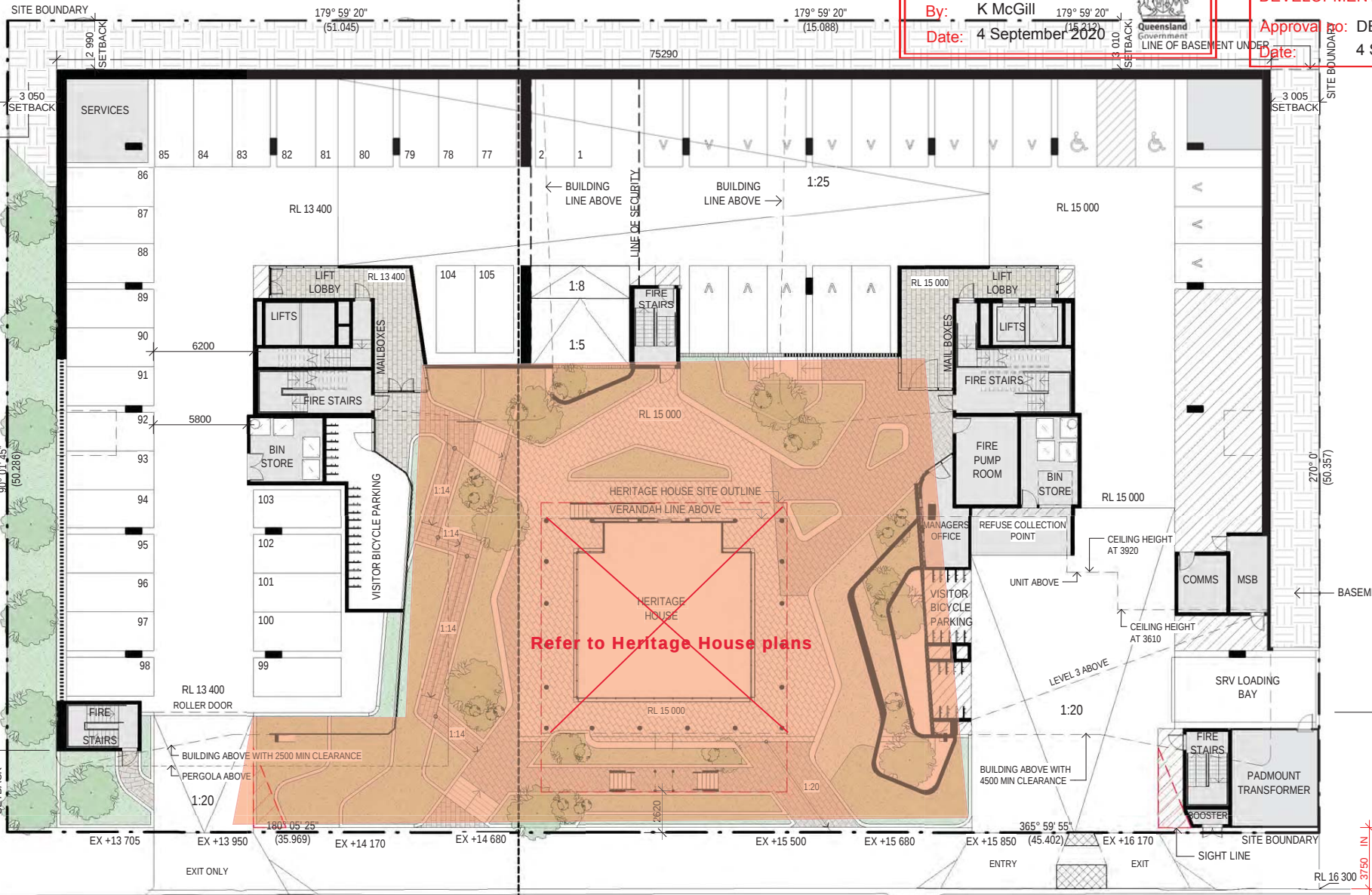
VISITORS 38

TOTAL: 174

NOTE:

1. RESIDENTIAL BICYCLE PARKING IS PROVIDED IN FRONT OF CARPARK BAYS WITH WALL MOUNTED BIKE RACKS, AND IN AVAILABLE SPACES ON SITE ACHIEVING A TOTAL OF 140 BICYCLE PARKING.

2. VISITOR BICYCLE BAYS SIGNAGE - TO BE LOCATED AS PER EDQ'S REQUIREMENTS AT LOBBY ENTRY POINTS AS WELL AS AT BICYCLE STORAGE POINTS.



Ground level landscaping design is not part of this approval.

PROJECT

ARCHITECTURALS
23-29 ABBOTSFORD RD BOWEN
HILLS | EDQ REVIEW PACKAGE

JOB NUMBER

70137

DATE

15/04/20

DRAWING

GROUND LE EL

NORTH



SCALE

1 : 250

DRAWING #:

FS102



AMENDED IN RED

By: K McGill
Date: 4 September 2020



PLANS AND DOCUMENTS
referred to in the PDA
STAGE 2
Approval no: DEV2020/1134
Date: 19 September 2020



Refer to Heritsgr House plans



PROJECT

ARCHITECTURALS
23-29 ABBOTSFORD RD BOWEN
HILLS | EDQ REVIEW PACKAGE

JOB NUMBER

70137

DATE

05/08/2019

DRAWING

T PICAL LE EL 2 PLAN

NORTH



SCALE

1 : 250

DRAWING #:

FS10



Date: 4 September 2020



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1134

Date: 4 September 2020



PROJECT	JOB NUMBER	DATE	DRAWING	NORTH	SCALE
ARCHITECTURALS 23-29 ABBOTSFORD RD BOWEN HILLS EDQ REVIEW PACKAGE	70137	05/08/19	TYPICAL LEVEL FLOOR PLAN		1 : 250

DRAWING #:
FS10





PROJECT

ARCHITECTURALS
23-29 ABBOTSFORD RD BOWEN
HILLS | EDQ REVIEW PACKAGE

JOB NUMBER

70137

DATE

05/08/19

DRAWING

TYPICAL ELEVATION PLAN

NORTH



SCALE

1 : 250

DRAWING #:

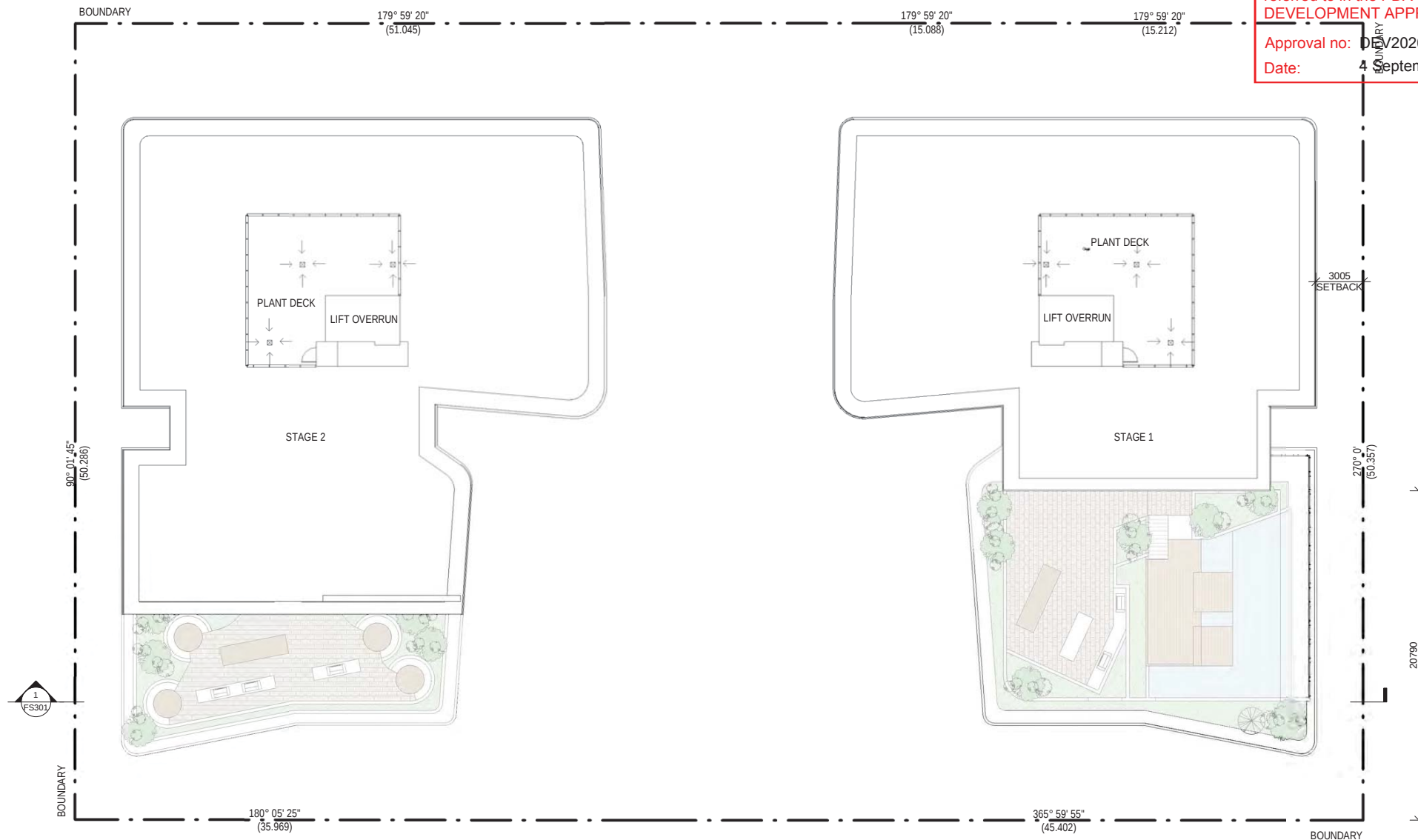
FS105

plus
architecture

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV/2020/1134
Date: 4 September 2020



PROJECT

ARCHITECTURALS
23-29 ABBOTSFORD RD BOWEN
HILLS | EDQ REVIEW PACKAGE

JOB NUMBER

70137

DATE

05/08/19

DRAWING

ROOF PLAN

NORTH



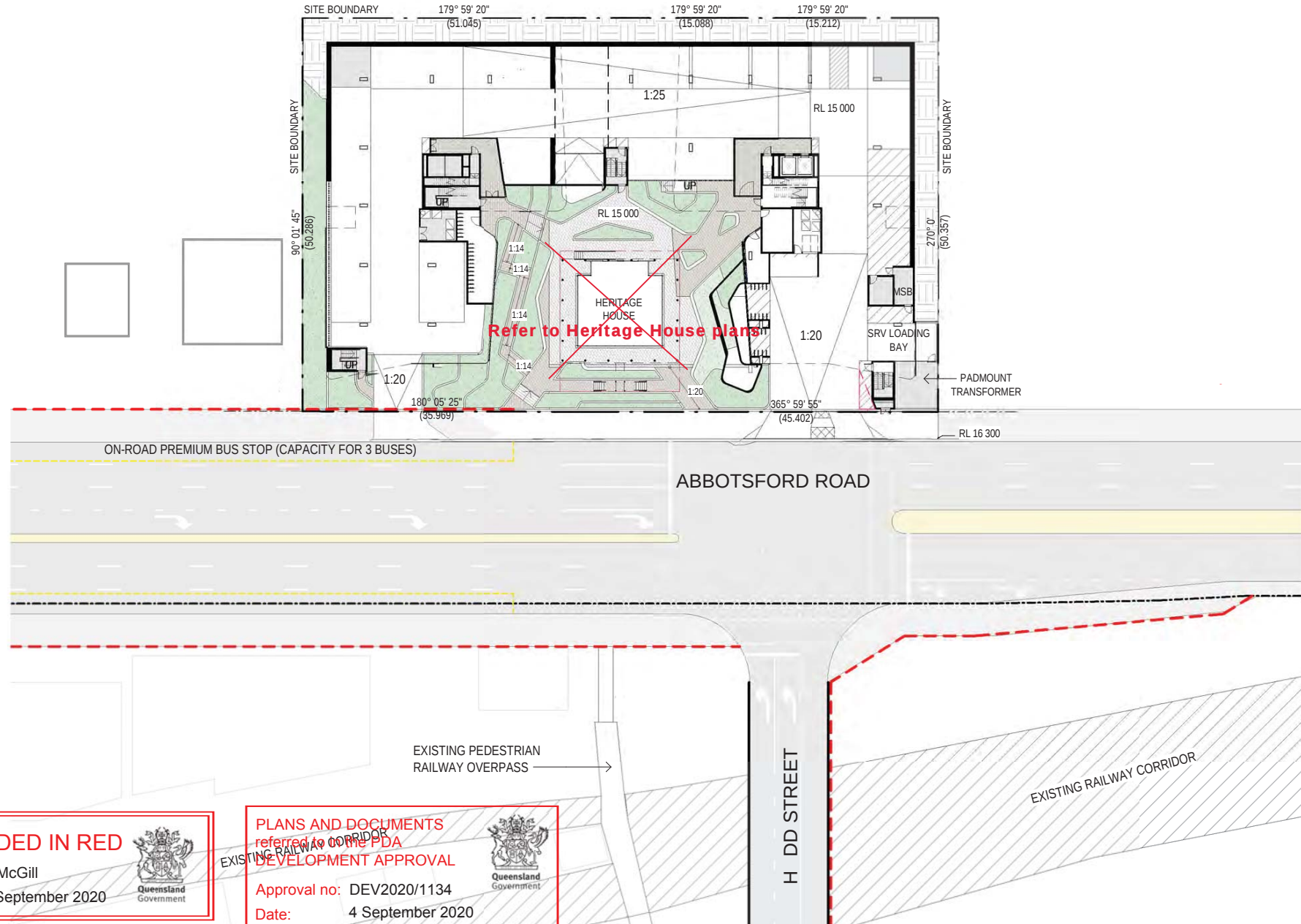
SCALE

1 : 250

DRAWING #:

FS10





AMENDED IN RED

By: K McGill
Date: 4 September 2020



PLANS AND DOCUMENTS
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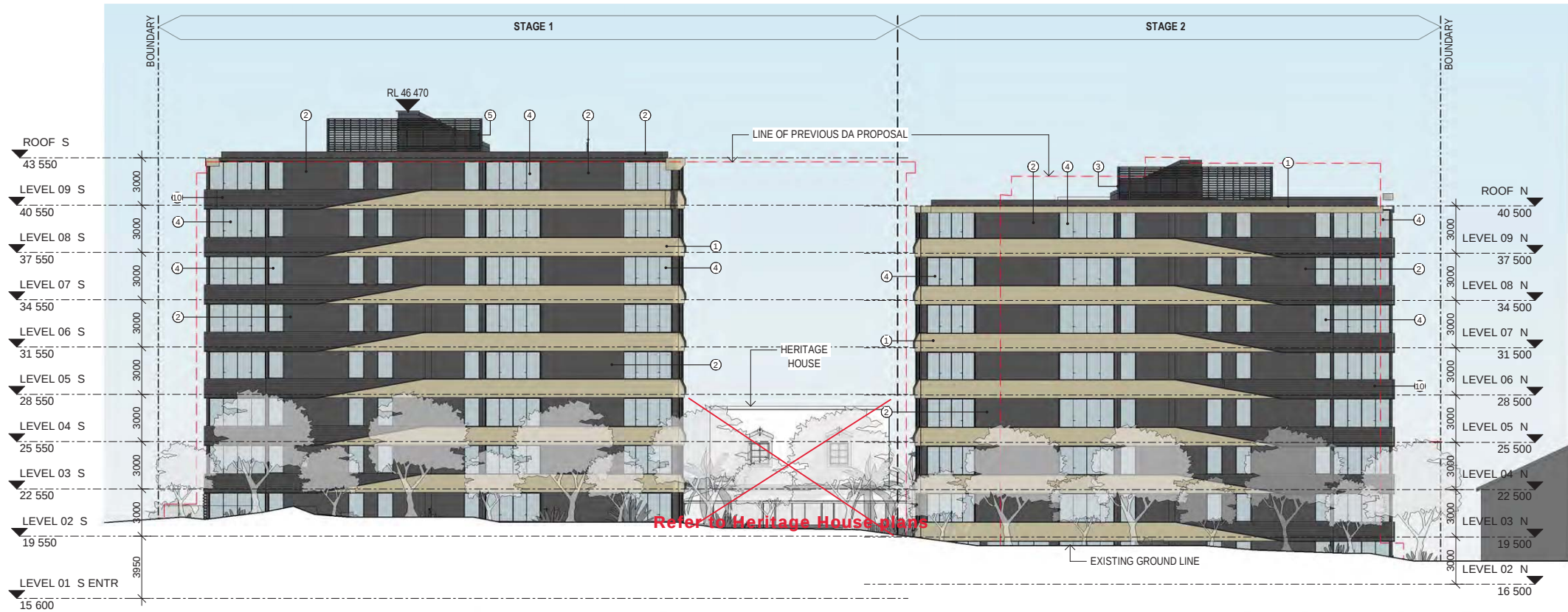
AMENDED IN RED

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1 METAL SHEET CLADDING



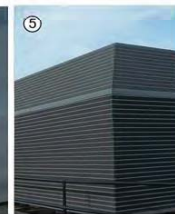
2 PAINT FINISH



3 ALUMINIUM BATTENS
POWDER COAT FINISH



4 TINTED GLAZING (BLACK)
TO WINDOWS DOORS AND BALUSTRADES
WITH BLACK POWDERCOAT FRAMING



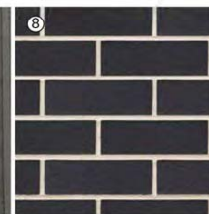
5 HORIZONTAL LOUVRES
FOR PLANT DECK



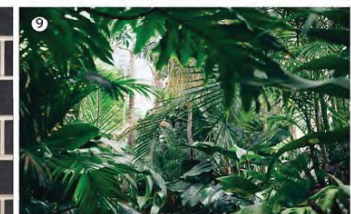
6 CRAZY PAVING



7 EQUITONE OR SIMILAR
PROFILED CLADDING



8 BRICK



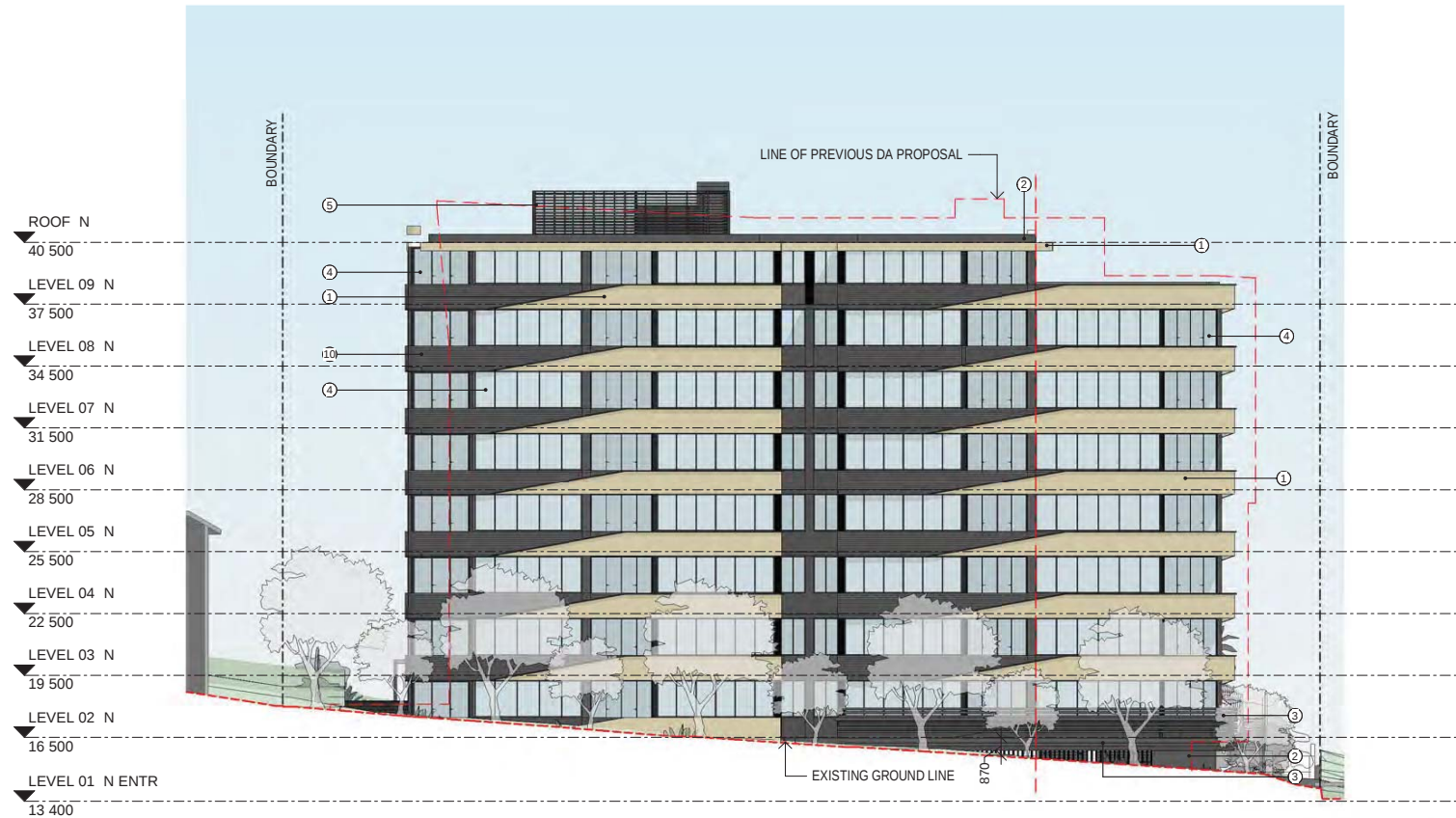
9 LANDSCAPING

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



Approval no: DEV2020/1134

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METAL SHEET CLADDING



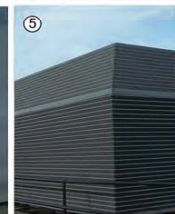
PAINT FINISH



ALUMINIUM BATTENS
POWDER COAT FINISH



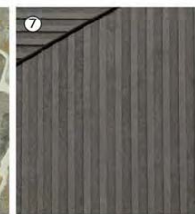
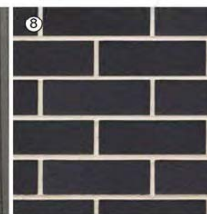
TINTED GLAZING (BLACK),
TO WINDOWS DOORS AND BALUSTRADES
WITH BLACK POWDERCOAT FRAMING



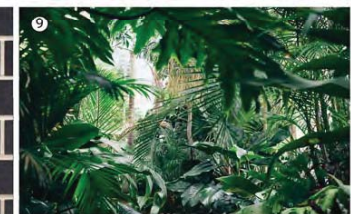
**HORIZONTAL LOUVRES
FOR PLANT DECK**



CRAZY PAVING

EQUITONE OR SIMILAR
PROFIED CLADDING

BRICK

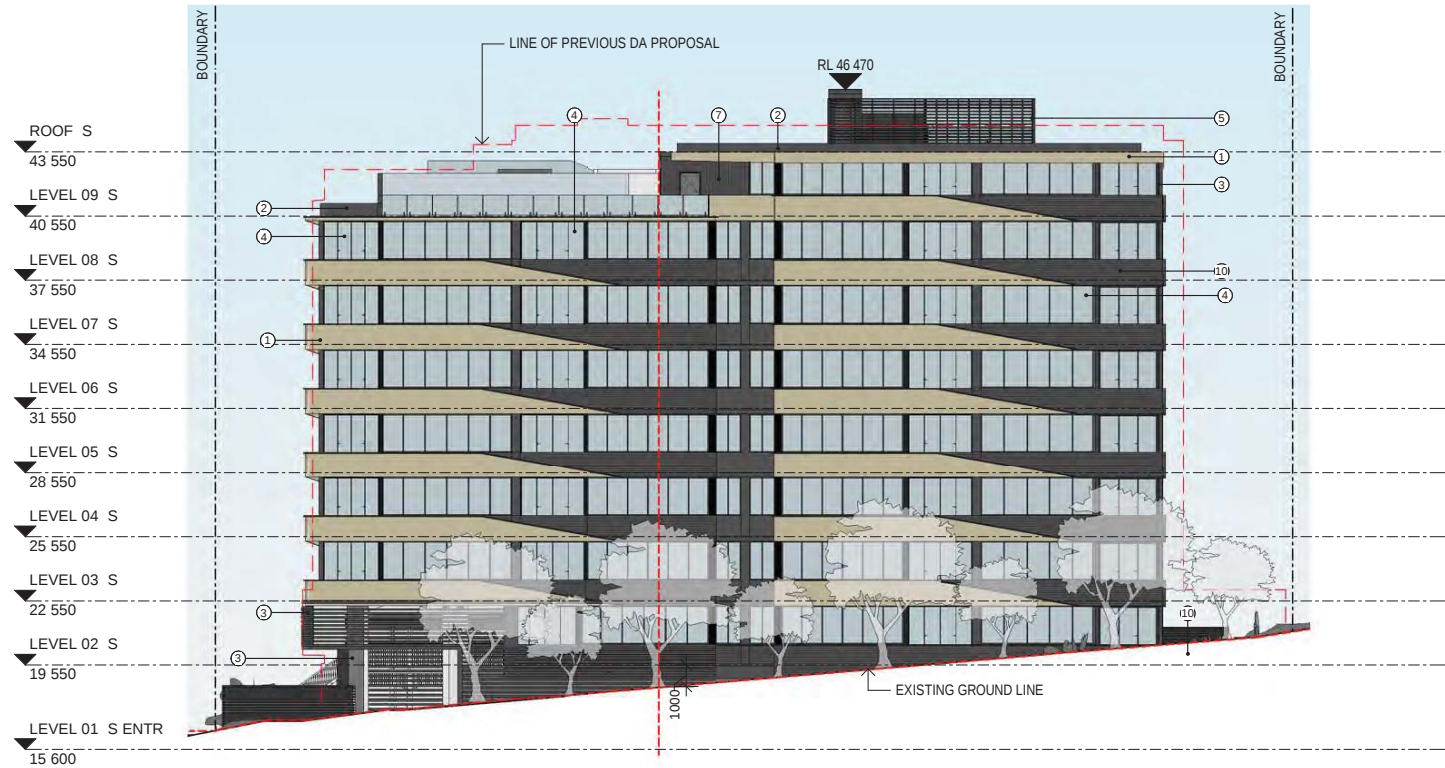


LANDSCAPING

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



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1 METAL SHEET CLADDING



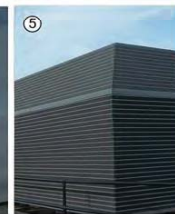
2 PAINT FINISH



3 ALUMINIUM BATTENS
POWDER COAT FINISH



4 TINTED GLAZING (BLACK)
TO WINDOWS DOORS AND BALUSTRADES
WITH BLACK POWDERCOAT FRAMING



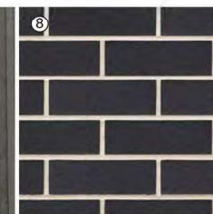
5 HORIZONTAL LOUVRES
FOR PLANT DECK



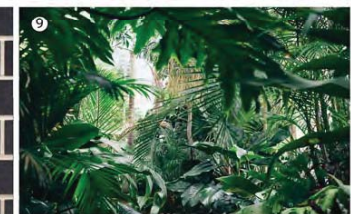
6 CRAZY PAVING



7 EQUITONE OR SIMILAR
PROFILED CLADDING



8 BRICK



9 LANDSCAPING

INTERNAL ELEVATION (SOUTH TOWER)

1 : 250

AMENDED IN RED

By: K McGill

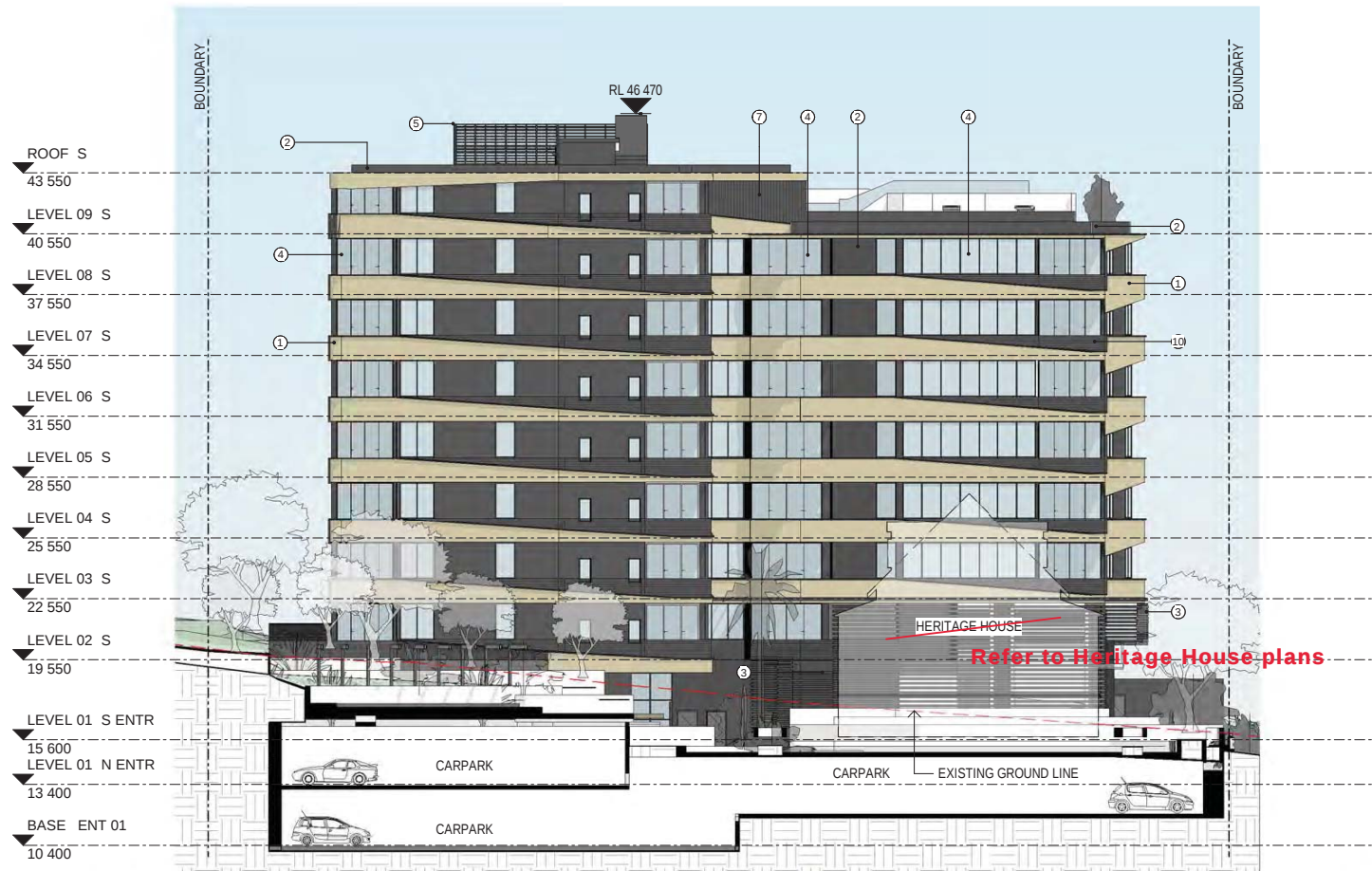
Date: 4 September 2020



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1 METAL SHEET CLADDING



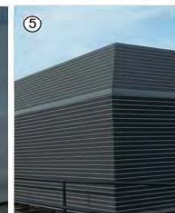
2 PAINT FINISH



3 ALUMINIUM BATTENS
POWDER COAT FINISH



4 TINTED GLAZING (BLACK)
TO WINDOWS DOORS AND BALUSTRADES
WITH BLACK POWDERCOAT FRAMING



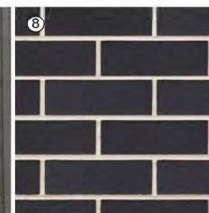
5 HORIZONTAL LOUVRES
FOR PLANT DECK



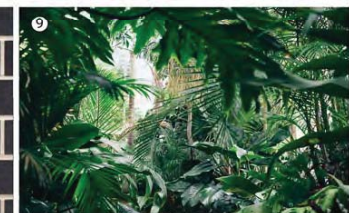
6 CRAZY PAVING



7 EQUITONE OR SIMILAR
PROFILED CLADDING



8 BRICK



9 LANDSCAPING

INTERNAL ELEVATION (NORTH TOWER)

1 : 250

AMENDED IN RED

By: K McGill

Date: 4 September 2020



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



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METAL SHEET CLADDING



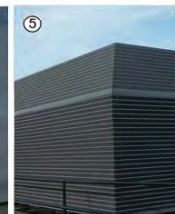
PAINT FINISH



ALUMINIUM BATTENS
POWDER COAT FINISH



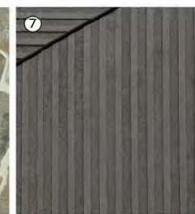
TINTED GLAZING (BLACK)
TO WINDOWS DOORS AND BALUSTRADES
WITH BLACK POWDERCOAT FRAMING



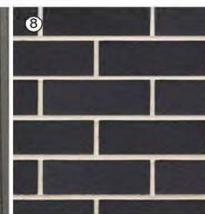
HORIZONTAL LOUVRES
FOR PLANT DECK



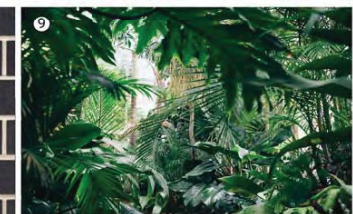
CRAZY PAVING



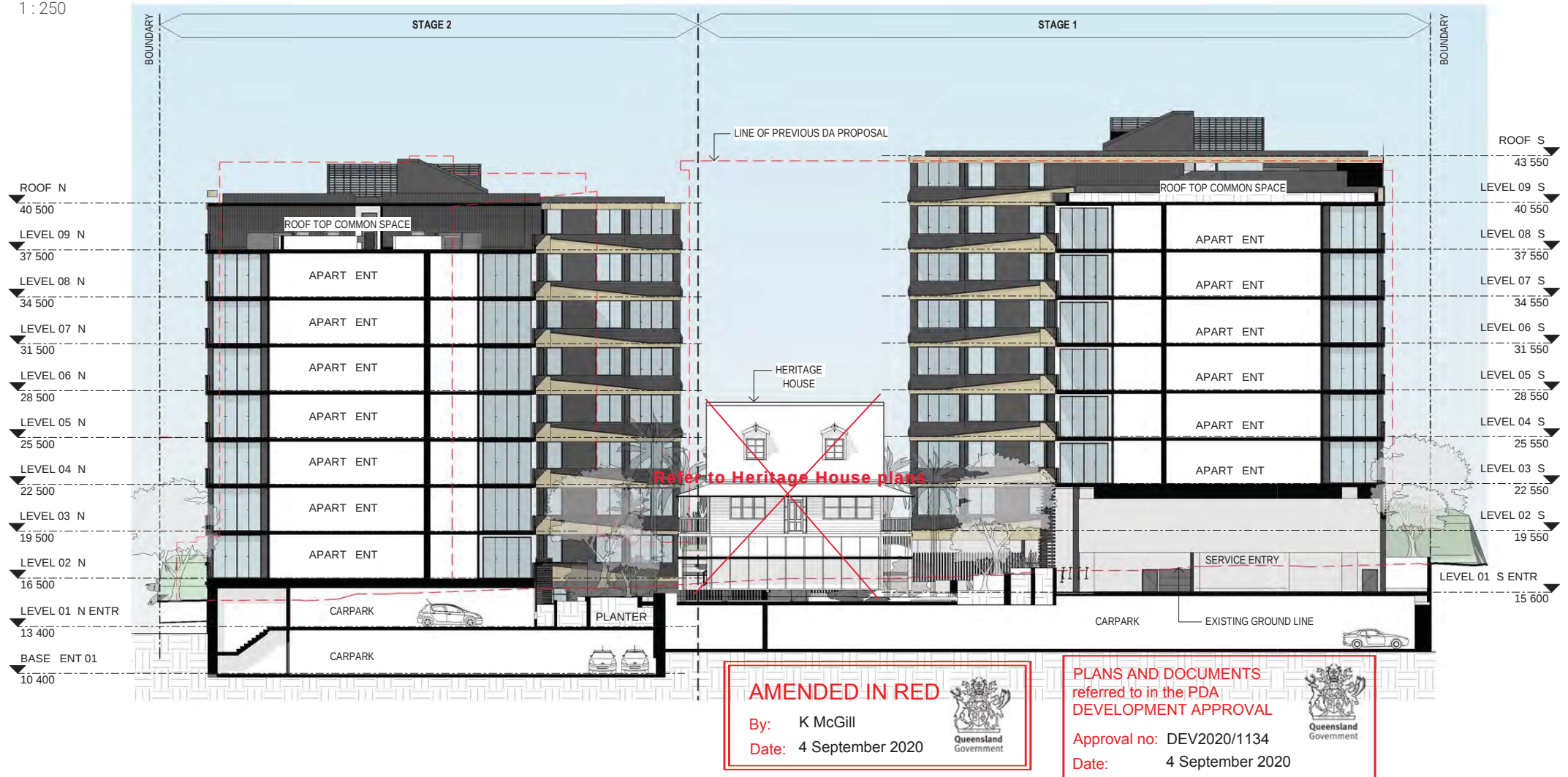
EQUITONE OR SIMILAR
PROFILED CLADDING



BRICK



LANDSCAPING



EXTERNAL MATERIALS

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

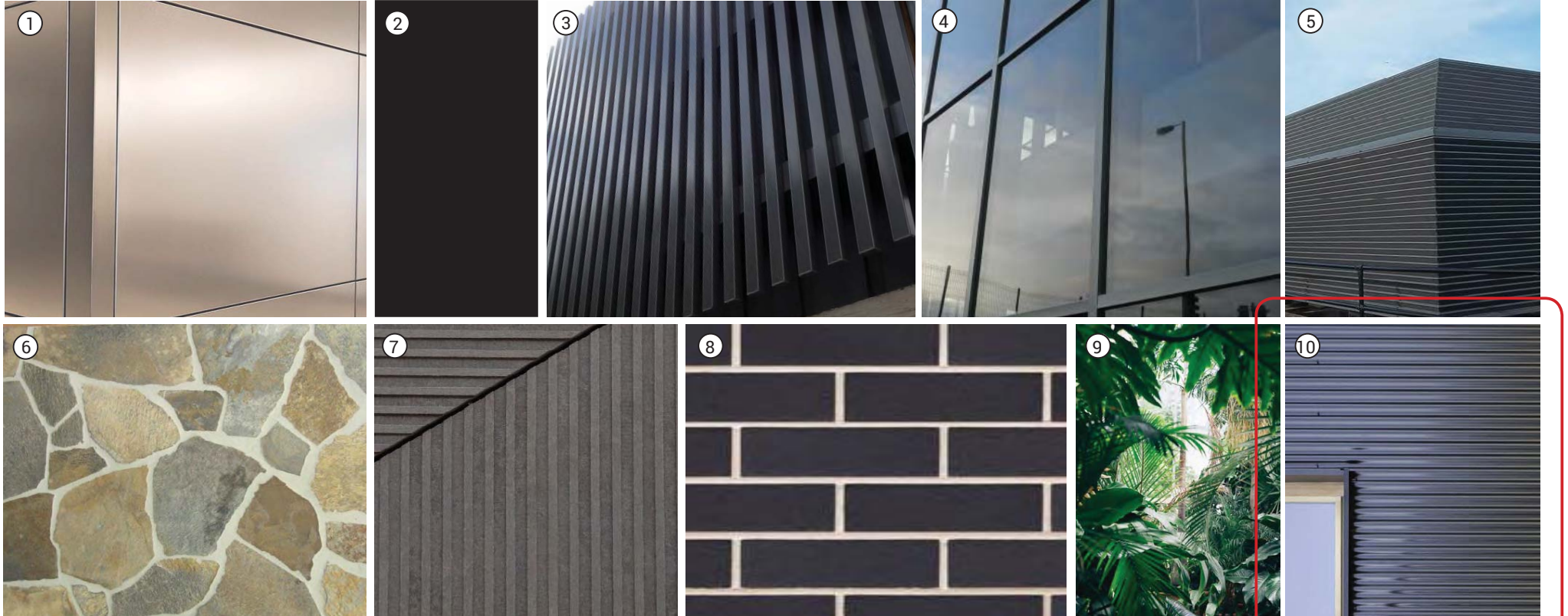
Approval no: DEV2020/1134

Date: 4 September 2020



CORE

plus



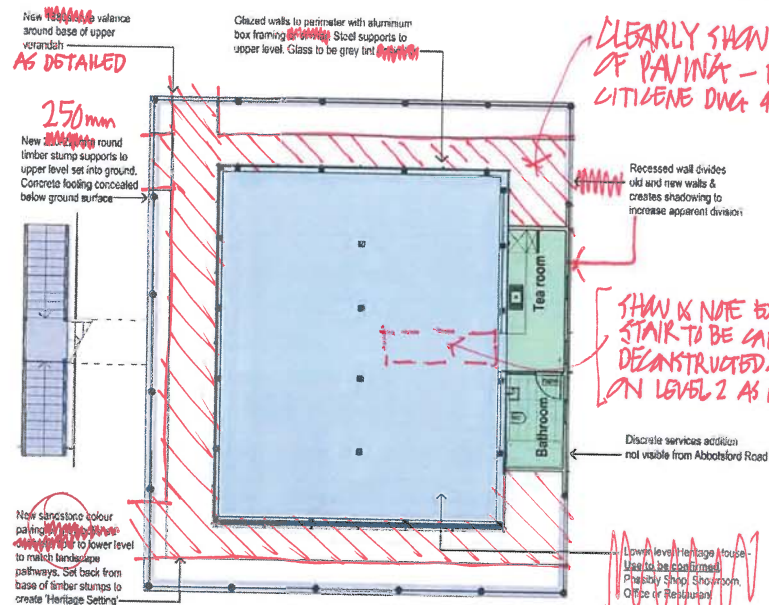
MATERIAL LEGEND

- 01 METAL SHEET CLADDING - CHAMPAGNE
- 02 PAINT FINISH
- 03 VERTICAL & HORIZONTAL ALUMINIUM BATTENS
- POWDER COATED FINISH
- 04 TINTED GLAZING TO WINDOWS, DOORS AND BALUSTRADES
- 05 HORIZONTAL LOUVRE

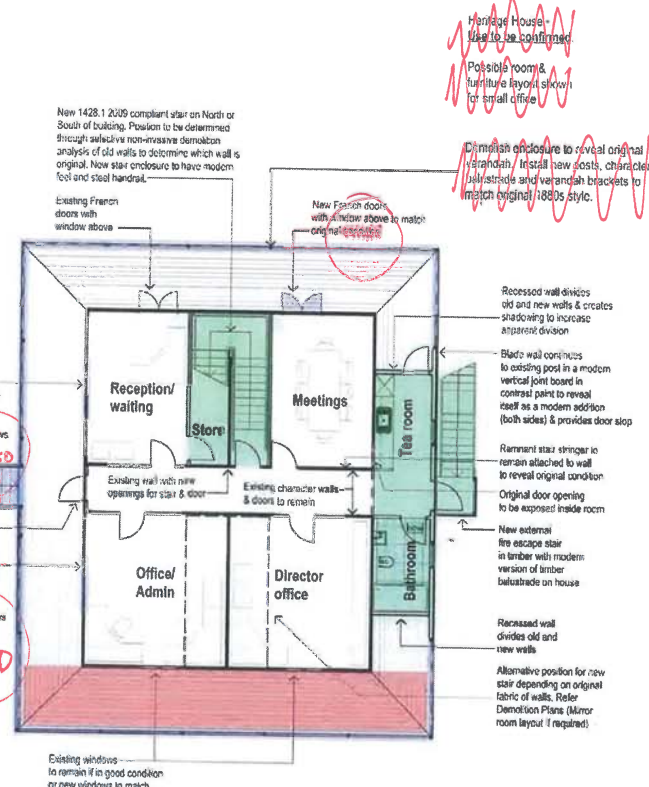
- 06 CRAZY PAVING
- 07 EQUITONE OR SIMILAR PROFILED CLADDING
- 08 BRICK (BLACK)
- 09 LANDSCAPING
- 10 DARK HORIZONTAL METAL CLADDING

DA RFI

**NOTE: ALL INTERNALS AND EXTERNALS
ON THE HERITAGE HOUSE ARE AS PER
APPROVED.**



1 Heritage House Ground 1:150



2 Heritage House Level 1 1:150

NOTES

Existing VJ walls to remain typically. Where linings have been removed or added, use VJ linings to restore walls to original condition if VJ on adjacent walls in room. New walls at upper levels to be plasterboard. Paint finish to all walls.

Existing VJ ceilings to be retained or revealed where covered with linings. Any asbestos wall or ceiling linings to be removed. New ceilings to upper level to be plasterboard with fibrecement to wet areas.

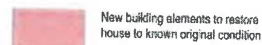
New shot edge decking to all external verandahs *as detailed*
Refer associated Landscape Plan by CitiCene to review garden setting

All doors to be restored to original condition where possible. New doors at upper level to be plain flush leaf. Relocate suitable existing door from demolished rear building if possible and significant. Paint finish

New doors and windows will be of the same materials as the old house but will be un-ornamented, with square timberwork so that from a distance, they look original and suit the house but on closer inspection they reveal themselves as new modern work.

Original timber flooring to be ~~revealed~~ ^{retained} and restored where possible or new ~~timber flooring~~ ^{flooring} to match original to all internal floors at Level 1 and 2

KEY



ND = New door

New modern stair, enclosing walls and rear amenities extension

New building elements reflecting style and era of original condition

Existing ~~right~~ walls to be demolished, see notes on drawing

NEED TO INCLUDE HAL DRAWING
TP 18 AA SHOWING VERANDAH FLOOR
FRAMING PLAN

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1134

Date: 4 September 2020

AMENDED IN RED

By: K McGill

Date: 4 September 2020



HERITAGE HOUSE

NTS

PLEASE NOTE: ALL INFORMATION CONTAINED WITHIN THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ALL MEASUREMENTS SHOWN ARE TO BE CHECKED ON SITE PRIOR TO CONDUCTING WORKS.

NOTE: ALL INTERNALS AND EXTERNALS ON THE HERITAGE HOUSE ARE AS PER APPROVED.

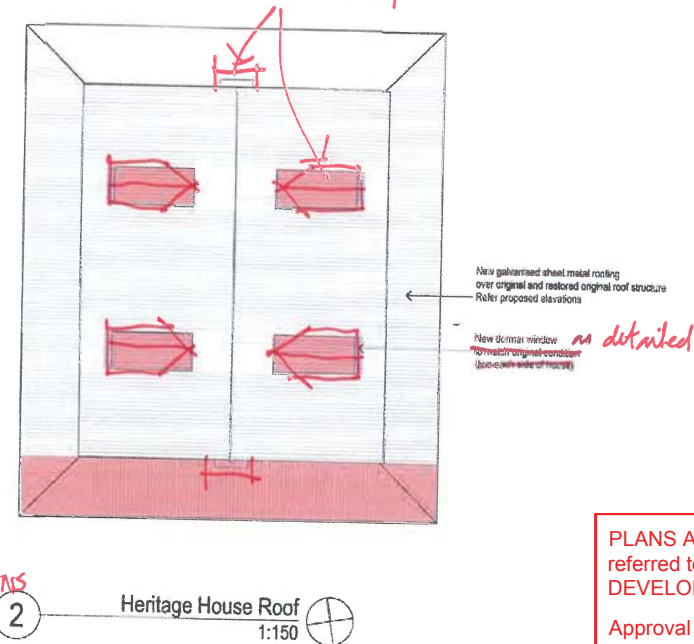
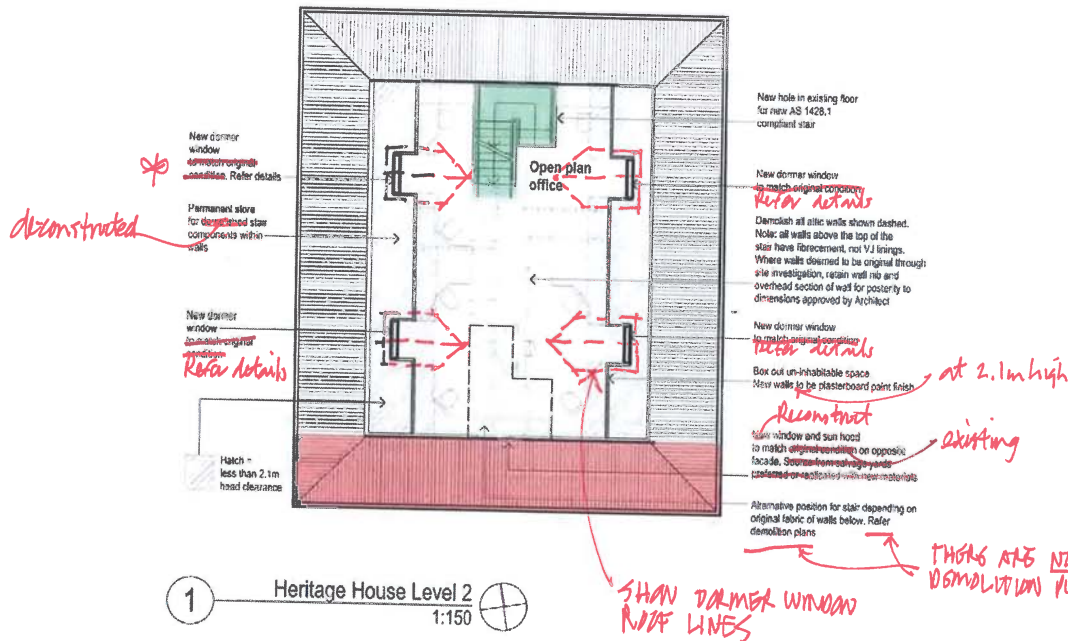
CORE

plus

Heritage House -
Use to be confirmed.

Possible room &
furniture layout shown
for small office.

SHAN HOOBS & DALMEGAS
ACCURATELY



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1134

Date: 4 September 2020



NOTES

Existing VJ walls to remain typically. Where linings have been removed or added, use VJ linings to restore walls to original condition if VJ on adjacent walls in room. New walls at upper levels to be plasterboard. Paint finish to all walls.

Existing VJ ceilings to be retained or revealed where covered with linings. Any asbestos wall or ceiling linings to be removed. New ceilings to upper level to be plasterboard with fibreconcrete to wet areas.

New shot edge decking to all external verandahs.

Refer associated Landscape Plan by CitiCene to review garden setting

All doors to be restored to original condition where possible. New doors at upper level to be plain flush leaf. Relocate suitable existing door from demolished rear building if possible and significant. Paint finish

New doors and windows will be of the same materials as the old house but will be un-ornamented, with square timberwork so that from a distance, they look original and suit the house but on closer inspection they reveal themselves as new modern work.

Original timber flooring to be revealed and restored where possible or new timber flooring to match original to all internal floors at Level 1 and 2

KEY

New building elements to restore house to known original condition

New building elements to match original condition of existing heritage house

ND = New door

New modern stair and upper level walls a ledge of attic space

New building elements to match style and era of original condition

Existing presumed non-original attic walls to be demolished, see notes on drawing

AMENDED IN RED

By: K McGill

Date: 4 September 2020



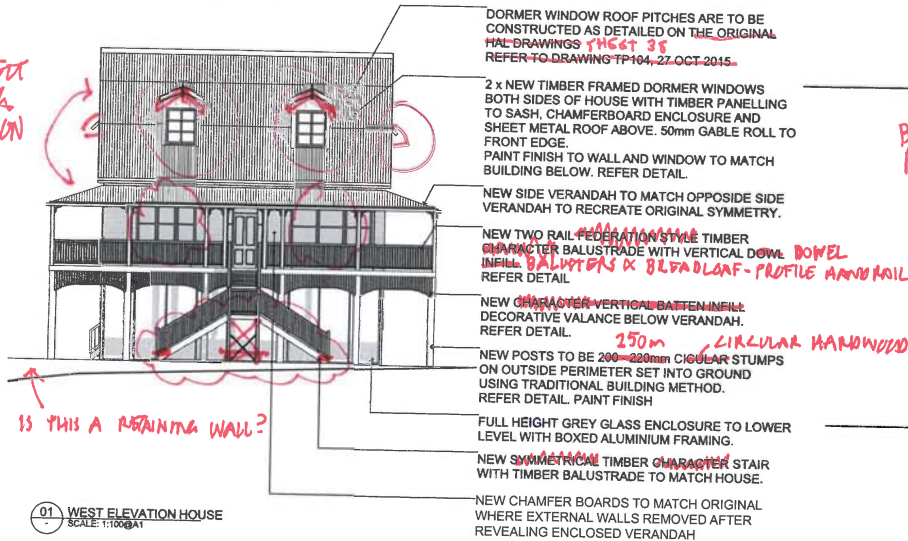
HERITAGE HOUSE

NTS

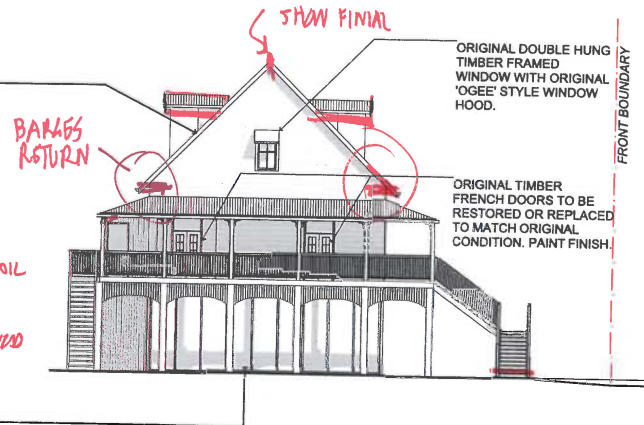
PLEASE NOTE: ALL INFORMATION CONTAINED WITHIN THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ALL MEASUREMENTS SHOWN ARE TO BE CHECKED ON SITE PRIOR TO CONDUCTING WORKS.

NOTE: ALL INTERNALS AND EXTERNALS ON THE HERITAGE HOUSE ARE AS PER APPROVED.

INCREASED BUILDING PROPORTION

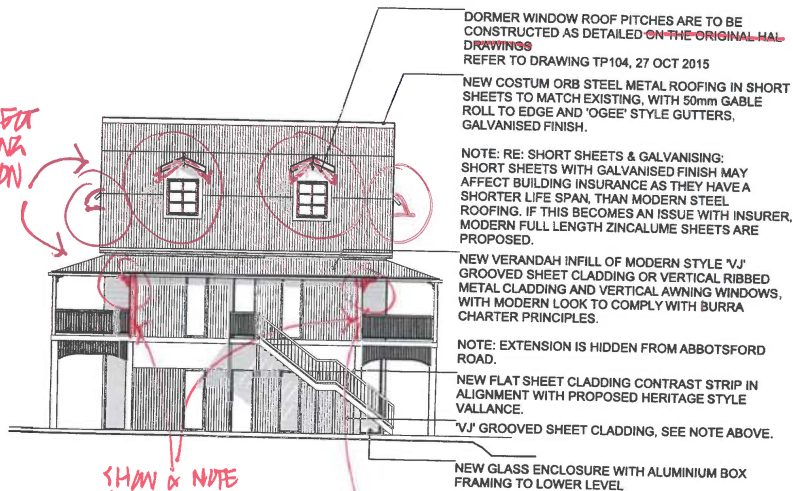


01 WEST ELEVATION HOUSE
SCALE: 1:100@A1

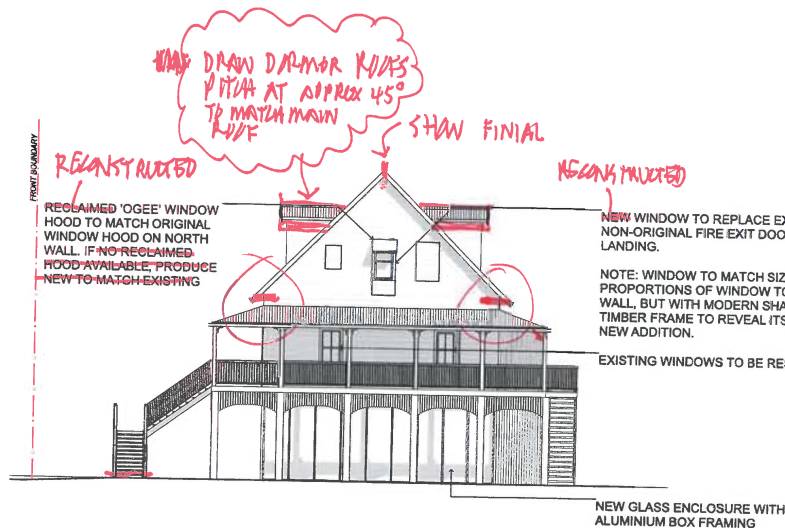


02 NORTH ELEVATION HOUSE
SCALE: 1:100@A1

INCREASED BUILDING PROPORTION



03 EAST (REAR) ELEVATION HOUSE
SCALE: 1:100@A1



04 SOUTH ELEVATION HOUSE
SCALE: 1:100@A1

CORE plus

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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AMENDED IN RED

By: K McGill

Date: 4 September 2020



THESE ELEVATIONS ARE INACCURATE & INFERIOR TO THE HAL TP1034 ELEVATIONS. EITHER USE THE HAL DWG. OR RE-DRAW THESE ELEVATIONS TO BE ACCURATE

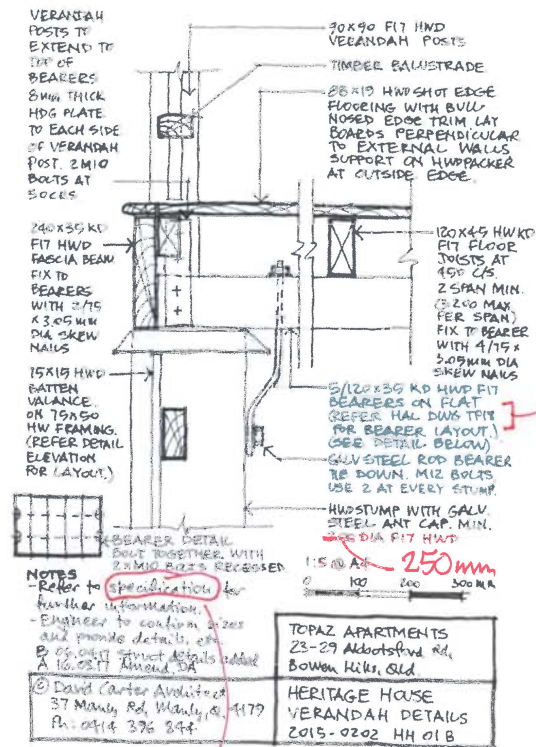
SHOW ACCURATELY:

- EAST & WEST ELEVATION PROPORTION (compare to HAL drawing)
- WEST ELEVATION D/H WINDOWS (compare to HAL drawing & sheet 38)
- FRONT STAIR
- DORMER WINDOWS
- WINDOW HANDS
- NORTH & SOUTH ELEVATION BARGE RETURNS
- ADD FINIALS
- VERANDAH BRACKETS

HERITAGE HOUSE

NTS
PLEASE NOTE: ALL INFORMATION CONTAINED WITHIN THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ALL MEASUREMENTS SHOWN ARE TO BE CHECKED ON SITE PRIOR TO CONDUCTING WORKS.

NOTE: ALL INTERNALS AND EXTERNALS ON THE HERITAGE HOUSE ARE AS PER APPROVED.

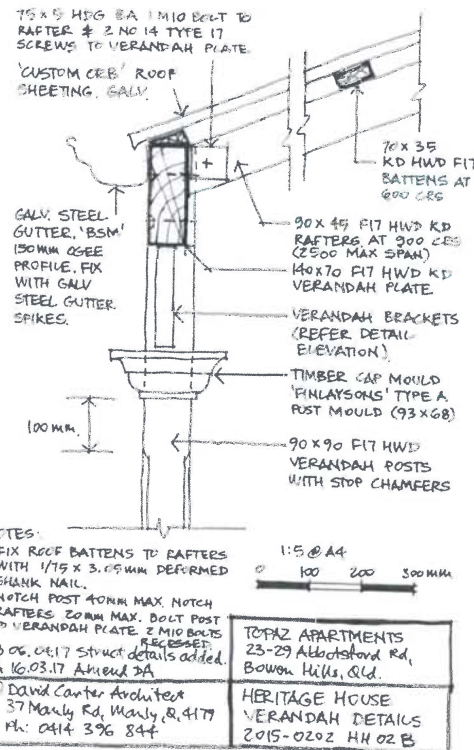


NOTE: HERITAGE HOUSE DETAILS HAVE BEEN DRAWN BY DAVID CARTER - HERITAGE ARCHITECT

WHERE IS SPECIFICATION?

NEED TO INCLUDE HAL DWG TP18AA (APPROVED 27/1/16) FOR BEARER LAYOUT

NOTE THAT ALL SOUND BEARERS ARE TO BE RETAINED



NOTE: HERITAGE HOUSE DETAILS HAVE BEEN DRAWN BY DAVID CARTER - HERITAGE ARCHITECT

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1134

Date: 4 September 2020



AMENDED IN RED

By: K McGill

Date: 4 September 2020



HERITAGE HOUSE

NTS

NOTE: ALL INTERNALS AND EXTERNALS ON THE HERITAGE HOUSE ARE AS PER APPROVED.



WEST COLOURS

CHOCOLATE
Dulux ROYAL BLUE to handrails & gutters or down pipes



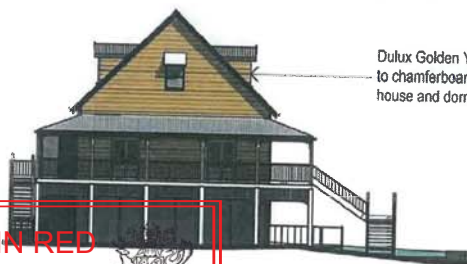
EAST COLOURS

CHOCOLATE
Dulux ROYAL BLUE to rear extension
GOLDEN YELLOW to front fascia
Dulux LIME WHITE to banding



SOUTH COLOURS

Dulux LIME WHITE to handrails
Dulux LIME WHITE to Verandah posts, brackets, valance and balustrade infill



NORTH COLOURS

Dulux GOLDEN YELLOW to chamferboards on house and dormer windows

AMENDED IN RED

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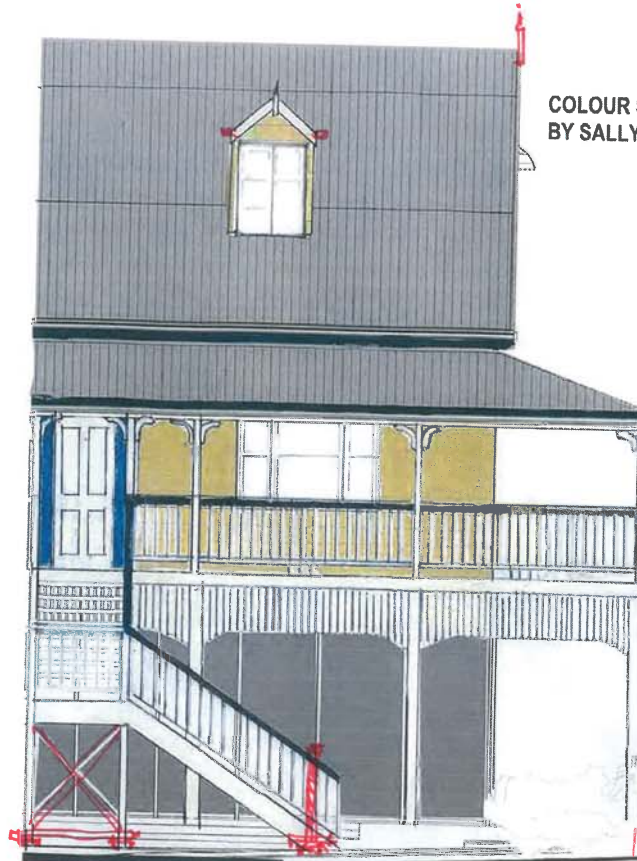
CORE plus

LIST THE FOLLOWING ITEMS & COLOURS

- ROOF SHEETING - UNPAINTED
- FASCIAS/BARKES - LIME WHITE (incl. dormers)
- FINIALS - LIME WHITE (incl. dormers)

COLOUR SCHEME BY SALLY OSBOURNE MVA

- SUFFITS - LIME WHITE
- GABLE ROLLS & BARGE TRIM BELOW BARGE (incl. dormers)
- GABLE ROLLS - CHOCOLATE (incl. dormers)
- GUTTERS/DOWN PIPES - CHOCOLATE (incl. dormers)
- VERANDAH - POSTS/PLATES/BRAKETS/EDGE FLOOR BOARD/LOWER BALUSTRADE (BELOW HANDRAIL)/VALANCE PANELS BETWEEN STUMPS
 - ALL LIME WHITE
 - CAP MOULDS - CHOCOLATE
- WALLS - GOLDEN YELLOW
- VERANDAH FLOOR FASCIA - GOLDEN YELLOW
- STAIR - STRINGERS - GOLDEN YELLOW
 - NEWEL POSTS - LIME WHITE
 - OUTER 200mm OF TREADS - LIME WHITE
 - BODY OF TREADS - CLEAR OIL
- VERANDAH & STAIRS HANDRAILS - CHOCOLATE
- VERANDAH FLOOR (excl. edge board) - CLEAR OIL
- WINDOW - SASHES - LIME WHITE
 - SILLS - CHOCOLATE
 - HOODS - CHOCOLATE
- DOORS - CHOCOLATE
- STUMPS - MATT BLACK



TRADITIONAL "CHOCOLATE"
DULUX- ROYAL BLUE G29

- STUMP LIPS - UNPAINTED
- GROUND FLOOR ALUM. GLAZING FRAMES - BLACK OR CHOCOLATE

DULUX- GOLDEN YELLOW G58

- EXPOSED VERANDAH ROOF FRAMING - GOLDEN YELLOW
- U/SIDE OF VERANDAH FLOOR FRAMING - CHOCOLATE (IF PAINTED)

DULUX- LIME WHITE O28
HALF STRENGTH

REFER REPORT BY SALLY OSBOURNE MVA FOR ADDITIONAL INFORMATION

HERITAGE HOUSE

NTS

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plus

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