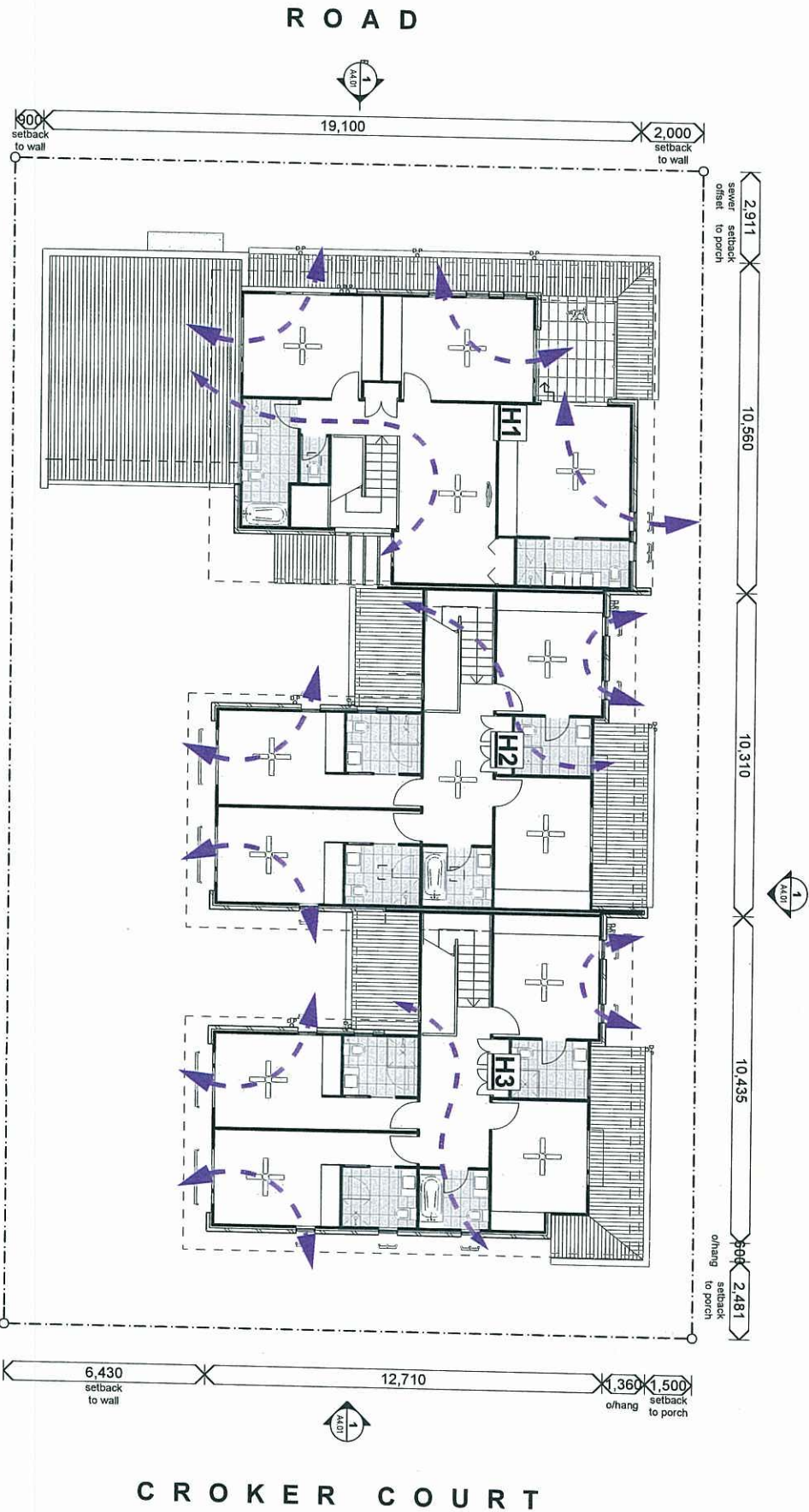


AMENDMENT REGISTER			
ISSUE	DESCRIPTION	DATE	INITIALS
A	PRELIMINARY ASSESSMENT	16/01/11	JC
B	CONCEPT DESIGN	20/01/11	JC
C	CONCEPT DESIGN REVIEW	30/01/11	JC
D	CHANGE TO BRICK VENEER	18/07/11	JC
E	CHANGE BATHROOMS	03/09/12	JC
F	FLIP GARAGE DOOR WITH WINDOW DRINKS	18/09/12	JC
G	FOR MCQ COORDINATION	07/02/12	JC
H	INCORPORATING LANDSCAPE	18/09/12	JC
I	INCORPORATING ON-LOT FEEDBACK	12/09/12	JC



PROPOSED SITE PLAN : FIRST FLOOR

SCALE 1:200@A3

3 No. ATTACHED DWELLINGS (TOWNHOUSES)

The proposed built form with its unique entry court arrangement, allows cross ventilation to more rooms than a traditional townhouse thus enhancing the opportunity for energy reduction and healthier living. The language of wrap round porches and proportion of brick and weatherboard elements is kept consistent.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11 / 5 / 12

PROJECT		CROKER CT RESIDENCES	
LOT 393 ON SP230470		19 CROKER CT	
MORANBAH, Q 4744		UDA DEVELOPMENT APPLICATION	
DRAWING TITLE		PROPOSED SITE PLAN : FIRST	
SCALE		DATE	
1:100@A1		08 NOV 2011	
1:200@A3		JC	
PROJECT NO		DRAWING NO	
1172		H.A1.02	
PLOT DATE		G	
22/02/12			

AMENDMENT REGISTER			
ISSUE	DESCRIPTION	DATE	INITIALS
A	PRELIMINARY ASSESSMENT	15/01/11	JC
B	CONCEPT DESIGN	27/01/11	JC
C	CONCEPT DESIGN REVIEW	30/01/11	JC
D	CONCEPT DESIGN REVIEW	19/02/11	JC
E	CHANGE TO BRICK VENEER	03/03/12	JC
F	CHANGE BATHROOMS	16/03/12	JC
G	CHANGE TO BRICK VENEER	19/03/12	JC
H	CHANGE TO BRICK VENEER	19/03/12	JC
I	CHANGE TO BRICK VENEER	19/03/12	JC
J	CHANGE TO BRICK VENEER	19/03/12	JC
K	CHANGE TO BRICK VENEER	19/03/12	JC
L	CHANGE TO BRICK VENEER	19/03/12	JC
M	CHANGE TO BRICK VENEER	19/03/12	JC
N	CHANGE TO BRICK VENEER	19/03/12	JC
O	CHANGE TO BRICK VENEER	19/03/12	JC
P	CHANGE TO BRICK VENEER	19/03/12	JC
Q	CHANGE TO BRICK VENEER	19/03/12	JC
R	CHANGE TO BRICK VENEER	19/03/12	JC
S	CHANGE TO BRICK VENEER	19/03/12	JC
T	CHANGE TO BRICK VENEER	19/03/12	JC
U	CHANGE TO BRICK VENEER	19/03/12	JC
V	CHANGE TO BRICK VENEER	19/03/12	JC
W	CHANGE TO BRICK VENEER	19/03/12	JC
X	CHANGE TO BRICK VENEER	19/03/12	JC
Y	CHANGE TO BRICK VENEER	19/03/12	JC
Z	CHANGE TO BRICK VENEER	19/03/12	JC

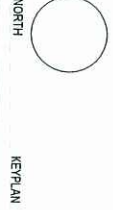


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VERIFICATION
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AUTHORISATION

REG. NO.



CLIENT

PROJECT

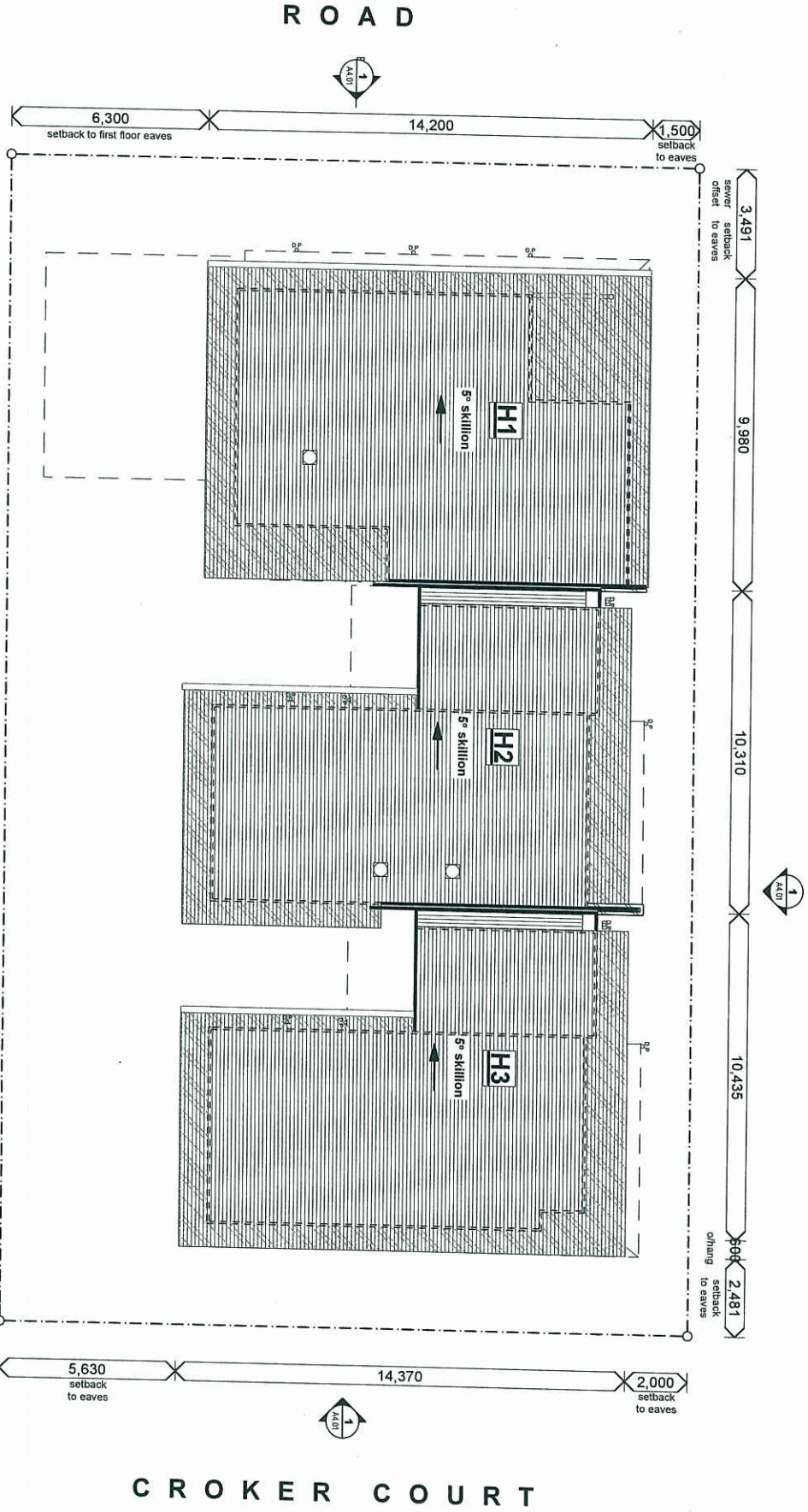
LOCATION

STAGE

UDA DEVELOPMENT APPLICATION

PROPOSED SITE PLAN : ROOF

SCALE	DATE	DRAWN
1:100@A1	08 NOV 2011	JC
1:200@A3		
PROJECT NO.	DRAWING NO.	ISSUE
1172	H.A1.03	G
PLOT DATE		22/02/12



PROPOSED SITE PLAN : ROOF

SCALE 1:200@A3

3 No. ATTACHED DWELLINGS (TOWNHOUSES)

The proposed roof form, sufficiently breaks up the mass of the building. By arranging the 3 no. skillions (5 degree pitch) perpendicular to the block, they respond to the landscaped entry courtyards below. And assist in giving clear and legible individuality to each dwelling. Eaves range from 450 - 900. Which gives a more characteristic roof line to the proposed skillion form.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11 / 5 / 12

- DIVERSITY OF HOUSING CHOICE & DESIGN

H1 _ HOUSE LIKE DWELLING
 OVERLOOKING RESERVE
 H2 _ TOWNHOUSE LIKE DWELLING
 MIDDLE UNIT
 H3 _ DUPLEX LIKE DWELLING
 END UNIT WITH SIDE WINDOWS.

900 SETBACK TO PARAPET WALL
OF CLASS 10 GARAGE

ANTENNAE & DISHES TO REAR OF DWELLING COLOUR MATCHED

MIN SETBACK TO WALLS
SETBACK TO PORCH &
NIB PARTITION WALLS

FEATURE TIMBERLOOK GARAGE DOORS
DO NOT DOMINATE THE STREET
DUE TO SHADING, OR FIRST FLOOR ABOVE
EXPOSED AG & STENCILLED CONC DRIVE

+221.70

2400

1 600

+222.2

NATURAL GROUND LINE AT BOUNDARY NGM +221.8

+221.90

PROPOSED STREET ELEVATION(SW)

SCALE 1:100@A3

- FENCING REFER TO LSA INTENT
- BIN ENCLOSURE - PAINTED
(WINDSPRAY GREY GREEN)
- FREE STANDING MAILBOX &
- STREET NUMBER CENTURY GOTHIC

SURVEILLANCE TO FROM H3
LIVING ROOM & ALFRESCO
NATIVE & ENDEMIC LANDSCAPE DESIGN
REFER TO INTENT PLAN BY L.S.A.
SHADE TREE, FEATURE SHRUBS &
GROUND COVERS

- MIN SETBACK TO WALLS
- SETBACK TO PORCH & NIB PARTITION WALLS
- HALF ROUND GUTTERS & ROUND DPs WITH LEAF GUARDS
- SECONDARY CLADDING - PAINTED FIBRE CEMENT (SUFMIST WHITE)
- PRIMARY CLADDING - FACE BRICK (LIGHT & DARK MUTED TONES)
- PROJECTING ELEMENTS
- PRIVACY SCREENS & PORCHES
- GREY TINT WINDOWS
- ARCHITECTURAL PROPORTION
- SETBACKS ARE CONSISTENT WITH CHARACTER OF AREA, AND SINCE PRIVATE SPACES FACE NON HABITABLE SHEDS OR OPEN RESERVE PRIVACY IS MAINTAINED

MIN SETBACK TO WALLS
SETBACK TO PORCH &
NIB PARTITION WALLS

2,000
1,500

ANTENNAE & DISHES TO REAR OF DWELLING COLOUR MATCHED

SETBACK TO PARAPET WALL
OF CLASS 10 GARAGE

900

7,000
NOM. FLOOR TO RIDGELINE HEIGHT

+221.95

NATURAL GROUND LINE AT BOUNDARY NOM +220.9

+220.90

06.0

HALF ROUND GUTTERS &
 ROUND DP's WITH LEAF GUARDS
 SECONDARY CLADDING -
 PAINTED FIBRE CEMENT
 (SURREMIST WHITE)
 PRIMARY CLADDING -
 FACE BRICK
 (LIGHT & DARK MUTED TONES)
 PROJECTING ELEMENTS
 PRIVACY SCREENS & PORCHES
 GREY TINT WINDOWS
 ARCHITECTURAL PROPORTION
 SETBACKS ARE CONSISTENT
 WITH CHARACTER OF AREA,
 AND SINCE PRIVATE SPACES FACE
 NON HABITABLE SHEDS OR OPEN
 RESERVE PRIVACY IS MAINTAINED

PROPOSED RESERVE ELEVATION (NE)

SCALE 1:100@A3

AMENMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	PRELIMINARY ASSESSMENT	15/01/11 JC
B	CONCEPT DESIGN	21/01/11 JC
C	CONCEPT DESIGN REVIEW	30/01/11 JC
D	CHANGE TO BACK VENTILATION	19/02/11 JC
E	CHANGE BACKLIGHTS	03/03/12 JC
F	DRIFT FOR RAIL COORDINATION	18/03/12 JC
G	REVISION TO WINDOW DINING	19/03/12 JC
H	INCORPORATING LANDSCAPE	07/03/12 JC
I	INCORPORATING CIVIL FEEDBACK	12/03/12 JC

PLANS AND DOCUMENTS
referred to in the ULDA
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07 55 84 27 28

21 038 039 455

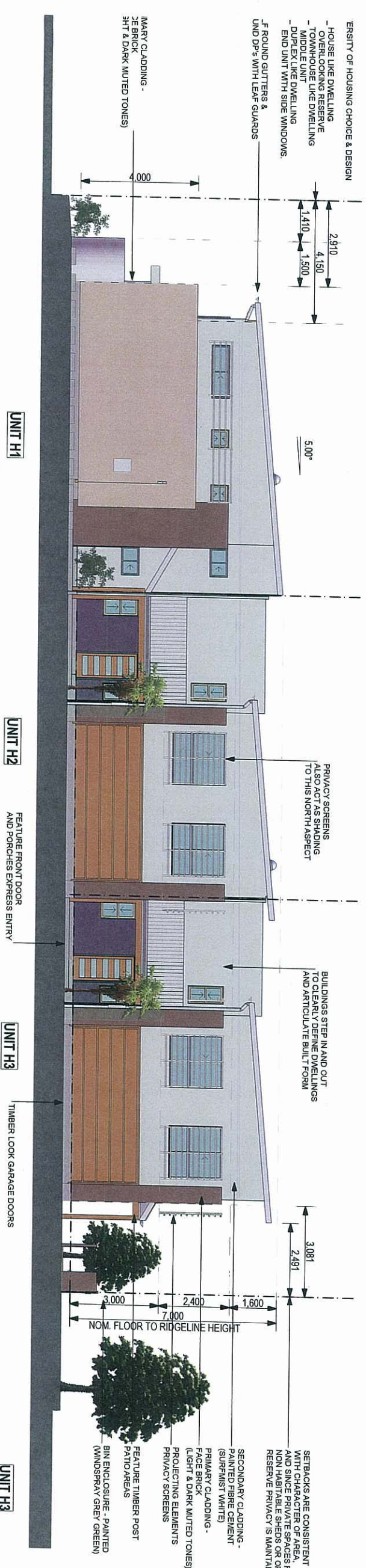
PROJECT	CROKER CT RESIDENCES LOT 393 ON SP230470
LOCATION	19 CROKER CT MORANBAH, Q 4744

STAGE	UDA DEVELOPMENT APPLICATION
-------	-----------------------------

DRAWING TITLE

ELEVATIONS

SCALE	DATE	DRAWN
1:50@A1 1:100@A3	08 NOV 2011	JC
PROJECT NO.	DRAWING NO.	ISSUE
1172	H.A.4.01	G

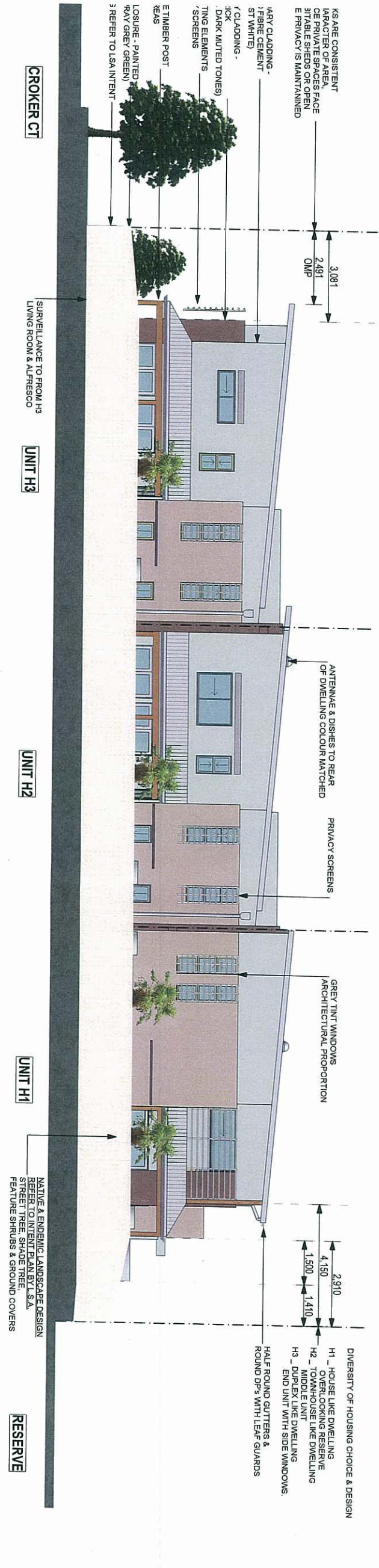


AMENDMENT REGISTER			
ISSUE	DESCRIPTION	DATE	ARTWORK
1	CONCEPT DESIGN	16/11/11	1
2	CONCEPT DESIGN REVIEW	20/11/11	2
3	CONCEPT DESIGN REVIEW	19/2/11	3
4	CONCEPT DESIGN REVIEW	03/01/12	4
5	CONCEPT DESIGN REVIEW	18/01/12	5
6	CONCEPT DESIGN REVIEW	07/02/12	6
7	CONCEPT DESIGN REVIEW	12/02/12	7

PROPOSED SIDE ELEVATION (NW)

SCALE 1:100@A3

PLANS AND DOCUMENTS
referred to in the ULDA
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CLIENT

PROJECT

CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION

19 CROKER CT
MORANBAH, Q 4744

STAGE

UDA DEVELOPMENT APPLICATION

DRAWING TITLE

ELEVATIONS

SCALE

1:50@A1
1:100@A3

DATE

08 NOV 2011

DRAWN

JC

PROJECT NO.

1172

DRAWING NO.

H.A.4.02

ISSUE

G

PLOT DATE

22/03/12

AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	PRELIMINARY ASSESSMENT	16/01/11
B	CONCEPT DESIGN	20/11/11
C	CONCEPT DESIGN REVIEW	30/11/11
D	CHANGE TO BRICK VENEER	19/01/12
E	CHANGE BATHROOMS	03/01/12
F	FLIP GARAGE COORDINATION	18/01/12
G	FOR MLC COORDINATION	18/01/12
H	INCORPORATING LANDSCAPE	07/02/12
I	INCORPORATING CIVIL FEEDBACK	12/02/12

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11 / 5 /12



PROPOSED STREETSCAPE

SCALE 1:200@A3

3 No. ATTACHED DWELLINGS (TOWNHOUSES)

The buildings are designed and sited for efficient use of in town land, while allowing diversity of unit design, maintaining privacy, and contribute to the character of the brand new Isaac Views Estate. Carparking is in garages that have been designed into the buildings, and access is by single width crossover. Each building is clearly distinguishable from each other and entries are clearly identified by landscaped entries. (refer LSA)

Fencing is suitably co-ordinated with the built form, allowing demarkation and active surveillance of street.

Solutions that provide opportunity for Energy Reduction are incorporated into the Architecture.



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PROJECT		CROKER CT RESIDENCES	
LOT 393 ON SP230470		19 CROKER CT	
MORANBAH, Q 4744		UDA DEVELOPMENT APPLICATION	
DRAWING TITLE		STREETSCAPE PERSPECTIVE	
SCALE	DATE	DRAWN	DATE
NTS	08 NOV 2011	JC	
PROJECT NO.	DRAWING NO.	ISSUE	
1172	H.A9.01	G	
FOR DATE	22/02/12		

AMENDMENT REGISTER			
ISSUE	DESCRIPTION	DATE	INITIALS
A	PROPOSED	19/11/11	JC
B	PROPOSED	20/11/11	JC
C	CONCEPT DESIGN REVIEW	19/12/12	JC
D	CLIENT SIGN OFF	19/12/12	JC
E	CHANGE EXTERIOR WALLS	03/01/12	JC
F	CHANGE EXTERIOR WALLS	15/01/12	JC
G	CHANGE EXTERIOR WALLS	15/01/12	JC
H	CHANGE EXTERIOR WALLS	15/01/12	JC
I	CHANGE EXTERIOR WALLS	15/01/12	JC
J	CHANGE EXTERIOR WALLS	15/01/12	JC
K	CHANGE EXTERIOR WALLS	15/01/12	JC
L	CHANGE EXTERIOR WALLS	15/01/12	JC
M	CHANGE EXTERIOR WALLS	15/01/12	JC
N	CHANGE EXTERIOR WALLS	15/01/12	JC
O	CHANGE EXTERIOR WALLS	15/01/12	JC
P	CHANGE EXTERIOR WALLS	15/01/12	JC
Q	CHANGE EXTERIOR WALLS	15/01/12	JC
R	CHANGE EXTERIOR WALLS	15/01/12	JC
S	CHANGE EXTERIOR WALLS	15/01/12	JC
T	CHANGE EXTERIOR WALLS	15/01/12	JC
U	CHANGE EXTERIOR WALLS	15/01/12	JC
V	CHANGE EXTERIOR WALLS	15/01/12	JC
W	CHANGE EXTERIOR WALLS	15/01/12	JC
X	CHANGE EXTERIOR WALLS	15/01/12	JC
Y	CHANGE EXTERIOR WALLS	15/01/12	JC
Z	CHANGE EXTERIOR WALLS	15/01/12	JC

PLANS AND DOCUMENTS
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CLIENT

PROJECT
CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION

19 CROKER CT
MORANBAH, Q 4744

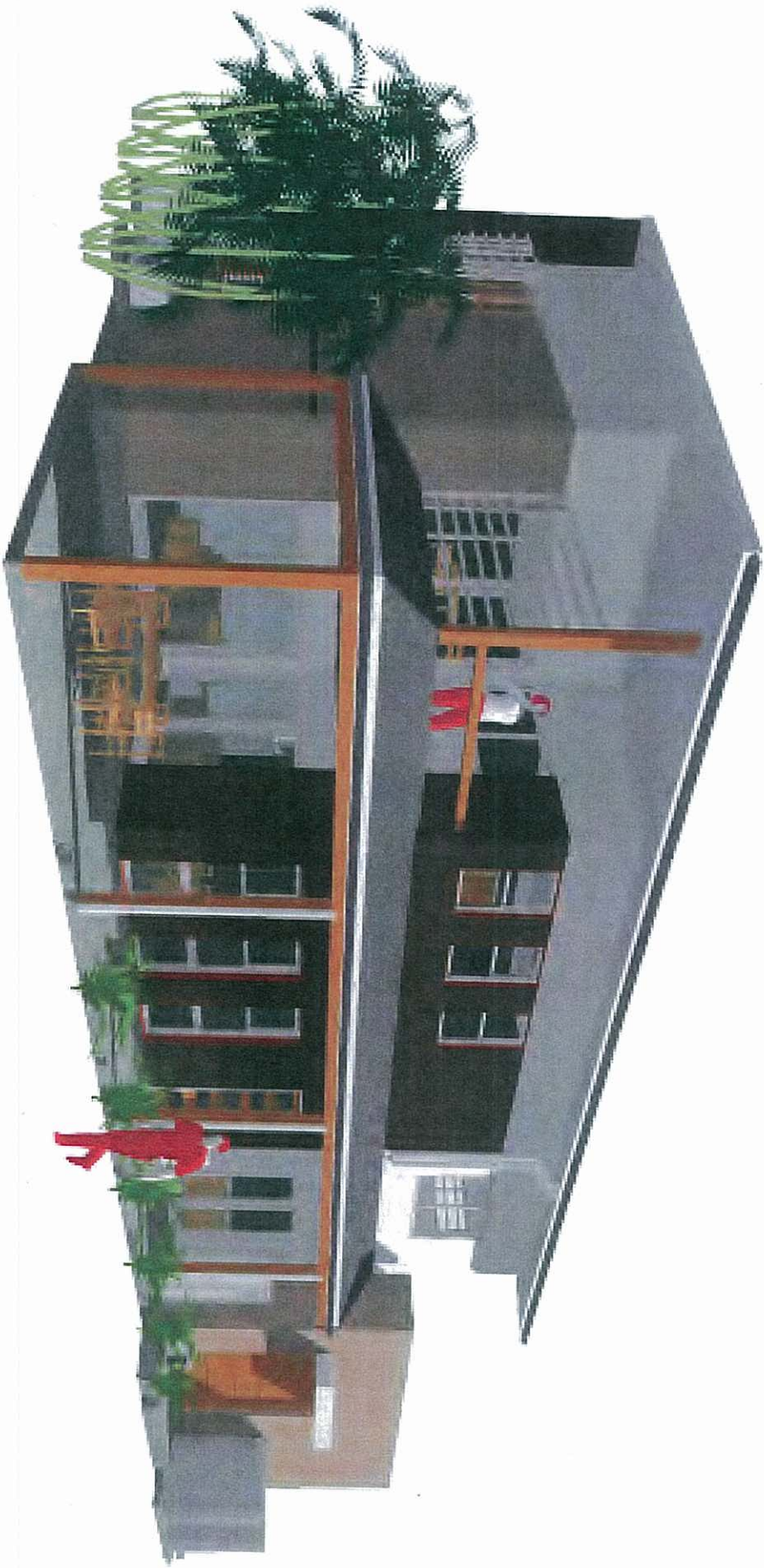
STAGE

UDA DEVELOPMENT APPLICATION

DRAWING TITLE

PERSPECTIVES HOUSE RESERVE

SCALE	DATE	DRAWN
NTS	08 NOV 2011	JC
PROJECT NO.	DRAWING NO.	ISSUE
1172	H.A9.02	G
FLD DATE	22/05/12	



RESERVE FRONTAGE PERSPECTIVE OF MAIN HOUSE

DESIGN HAS BEEN RATIONALISED TO BE 'BOX ON BOX'. WINDOWS OVER WINDOWS & DOORS OVER DOORS, FEATURE TIMBER POSTS & VERANDAH & HANDRAIL & DOWNPIPE DETAILS. WEATHERBOARD TRIM UNDER 'FLOATING' ROOF

AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	PRELIMINARY ASSESSMENT	25/11/11
B	CONCEPT DESIGN	25/11/11
C	CONCEPT DESIGN REVIEW	30/11/11
D	CLIENT CONSULTATION	19/12/11
E	CHANGE BATHROOMS	08/01/12
F	CHANGE BATHROOMS	18/01/12
G	CHANGE BATHROOMS	18/01/12
H	CHANGE BATHROOMS	18/01/12
I	CHANGE BATHROOMS	18/01/12
J	CHANGE BATHROOMS	18/01/12
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T	CHANGE BATHROOMS	18/01/12
U	CHANGE BATHROOMS	18/01/12
V	CHANGE BATHROOMS	18/01/12
W	CHANGE BATHROOMS	18/01/12
X	CHANGE BATHROOMS	18/01/12
Y	CHANGE BATHROOMS	18/01/12
Z	CHANGE BATHROOMS	18/01/12

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ABN: 22 124 421 455

CLIENT

PROJECT
CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION
19 CROKER CT
MORANBAH, Q. 4744

STAGE
UDA DEVELOPMENT APPLICATION

DRAWING TITLE
STREETSCAPE SURVEILLANCE

SCALE	DATE	DRAWN
NTS	08 NOV 2011	JC
PROJECT NO.	DRAWING NO.	ISSUE
1172	H.A.9.03	G
PLANT DATE	22/02/12	

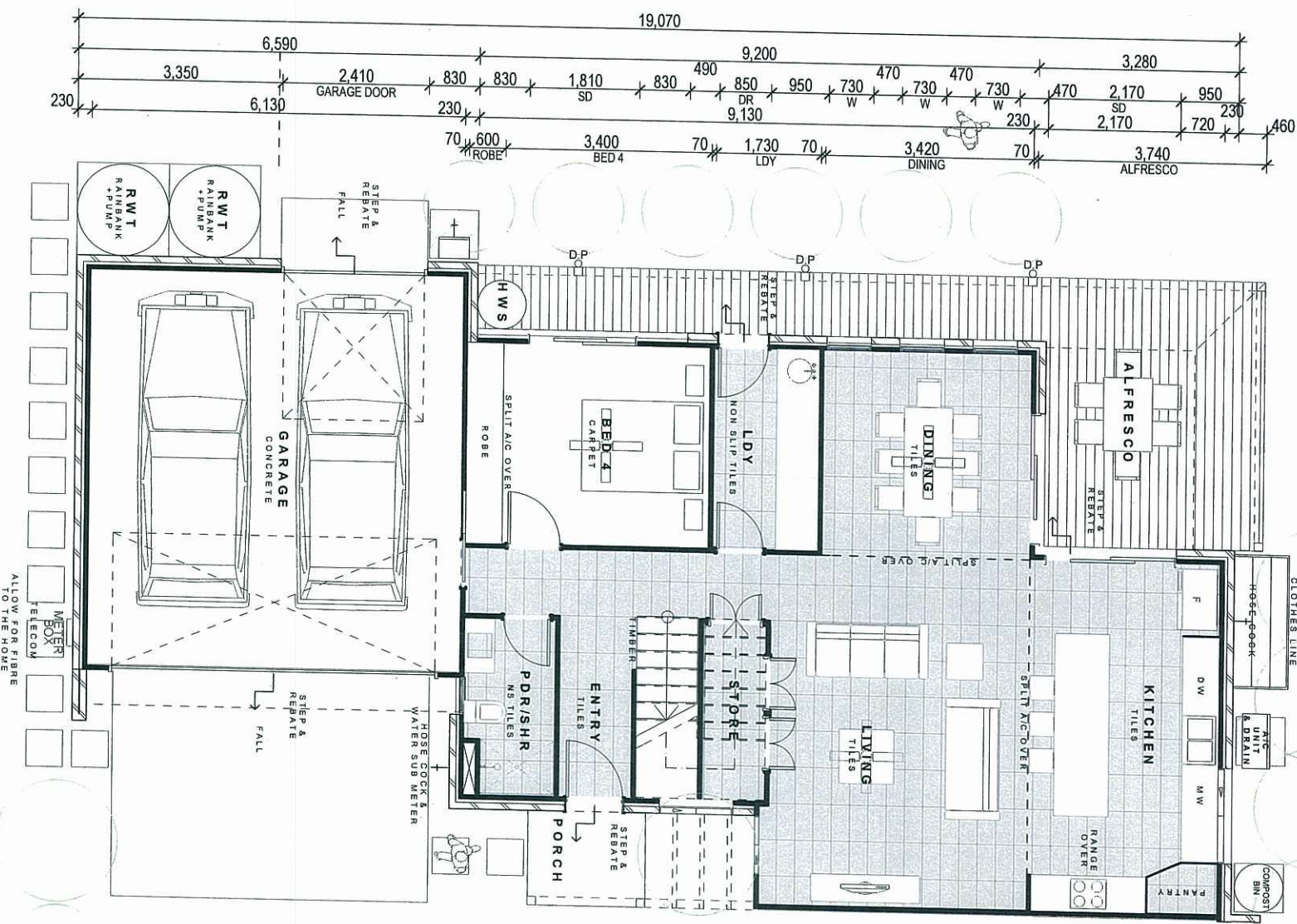
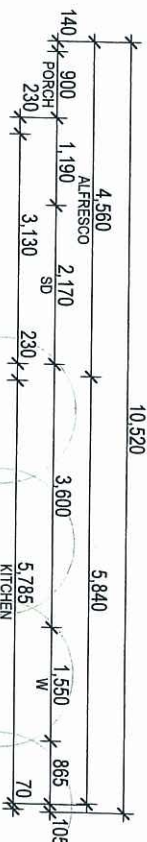


PROPOSED CONTRIBUTION TO PASSIVE SURVEILLANCE OF STREET
SCALE 1:200@A3

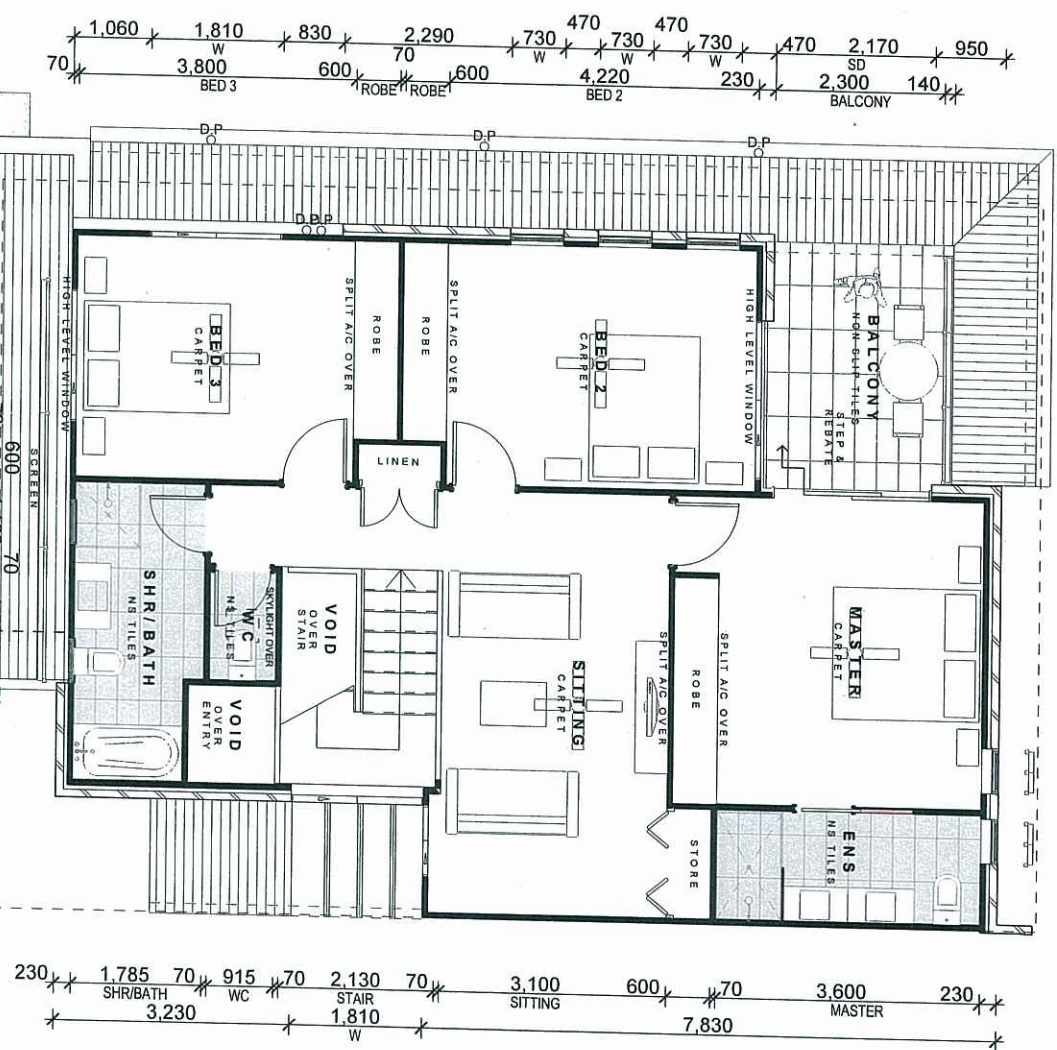
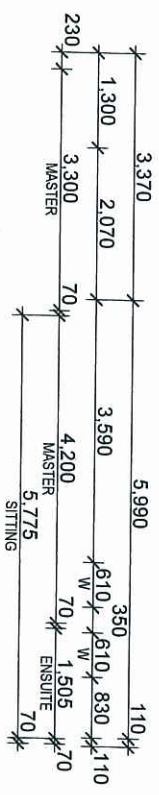
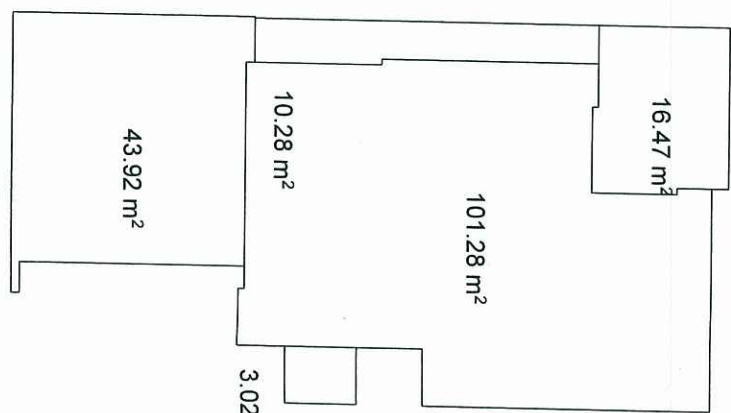
3 No. ATTACHED DWELLINGS (TOWNHOUSES)

The buildings are designed and sited for efficient use of in town land, while allowing diversity of unit design, maintaining privacy, and contribute to the character of the brand new Isaac Views Estate. Carparking is in garages that have been designed into the buildings, and access is by single width crossover.

The protruding elements of rear porch and privacy screens express the built forms ability to contribute to the character and active surveillance of street. As this frontage is South West windows are tall & thin.

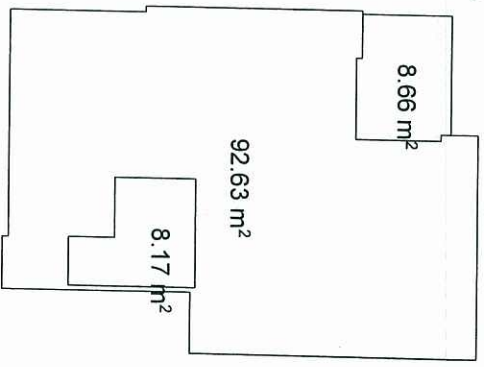


GROUND FLOOR PLAN
Scale 1:50 @ A1



GROUND FLOOR PLAN
Scale 1:50 @ A1

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11 / 5 / 12



AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	PRELIMINARY	15/11/11
B	CONCEPT DESIGN REVIEW	15/11/11
C	CLIENT SIGN OFF	19/12/11
D	CONCEPT DESIGN REVIEW	19/12/11
E	CONCEPT DESIGN REVIEW	19/12/11
F	CONCEPT DESIGN REVIEW	19/12/11
G	CONCEPT DESIGN REVIEW	19/12/11
H	CONCEPT DESIGN REVIEW	19/12/11
I	CONCEPT DESIGN REVIEW	19/12/11
J	CONCEPT DESIGN REVIEW	19/12/11
K	CONCEPT DESIGN REVIEW	19/12/11
L	CONCEPT DESIGN REVIEW	19/12/11
M	CONCEPT DESIGN REVIEW	19/12/11
N	CONCEPT DESIGN REVIEW	19/12/11
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V	CONCEPT DESIGN REVIEW	19/12/11
W	CONCEPT DESIGN REVIEW	19/12/11
X	CONCEPT DESIGN REVIEW	19/12/11
Y	CONCEPT DESIGN REVIEW	19/12/11
Z	CONCEPT DESIGN REVIEW	19/12/11

HOUSE 4 BEDROOM TOWNHOUSE		
ENCLOSED	GROUND	145m ²
ENCLOSED	FIRST	101m ²
ENCLOSED	TOTAL	246m ²
COVERED	GROUND	29m ²
COVERED	FIRST	9m ²
COVERED	TOTAL	38m ²



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PROJECT
CROKER CT RESIDENCES
LOT 383 ON SP230470
LOCATION
19 CROKER CT
MORANBAH, Q 4744
STAGE
UDA DEVELOPMENT APPLICATION
DRAWING TITLE
FLOOR PLANS HOUSE H1

SCALE	DATE	DRAWN
1:50@A1	08 NOV 2011	JC
1:100@A3		
PROJECT NO.	DRAWING NO.	ISSUE
1172	H1.A2.01	G
PLOT DATE		20/01/12

AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	PRE-ASSESSMENT	16/11/11 JC
B	CONCEPT DESIGN	21/01/11 JC
C	CONCEPT DESIGN REVIEW	30/01/11 JC
D	CHANGING TO ROCK VENERA	19/12/12 JC
E	CHANGING BATH-ROOMS	03/01/12 JC
F	DRAWING FOR COORDINATION	18/11/12 JC
G	CONCEPT DESIGN AMENDMENT	15/01/12 JC
H	FOR LAND COORDINATION	07/02/12 JC
I	INCORPORATING LANDSCAPE	12/02/12 JC
J	INCORPORATING CIVIL FEEDBACK	12/02/12 JC

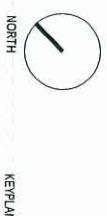
PLANS AND DOCUMENTS
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NORTH KEYPLANE

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PROJECT
CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION
19 CROKER CT
MORANBAH, Q 4744

UDA DEVELOPMENT APPLICATION

DRAWING TITLE

ROOF PLAN HOUSE H1

SCALE	DATE	DRAWN
1:500@A1 1:100@A3	08 NOV 2011	JC
PROJECT NO.	DRAWING NO.	ISSUE
1172	H1.A2.02	G
PLOT DATE 22/01/12		

AMENDMENT REGISTER			
ISSUE	DESCRIPTION	DATE	NOTES
A	PRE-ASSESSMENT	16/11/11	
B	CONCEPT DESIGN	20/11/11	
C	CONCEPT DESIGN REVIEW	30/11/11	
D	CHANGE TO BRICK VENEER	19/12/12	
E	CHANGE BATHROOMS	03/01/12	
F	CHANGE TO COORDINATION	15/01/12	
G	FINAL CASE DESIGN WINDOW DRIVING	15/01/12	
H	FOR MCQ COORDINATION	07/01/12	
I	INCORPORATING LANDSCAPE	12/01/12	
J	INCORPORATING FINAL FEEDBACK	12/01/12	

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 15/12



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Authorisation
REG. NO.



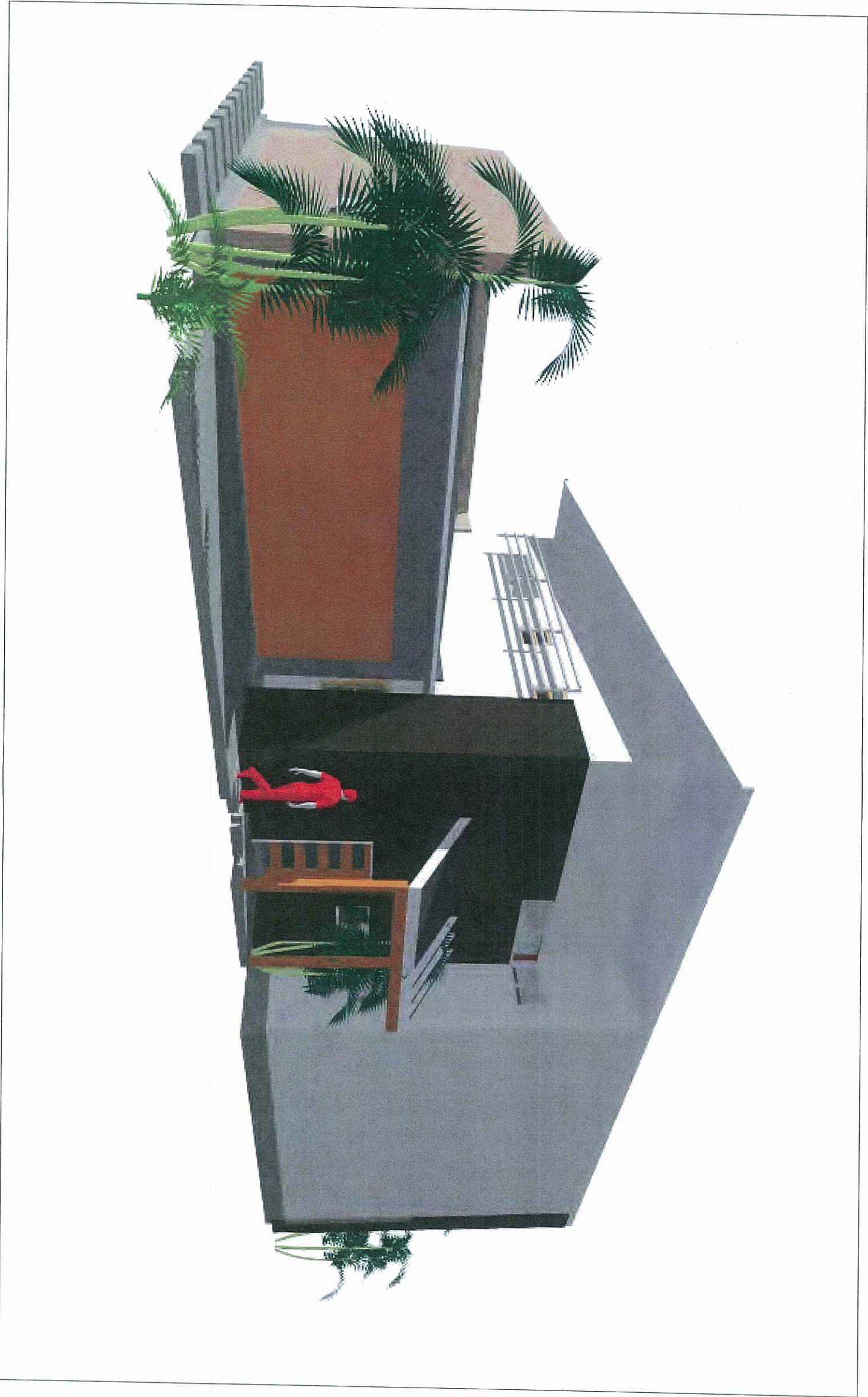
J c d A+U		E: JCD@JCD.A+U.SOLUTIONS.COM.AU
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M:	6419 125 200	
F:	07 15 86 37 20	
ABR:	21 124 434 145	

PROJECT	CROKER CT RESIDENCES
LOT 393 ON SP230470	
LOCATION	19 CROKER CT
	MORANBAH, Q 4744

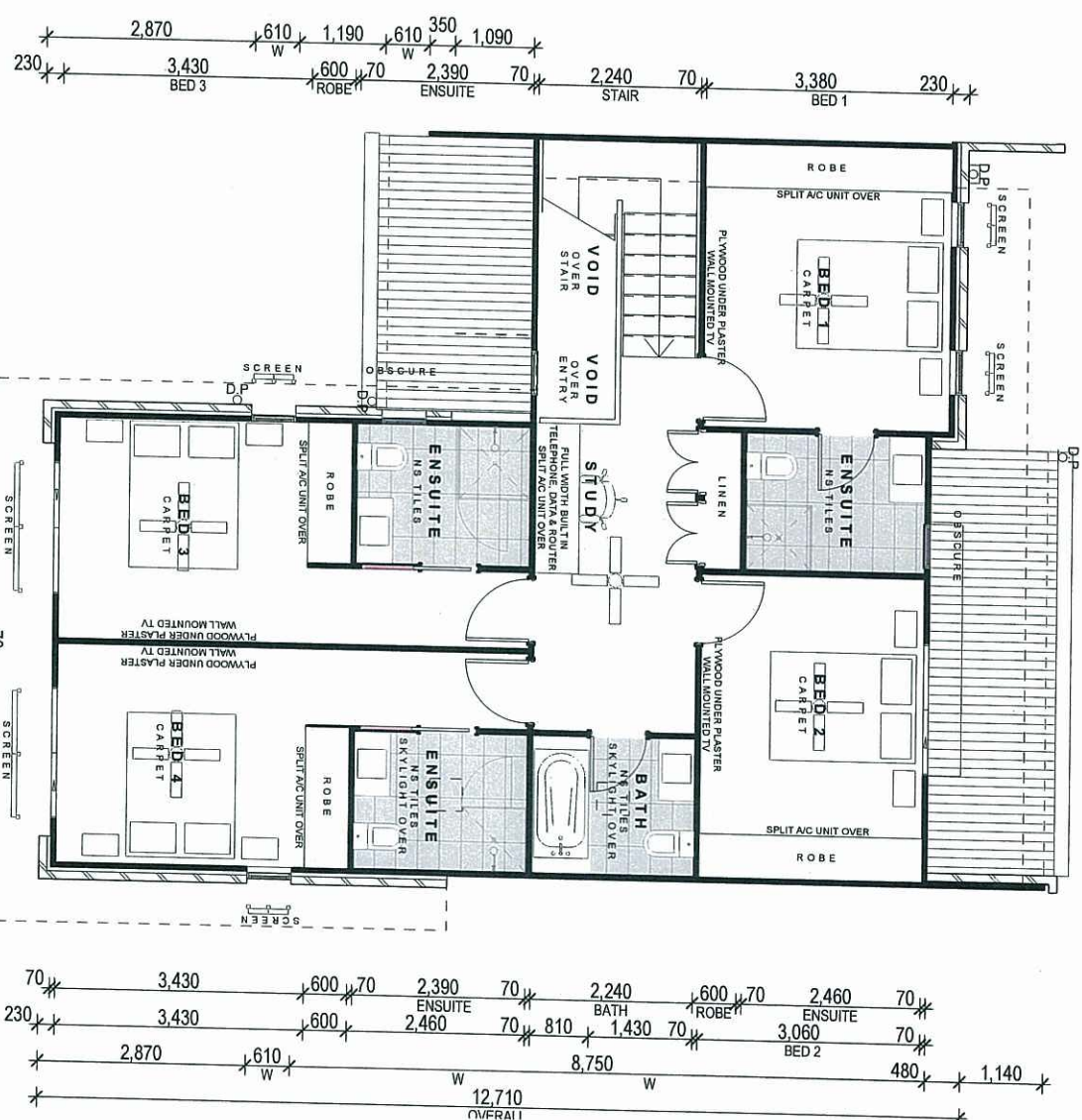
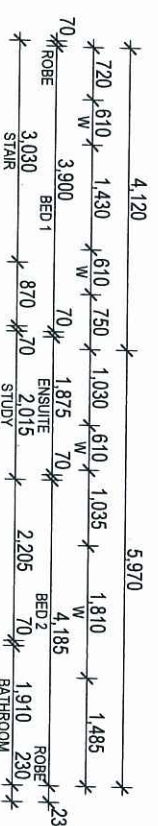
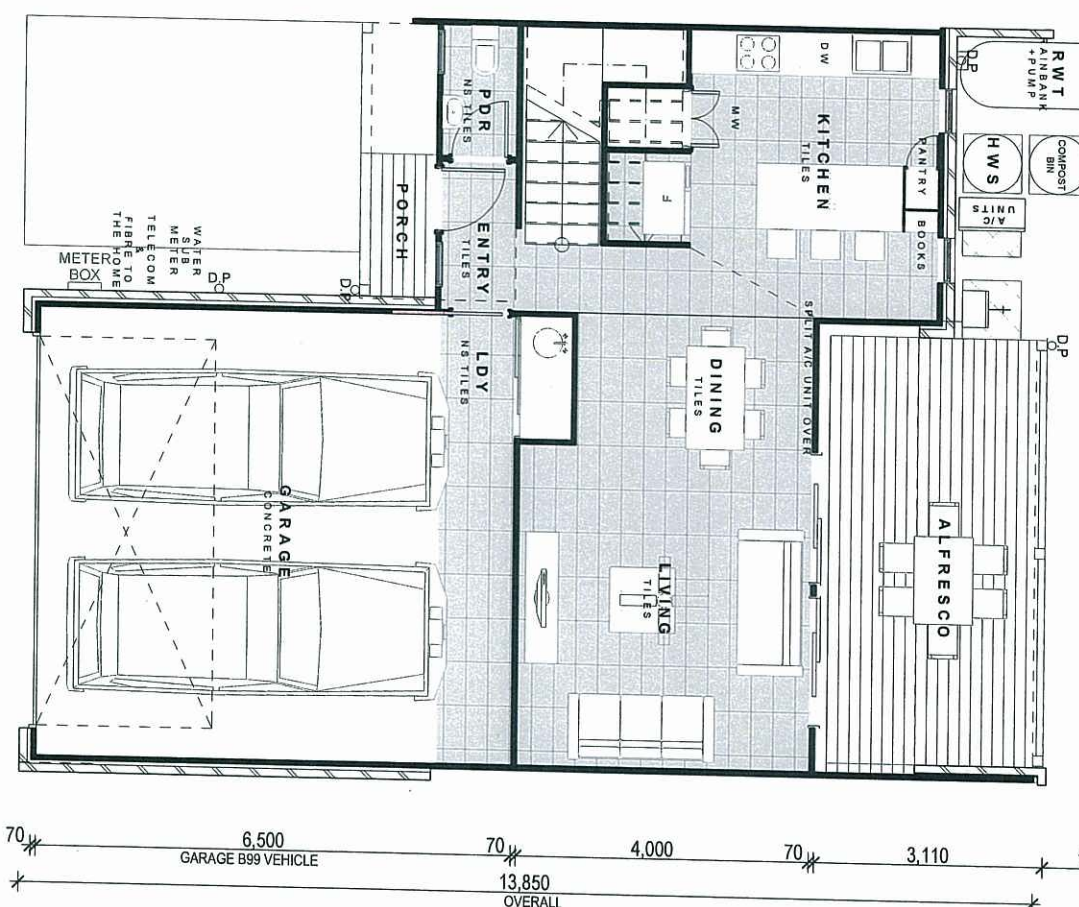
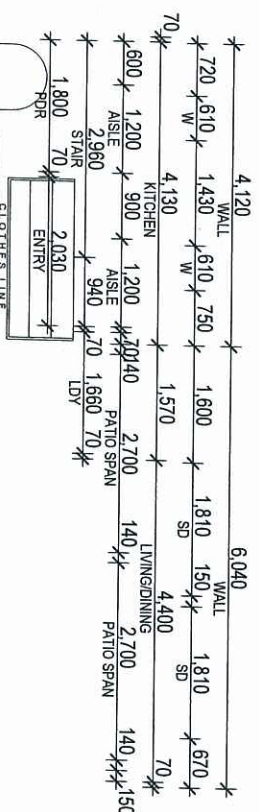
UDA DEVELOPMENT APPLICATION

PERSPECTIVES HOUSE ENTRY

SCALE	DATE	DRAWN
NTS	08 NOV 2011	JC
PROJECT NO	DRAWING NO	ISSUE
1172	H1.A9.01	G
FOI DATE	202007	



ENTRY DRIVE PERSPECTIVE OF MAIN HOUSE
DESIGN HAS BEEN RATIONALISED TO BE 'BOX ON BOX'.
FEATURE TIMBER DOORS & PORCH DETAILS.
WEATHERBOARD TRIM UNDER 'FLOATING' ROOF



HOUSE 4 BEDROOM TOWNHOUSE	
ENCLOSED	97m ²
GROUND	101m ²
TOTAL	198m ²
COVERED	21m ²
GROUND	21m ²
TOTAL	21m ²

AMENDMENT REGISTER	
ISSUE	DESCRIPTION
A	PRELIMINARY
B	CONCEPT DESIGN REVIEW
C	CLIENT SIGN OFF
D	CHANGE TO BATHROOMS
E	CHANGE TO BATHROOMS
F	INCORPORATING LANDSCAPE
G	INCORPORATING CIVIL FEEDBACK



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AUTHORISATION
REG. NO.

Jcd

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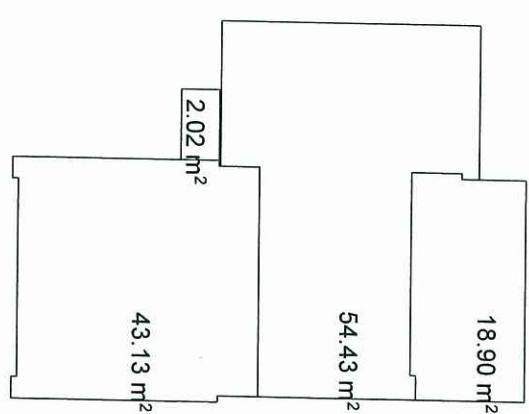
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F. 813 947 778

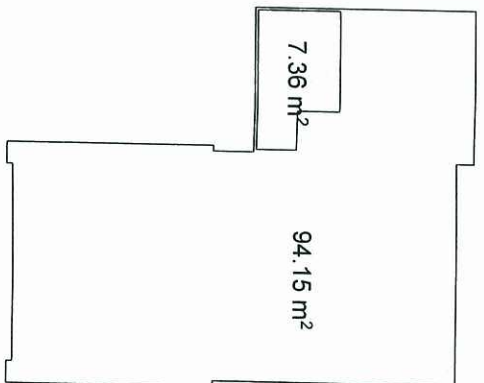
ABN. 32 324 424 445

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11 / 5 / 12

GROUND FLOOR PLAN
Scale 1:50 @ A1



FIRST FLOOR PLAN
Scale 1:50 @ A1

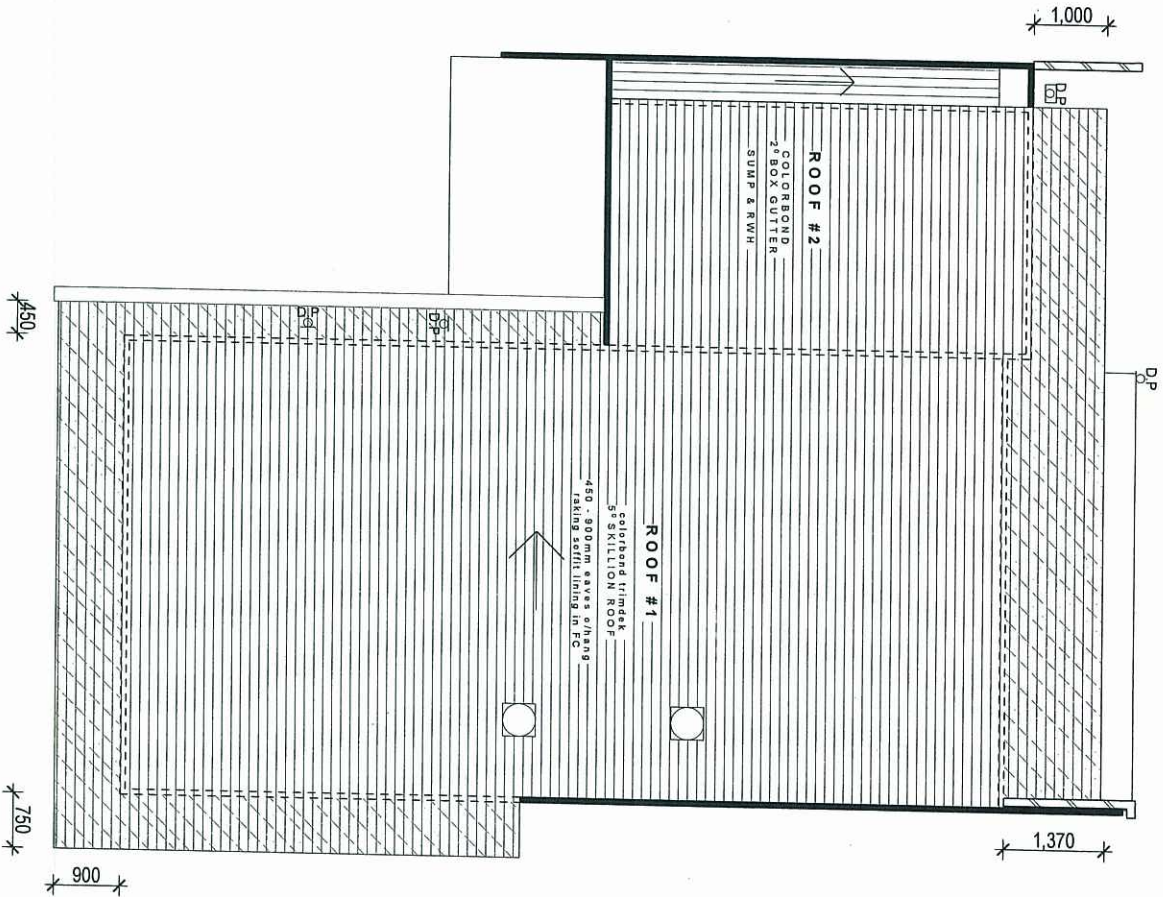


SCALE	DATE	DRAWN
1:50@A1	08 NOV 2011	JC
1:100@A3		
PROJECT NO.	DRAWING NO.	ISSUE
1172	H2.A2.01	G
PLT DATE	22/09/12	

PROJECT
CROKER CT RESIDENCES
LOT 383 ON SP230470
LOCATION
19 CROKER CT
MORANBAH, Q. 4744
STAGE
UDA DEVELOPMENT APPLICATION
DRAWING TITLE
FLOOR PLANS TOWNHOUSE H2

AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE INITIALS
A	PRE ASSASSMENT	19/11/11 JC
B	CONCEPT DESIGN REVIEW	20/11/11 JC
C	CLIENT SIGN OFF	
D	CHANGE TO BACK VENER	09/01/12 JC
E	CHANGE TO BATHROOMS	16/01/12 JC
F	CHANGE TO BATHROOMS	16/01/12 JC
G	INCORPORATING LANDSCAPE	07/02/12 JC
H	INCORPORATING CIVIL FEEDBACK	12/02/12 JC

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PROJECT
CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION
19 CROKER CT
MORANBAH, Q 4744

STAGE
UDA DEVELOPMENT APPLICATION

DRAWING TITLE
ROOF PLAN TOWNHOUSE H2

SCALE	DATE	DRAWN
1:50@A1	08 NOV 2011	JC
1:100@A3		
PROJECT NO.	DRAWING NO.	ISSUE
1172	H2.A2.02	G
PLOT DATE		20/01/12

AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	INITIALS	
B	CONCEPT DESIGN	15/11/11
C	CONCEPT DESIGN REVIEW	30/11/11
D	CLIENT SIGN OFF	
E	SCHEMATIC DEVELOPMENT	
F	CHANGE TO BATHROOMS	06/01/12
G	DRAFT FOR M&U COORDINATION	16/01/12
H	FOR M&U COORDINATION	07/02/12
I	INCORPORATING LANDSCAPE	12/02/12
J	INCORPORATING CIVIL FEEDBACK	

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KEY PLAN

Jcd	
A:	111 CHALKLEY AVE BRIMBIE Q 4213
M:	2415 151 338
F:	01 55 94 77 23
AEN:	21 224 421 465

CLIENT

PROJECT
CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION

19 CROKER CT
MORANBAH, Q 4744

STAGE

UDA DEVELOPMENT APPLICATION

DRAWING TITLE

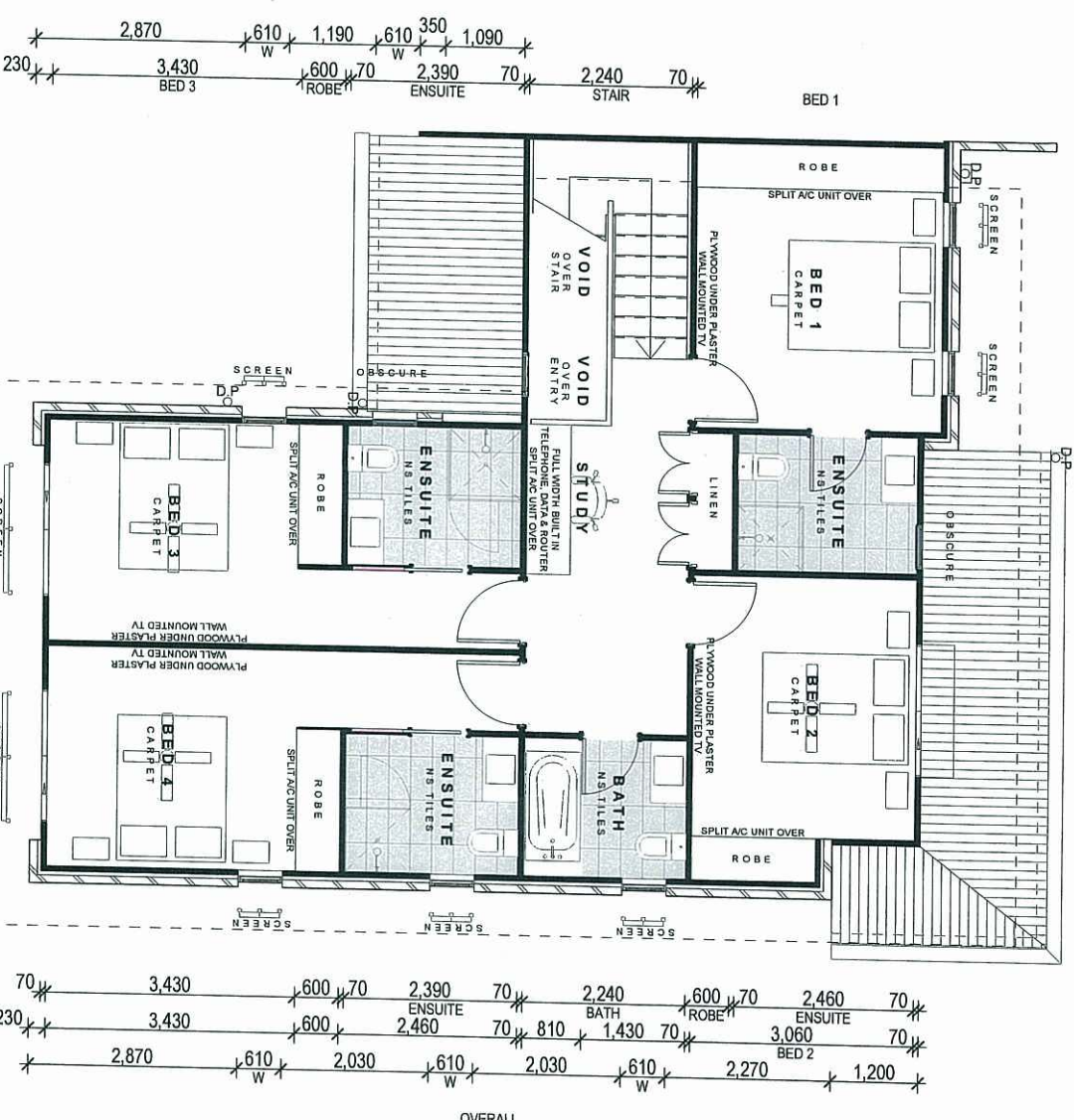
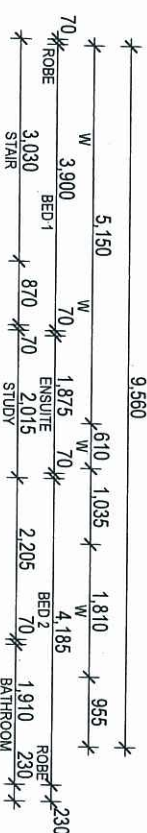
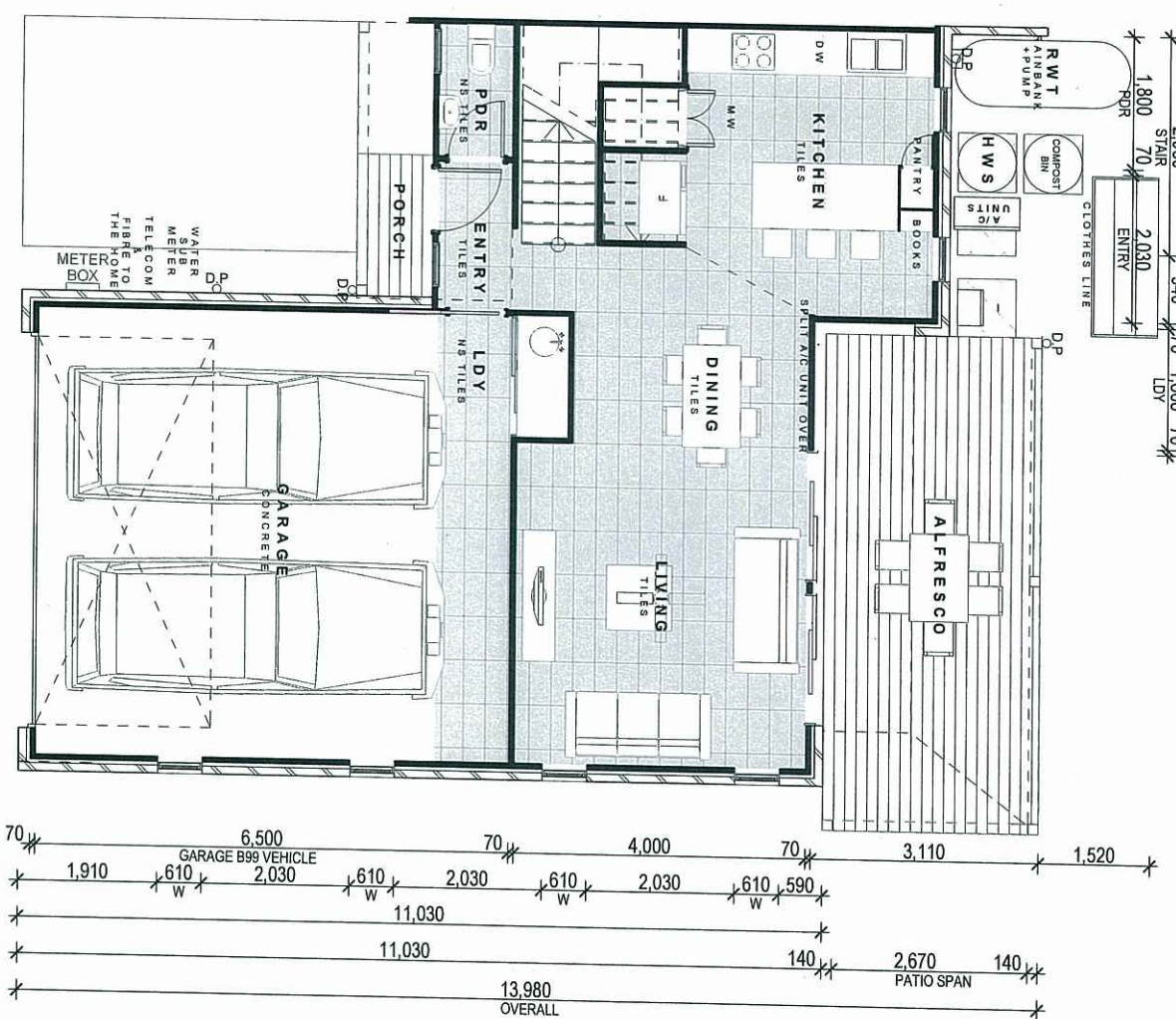
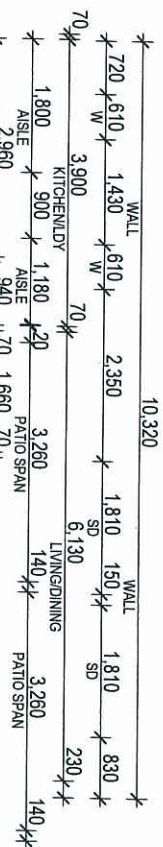
PERSPECTIVES HOUSE ENTRY

SCALE	DATE	DRAWN
NTS	08 NOV 2011	JC
PROJECT NO.	DRAWING NO.	ISSUE
1172	H3.A9.01	G
PLT DATE	20/03/12	



PERSPECTIVE OF MIDDLE UNIT H2

Proposed Unit H2 has coordinated its service yard to enrich the use of the dwelling.
Covered Rear Porch Opens directly from lounge & dining, onto quality landscape with all services in there own court to the side.
The architectural Order of Brick and Weatherboard Claddings is complimentary.



AMENDMENT REGISTER	
ISSUE	DESCRIPTION
A	PRELIMINARY
B	CONCEPT DESIGN REVIEW
C	CLIENT SIGN OFF
D	CHANGE TO BATHROOMS
E	CHANGE TO BATHROOMS
F	INCORPORATING LANDSCAPE
G	INCORPORATING CIVIL FEEDBACK
DATE	INITIALS
15/11/11	JC
20/11/11	JC
09/01/12	JC
18/01/12	JC
07/02/12	JC
12/02/12	JC



HOUSE 4 BEDROOM TOWNHOUSE

ENCLOSED

GROUND 98m²

FIRST 101m²

TOTAL 199m²

COVERED

GROUND 23m²

TOTAL 23m²

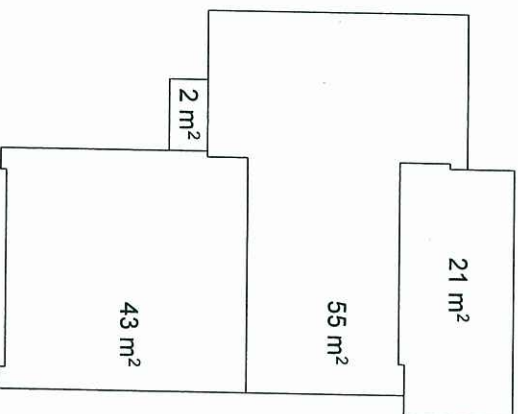
PLANS AND DOCUMENTS

referred to in the ULDA

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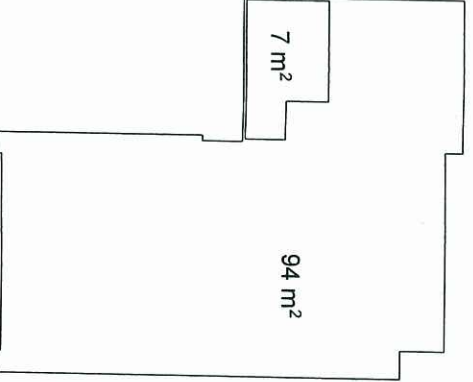
GROUND FLOOR PLAN

Scale 1:50 @ A1



FIRST FLOOR PLAN

Scale 1:50 @ A1



SCALE	DATE	DRAWN
1:50@A1	08 NOV 2011	JC
1:100@A3		
PROJECT NO.	DRAWING NO.	ISSUE
1172	H3.A2.01	G
PLD DATE		22/02/12

PROJECT

CROKER CT RESIDENCES

LOT 393 ON SP230470

LOCATION

19 CROKER CT

MORANBAH, Q 4744

STAGE

UDA DEVELOPMENT APPLICATION

DRAWING TITLE

FLOOR PLANS TOWNHOUSE H3

CLIENT

Jcd A+U

E: 0800 000 000

A: 111 CHANNERY AVE MELB VIC 3000

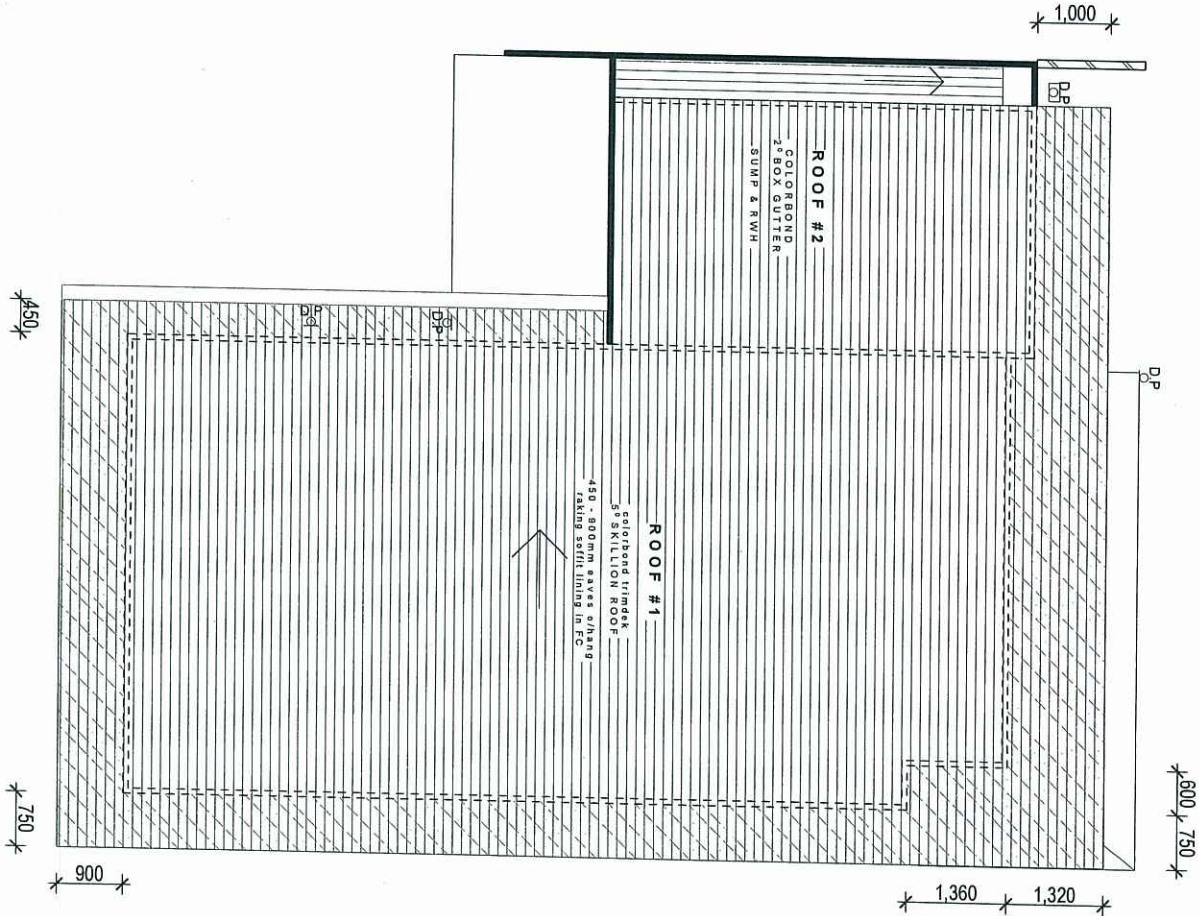
M: 0400 151 230

F: 07 83 88 77 78

ABN: 32 100 421 445

AMENDMENT REGISTER		
ISSUE	DESCRIPTION	DATE
A	PRE-ASSESSMENT	15/01/11
B	CONCEPT DESIGN	20/01/11
C	CONCEPT DESIGN REVIEW	20/01/11
D	CLIENT SIGN OFF	20/01/11
E	CHANGE TO BACK VIEWS	16/07/12
F	CHANGE TO BACK VIEWS	16/07/12
G	CHANGE TO BACK VIEWS	16/07/12
H	CHANGE TO BACK VIEWS	16/07/12
I	CHANGE TO BACK VIEWS	16/07/12
J	CHANGE TO BACK VIEWS	16/07/12
K	CHANGE TO BACK VIEWS	16/07/12
L	CHANGE TO BACK VIEWS	16/07/12
M	CHANGE TO BACK VIEWS	16/07/12
N	CHANGE TO BACK VIEWS	16/07/12
O	CHANGE TO BACK VIEWS	16/07/12
P	CHANGE TO BACK VIEWS	16/07/12
Q	CHANGE TO BACK VIEWS	16/07/12
R	CHANGE TO BACK VIEWS	16/07/12
S	CHANGE TO BACK VIEWS	16/07/12
T	CHANGE TO BACK VIEWS	16/07/12
U	CHANGE TO BACK VIEWS	16/07/12
V	CHANGE TO BACK VIEWS	16/07/12
W	CHANGE TO BACK VIEWS	16/07/12
X	CHANGE TO BACK VIEWS	16/07/12
Y	CHANGE TO BACK VIEWS	16/07/12
Z	CHANGE TO BACK VIEWS	16/07/12

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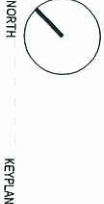


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PROJECT
CROKER CT RESIDENCES
LOT 393 ON SP230470

LOCATION
19 CROKER CT
MORANBAH, Q 4744

STAGE
UDA DEVELOPMENT APPLICATION

DRAWING TITLE
ROOF PLAN TOWNHOUSE H3

SCALE	DATE	DRAWN
1:50@A1	08 NOV 2011	JC
1:100@A3		
PROJECT NO.	DRAWING NO.	ISSUE
1172	H3.A2.02	G
PLAT DATE		20/01/12

AMENDMENT REGISTER			
ISSUE	DESCRIPTION	DATE	INITIALS
A	PRE-ASSESSMENT	15/11/11	JC
B	CONCEPT DESIGN REVIEW	20/11/11	JC
C	CLIENT SIGN OFF		
D	CHANGE TO BATHROOMS	08/01/12	JC
E	DRAFT FOR LAND COORDINATION	16/01/12	JC
F	PERMITS COORDINATION	07/02/12	JC
G	INCORPORATING LANDSCAPE	12/02/12	JC
	INCORPORATING CIVIL FEEDBACK		

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PROJECT			
CROKER CT RESIDENCES			
LOT 393 ON SP230470			
LOCATION			
19 CROKER CT			
MORANBAH, Q 4744			
STAGE			
UDA DEVELOPMENT APPLICATION			
DRAWING TITLE			
PERSPECTIVES H3 ENTRY			
SCALE			
NTS	DATE	DRAWN	
	08 NOV 2011	JC	
PROJECT NO.			
1172	DRAWING NO.	ISSUE	
	H3.A9.01	G	
PLOT DATE			
22/02/12			



PERSPECTIVE OF CORNER UNIT H3

Proposed Unit H3 has the following features to enrich the livability of the dwelling.

Clearly Identifiable Entry with Covered Porch & Side Light Window to Entry Door.

Privacy & Sun Screens to Bedroom Windows that allow cross ventilation.

Architectural Order of Brick and Weatherboard Claddings.

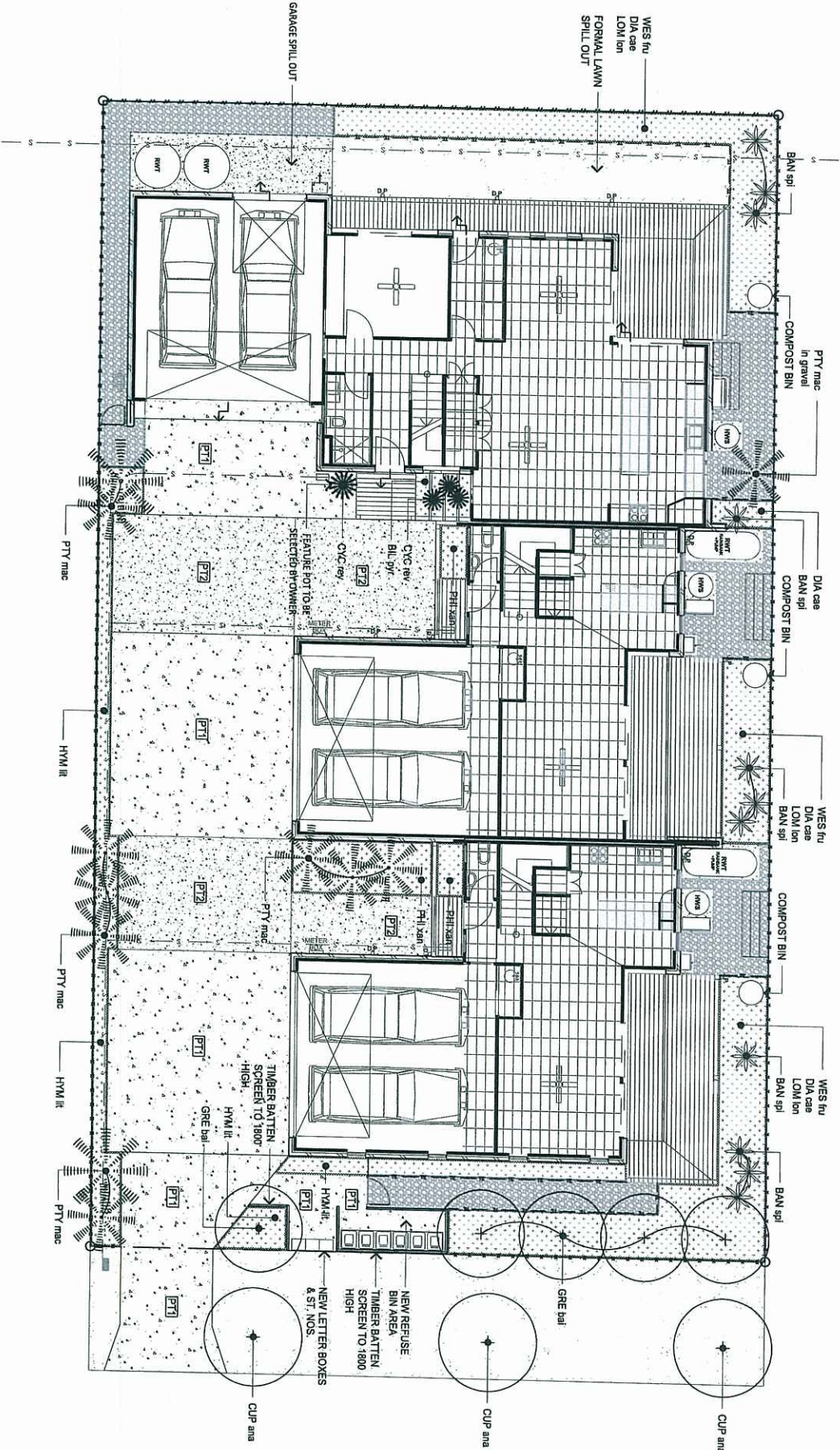
LEGEND	
	MASS PLANTING
	FEATURE PLANTS
	TREES
	FEATURE PALM
	BROOM FINISHED CONCRETE
	LIGHTLY EXPOSED AGGREGATE CONCRETE
	GRAVEL
	TURF
	TIMBER EDGE
	BATTEN TIMBER SCREEN
	INDICATIVE SERVICE LOCATIONS
	1800 HIGH COLOBOND FENCE
	1800 HIGH BLACK POOL FENCE

NOT FOR CONSTRUCTION

19 CROKER CT, MORANBAH			
Planting Schedule		Issue: B	
Based on: Landscape Intent Plan		Common Name	
Code	Botanical Name	Density	
Groundcovers			
DIA case	DIANELLIA caerulea (little jess)	Baby Blue	5m ²
LOM lvn	LOLANDRA longifolia	Mai Rush	3m ²
Shrubs			
BAN spl	BANKSIA spinulosa	Golden Candlesticks	as shown
BL pya	BILBERGIA pyramidalis	Bromeliad	5m ²
CYC rev	CYCAS revoluta	Cycad Palm	as shown
HYV il	HYMENOCALLIS ilicifolia	Southern Lily	5m ²
PH xan	PHILODENDRON xanadu	Xanadu	4m ²
WES fu	WESTRINGIA lucidissima	native rosemary	4m ²
Trees & Palms			
CUP ana	CUPANOPSIS amicaoides	Tuckeroo	as shown
GRE bal	GREVILLEA balfouriana	White Oak	as shown
PTY mac	PTYCHOSPERMA macarthurii	MacArthur Palm	as shown
Note: Ground covers are to be planted in groups of 3, 5, 7, 9. Dianella caerulea is to be planted in front of shrub beds			

DROUGHT TOLERANT / HARDY PLANTS HAVE BEEN SELECTED TO SUIT THE TYPICAL BROWN/LOAMY SAND SURFACE SOIL. HORIZON, SUCH SOILS ARE TYPICALLY FAST DRAINING AND HAVE A LOW MOISTURE CONTENT.

- DESIGN INTENT:
- TREES TO THE WESTERN SIDE OF THE DEVELOPMENT CREATE A NATURAL SCREEN FROM THE HOT AFTERNOON SUN AND COMBINED WITH STREET TREE PLANTING ENHANCE THE STREET CHARACTER AND AMENITY OF THE DEVELOPMENT.
 - SHRUB PLANTING SOFTENS EDGES AND ASSISTS IN SCREENING FENCES, ADDED FEATURE PLANTING CREATES INTEREST AND INJECTS COLOR INTO THE LANDSCAPE AT AXIS POINTS. FEATURE PALM PLANTING BREAKS UP THE CONCRETE DRIVEWAY AND CREATES AN ENTRY STATEMENT.
 - GRAVEL IS USE THROUGHOUT THE LANDSCAPE TO PROVIDE LOW MAINTENANCE AND COST EFFECTIVE ACCESS PATHS AROUND THE DEVELOPMENT AS WELL AS CREATING AND DEFINING ACCESSIBLE SERVICE COURTYARDS, GATES AND SCREENS BEHIND THE PUBLIC AND PRIVATE REALM, DISGUISE REFUSE BIN STORAGE AND PROVIDE AN ATTRACTIVE DIVIDER TO THE OUTDOOR LIVING SPACES WHILE ALLOWING CONVENIENT MAIL RETRIEVAL AND PERSONAL/MAINTENANCE ACCESS WHERE IT IS NEEDED.
 - A FORMAL LAWN SPILL OUT FROM THE MAIN OUTDOOR AREA TO DWELLING H1, ALLOWS THE RESIDENTS TO MAKE THE MOST OF THE OUTDOOR SPACE AVAILABLE AND IS ORIENTATED TO CAPTURE THE MORNING SUN.



19 CROKER CT | LANDSCAPE INTENT PLAN

scale: 1:200 @ A3 | date: 2 February 2012 | design: GM/MJM | drawn: MJM | approved: GM | drawing no: SP117301-001 | issue: B
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PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11 / 5 / 12



Cardno
S.P.L.A.T.

EXISTING SEWER HCB TO BE LOCATED AND EXPOSED PRIOR TO CONSTRUCTION AND NEW SANITARY DRAINAGE TO BE CONNECTED.

PROPOSED RAINWATER TANKS AS PART OF BUILDING WORKS (TYP).

NEW 300x300mm UPVC GRATED FIELD INLET WITH ROOF/WATER/RAINWATER TANK OVERFLOW STUB.

NEW 300x300mm UPVC GRATED FIELD INLET (TYP).

PROPOSED SLEEPER (OR SIMILAR) RETAINING WALL TO BOUNDARY AS REQUIRED <600mm HIGH (TYP).

125mm HIGH RAISED CONCRETE EDGE TO BE PROVIDED TO DRIVEWAY (TYP).

PROPOSED CONCRETE DRIVEWAY WITH SURFACE FINISH IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DETAILS.

SEPARATE WATER METERS AND A COMMUNAL METER TO BE PROVIDED AT PROPERTY BOUNDARY.

EXISTING WATER SERVICE CONDUIT TO BE ASSESSED AND REPLACED WITH DN63 POLY IF REQUIRED.

PROPOSED 90-1000 UPVC STORMWATER TO CONNECT INTO EXISTING KERB & CHANNEL WITH A GAL. KERB ADAPTOR (TYP).

CROKER COURT
PROPOSED 3.0m WIDE CONCRETE VEHICLE CROSSOVER AND DRIVEWAY IN ACCORDANCE WITH IMEAG STD DRG R-0050.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR TREATMENT TO OPEN SPACE AREAS.

- NOTES**
- THIS DRAWING IS INTENDED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THE PRELIMINARY DESIGN SHOWN IS SUBJECT TO AMENDMENT DURING THE NORMAL APPROVALS STAGES.
 - ALL LEVELS ARE IN METRES (m) TO AUSTRALIAN HEIGHT DATUM (AHD).

LEGEND	
	EXISTING KERB AND CHANNEL
	EXISTING WATER RETICULATION
	EXISTING SEWERAGE RETICULATION
	EXISTING STORMWATER DRAINAGE
	EXISTING CONTOURS AND LEVELS
	PROPOSED STORMWATER
	PROPOSED SEWER HCB (INDICATIVE ONLY)
	PROPOSED RETAINING WALL
	EXISTING SEWERAGE MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING POWER POLE
	EXISTING TELSTRA PIT
	EXISTING STORMWATER STRUCTURE

PLANS AND DOCUMENTS
referred to in the ULDA
Approval dated 11 / 5 / 12

PROJECT		CLIENT		TITLE	
MGA '94		OWENCONSULTING		PRELIMINARY ENGINEERING DESIGN PLAN	
AHD (m)		1000		20181-DA-001	
BS		SK		A	
DATE		15/02/12		A	
ISSUED TO ULDA FOR APPROVAL		ARCHITECT DESCRIPTION		A	
1		2		3	
4		5		6	
7		8		9	
10		11		12	
A1		A		A	