

COHORT OFFICE MODIFICATIONS - ST2 - DA WORKS

for EDQ DSDMIP
LOT J GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT QLD 4215



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REV	DETAILS	INT	DATE
02	Rev 02 DA Issue	AD	11.06.20 28.05.20

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1106
Date: 27 July 2020



DRAWING LIST		
	DRAWING NAME	REVISION
0001_ST2	TITLE PAGE	02
1001_ST2	SITE PLAN	03
1100_ST2	FIRST FLOOR - EXIST & DEMO	02
1101_ST2	SECOND FLOOR - EXIST & DEMO	02
2000_ST2	FIRST FLOOR - PROPOSED	02
2001_ST2	SECOND FLOOR - PROPOSED	02
2200_ST2	RCP PROPOSED	02
3001_ST2	ELEVATIONS	03
3002_ST2	ELEVATIONS	03
3003_ST2	ELEVATIONS	01
10001_ST2	DOCUMENT REGISTER	03

- GENERAL NOTES**
1. Confirm details of setbacks, levels, setbacks and critical dimensions on site prior to and during the works. Notify architect of any discrepancies discovered before proceeding.
 2. All construction to comply with the building code of Australia and applicable Australian standards.
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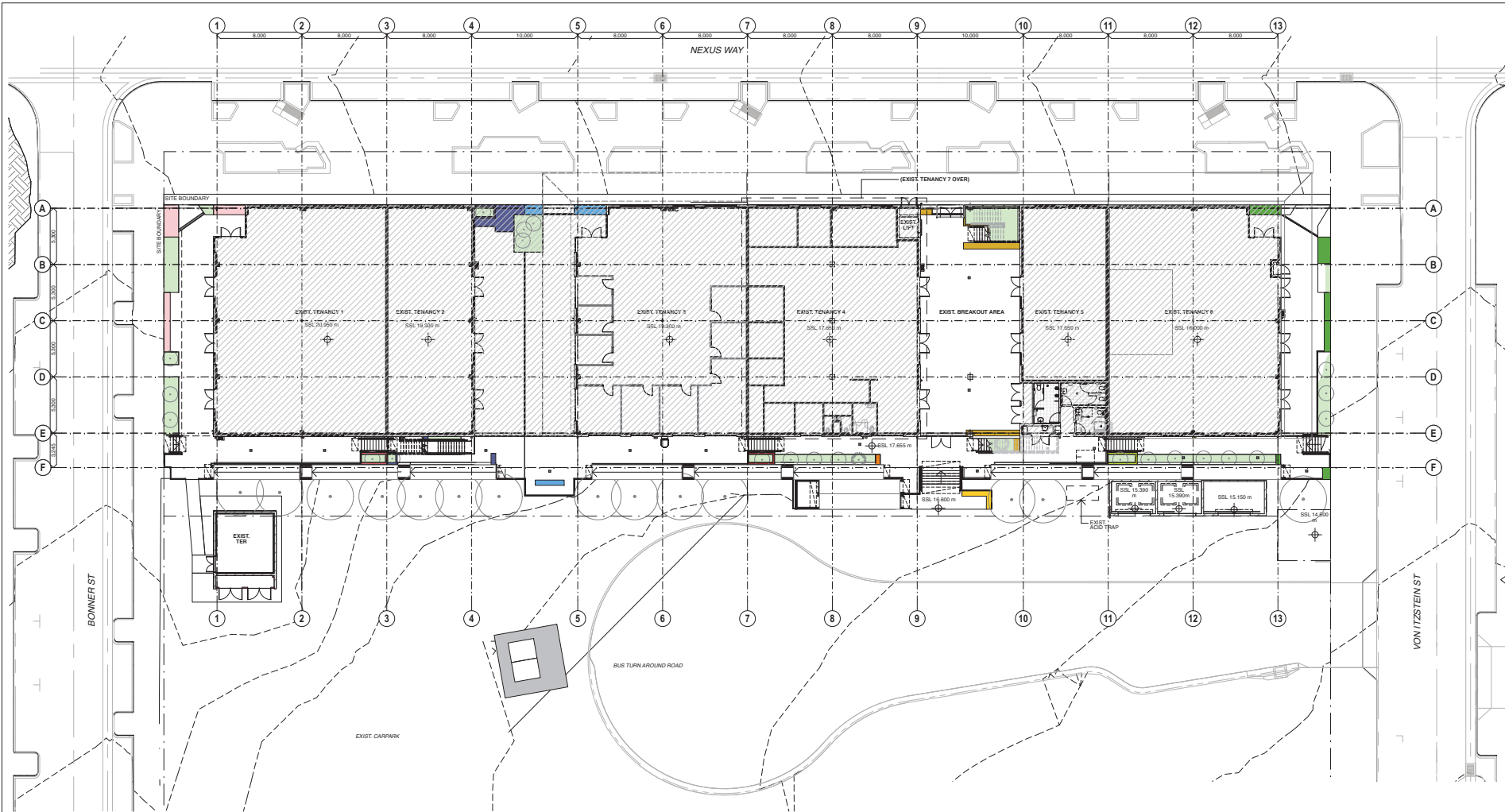
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EDQ DSDMIP

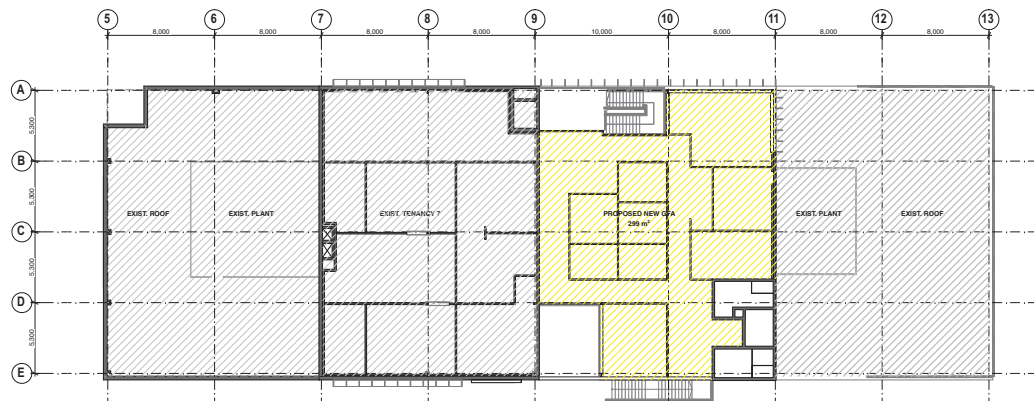
project
COHORT OFFICE MODIFICATIONS - ST2 - DA WORKS
LOT J GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT
QLD 4215

Figured dimensions take precedence over scale dimensions.
Contractors must verify all dimensions on site before commencing
any work or making shop drawings.

project number
202002_ST2
drawing name
TITLE PAGE
drawing number
0001_ST2
scale
1:100,
1:120, 550,
1:1,600,
rev
02
JW
N



1 Plan
Site plan
SCALE: 1:200



2 Plan
Key Plan Level 2
SCALE: 1:200

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REV	DETAILS	INT	DATE
01	Issue	AD	18.05.20
02	On issue	AD	28.05.20
03	On issue, Update	AD	10.05.20

SITE INFORMATION	
LOT 9	
SP275512	
AREA SCHEDULE (m ²)	
EXISTING GFA	= 2095.4
PROPOSED NEW GFA	= 299
PROPOSED TOTAL GFA	= 2345.4
PROPOSED NEW NLA	= 285

LEGEND	
---	Site boundary
FF	Proposed new GFA*
---	Area out of scope

* GFA calculations based on the below excerpt from Gold Coast Council Planning Scheme.

GFA (GROSS FLOOR AREA)
The maximum gross floor area of a building measured from the outside of external walls or the centre of party walls. This term includes all roofed areas, except for the area of any roof overhangs beyond the perimeter building walls. This term excludes the following:
Any areas of the building situated below the natural ground level as measured at the perimeter of the building, including a basement not exceeding 1 m above ground level. (Any floor area of that portion of a basement exceeding 1.5 metre above ground level must be included in the GFA);
Any areas of uncovered roof;
Any landscaped planter boxes, or fire separation, safety, emergency or maintenance ledges that are 1.1 metres wide or less;
Any areas on the topmost part of the building used for lift motor rooms, lifts or stairways, or air conditioning or other mechanical or electrical plant;
The area of any individual balcony where the width of such a balcony does not exceed 3.2 metres measured from the exterior wall of the building. The balcony must be accessible from only one dwelling or accommodation unit. The total area of balconies on any floor must not exceed 20% of the GFA of the floor upon which the subject balconies are situated;
Unenclosed cantilevered areas at the ground level storey, provided that the cantilevered area is no more than 2.8 metres in width and does not exceed 20% of the GFA of the ground level storey. This area must not be used as a carport;
The areas of any "aesthetic" void on the floor; and
The area of any unenclosed port coathouse.

Note 1: "Aesthetic void" refers to any void in the building used for an architectural feature of the building.

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project
COHORT OFFICE MODIFICATIONS - ST2 - DA WORKS
LOT 9 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT QLD 4215

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project number
202002_ST2
drawing name
SITE PLAN

drawing number
1001_ST2
scale
1:200, 1:100@A1
rev
03

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2020/1106
Date: 27 July 2020



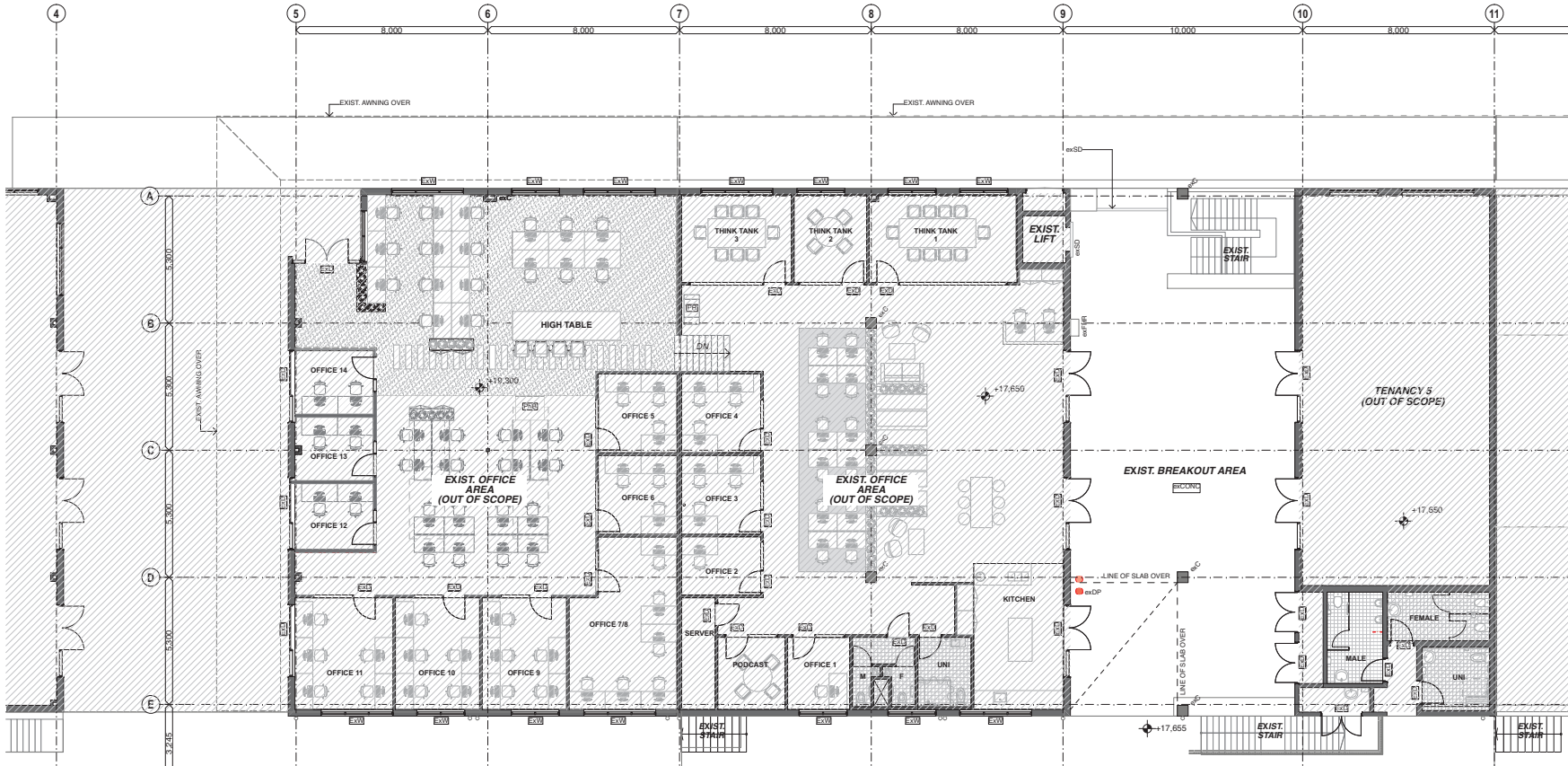
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REV	DETAILS	INT	DATE
01	Issue 01	AK	10.05.20
02	DA Issue	AD	28.05.20

LEGEND

exB	Exist. beam
exC	Exist. column
exCONC	Exist. concrete
exCPT	Exist. carpet
exDB	Exist. door
exDP	Exist. downpipe
exSD	Exist. strip drain
exVP	Exist. vent pipe
EW	Exist. window
	Exist. wall
	Item to be demolished/relocated

NOTE: EXIST. L2 SLAB IS POST-TENSIONED. ENSURE NO EXIST. TENDONS ARE CUT IN STRUCTURAL SLAB. REFER STRUCT. ENG. DOCS FOR DETAILS



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client
EDQ DSDMP

project
COHORT OFFICE MODIFICATIONS - ST2 - DA WORKS
LOT 7 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT
QLD 4215

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project number
202002_ST2

drawing name
FIRST FLOOR - EXIST & DEMO

drawing number
1100_ST2

scale
1:100@A1

rev
02

PLANS AND DOCUMENTS
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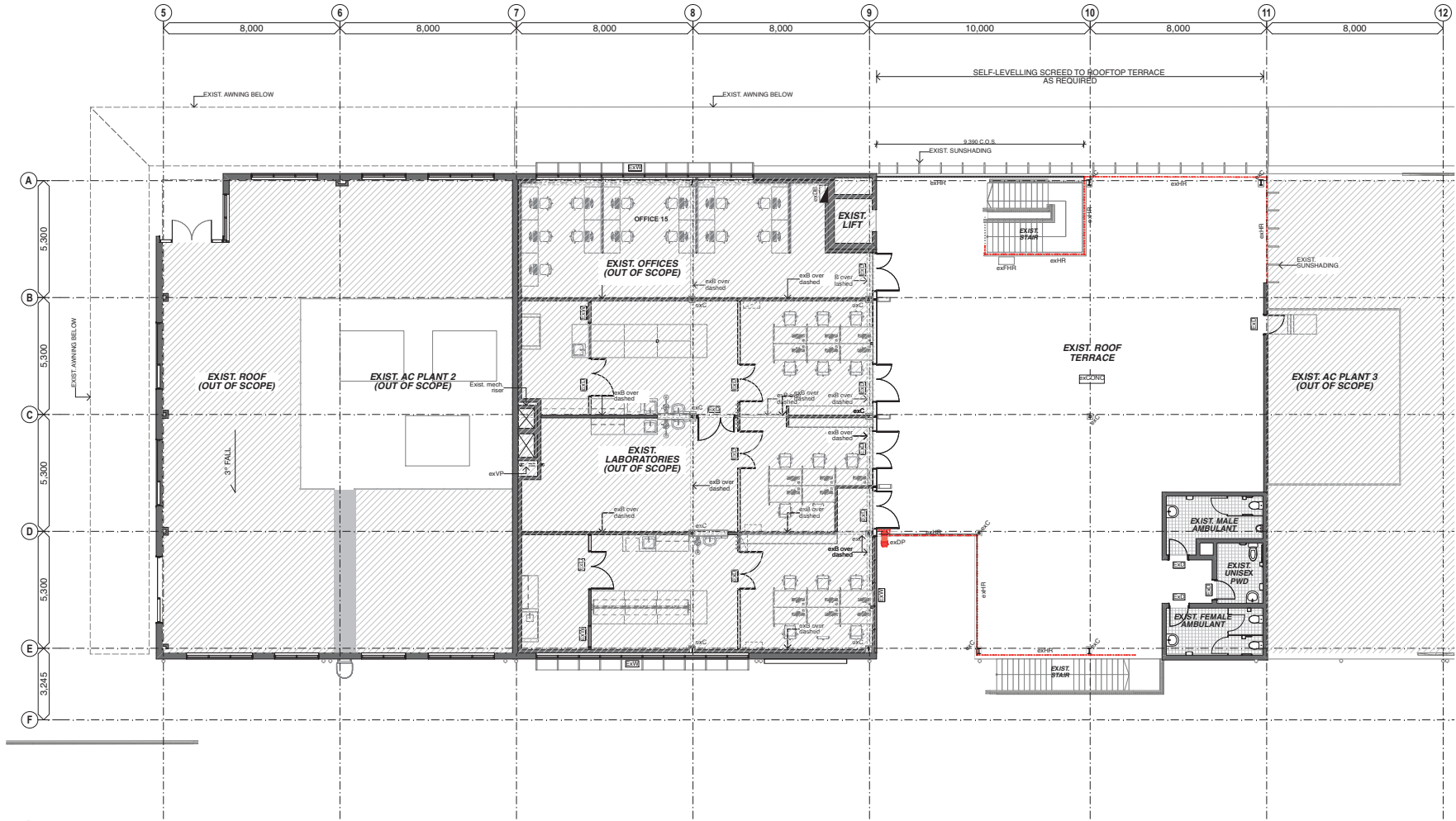
1 Plan
FIRST FLOOR E & D
SCALE: 1:100

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REV	DETAILS	INT	DATE
01	Rev 01	AK	10.05.20
02	Ch Issue	AK	28.05.20

LEGEND	
exB	Exist. beam
exC	Exist. column
exCONC	Exist. concrete
exCPT	Exist. carpet
exD	Exist. door
exDB	Exist. distribution board
exDP	Exist. downpipe
exSD	Exist. strip drain
exVP	Exist. vent pipe
exW	Exist. window
	Exist. wall
	Item to be demolished/relocated

NOTE: EXIST. L2 SLAB IS POST-TENSIONED. ENSURE NO EXIST. TENDONS ARE CUT IN STRUCTURAL SLAB. REFER STRUCT. ENG. DOCS FOR DETAILS



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project
CONORT OFFICE MODIFICATIONS - ST2 - DA WORKS
LOT 7 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT
QLD 4215

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project number
202002_ST2

drawn by
AD

checked
JW

drawing name
SECOND FLOOR - EXIST & DEMO

drawing number
1101_ST2

scale
1:100@A1

rev
02

PLANS AND DOCUMENTS
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REV	DETAILS	INT	DATE
00	01 Issue	AD	10.05.20

LEGEND	
D ##	New door. Refer door schedule
DB	Distribution board. Refer elec. eng. for location and details
exB	Exist. beam
exC	Exist. column
exCP	Exist. column
exD ##	Exist. door
exFIR	Fire house reel
exSD	Exist. strip drain
exW ##	Exist. window
G ##	New gate. Refer door schedule
W ##	Window. Refer window schedule
WS	Workstation
	Exist wall
	Proposed wall

NOTES	
1	Exist L2 slab is post-tensioned. Ensure no exist. tendons are cut in structural slab. Refer struct. eng. doors for details
2	2 storey, Type C construction. Class TBC

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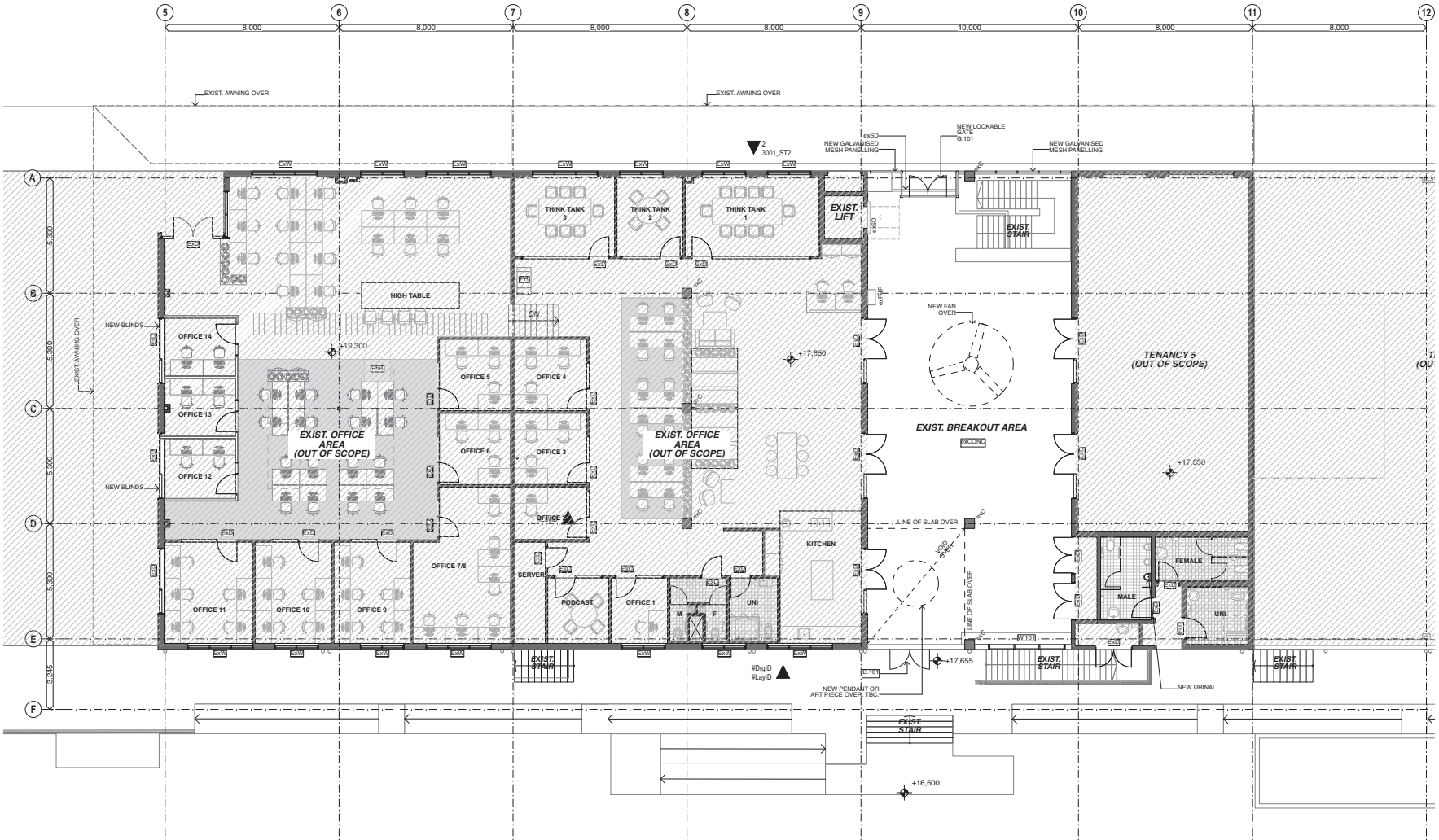
client
EDQ DSDMIP

project
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LOT 7 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT QLD 4215

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project number	drawn by	checked
202002_ST2	AD	JW
drawing name		
FIRST FLOOR - PROPOSED		
drawing number	scale	rev
2000_ST2	1:100@A1	02

PLANS AND DOCUMENTS
referred to in the PDA
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1 Plan
FIRST FLOOR PROPOSED
SCALE: 1:100

NOTES	
1	Exist L2 slab is post-tensioned. Ensure no exist. tendons are cut in structural slab. Refer struct. eng. docs for details
2	2 storey, Type C construction. Class TBC

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project
COHORT OFFICE MODIFICATIONS - ST2 - DA WORKS
LOT J GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT
QLD 4215

project number	drawn by	checked
202002_ST2	AD	JW

drawing name
SECOND FLOOR - PROPOSED

drawing number
2001_ST2

scale
1:100@A1

rev
02



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REV	DETAILS	INT	DATE
02	DA Issue	AD	28.05.20

LEGEND	
ChT	Proposed ceiling height
exAC	Exist. air conditioning grill
exB	Exist. beam
exCL	Exist. column
exLF	Exist. light fitting by lighting engineer
FCL	Proposed ceiling living. Refer F&E
LF	Light fitting. Refer elec. eng.
PP	Power pole. Refer elec. eng.
USR	Exposed underside of roof/insulation/structure

NOTES	
1	Reconfigure elec. services to suit new design. Refer elec. eng. for Details
2	Refer mech. eng. for proposed mechanical details

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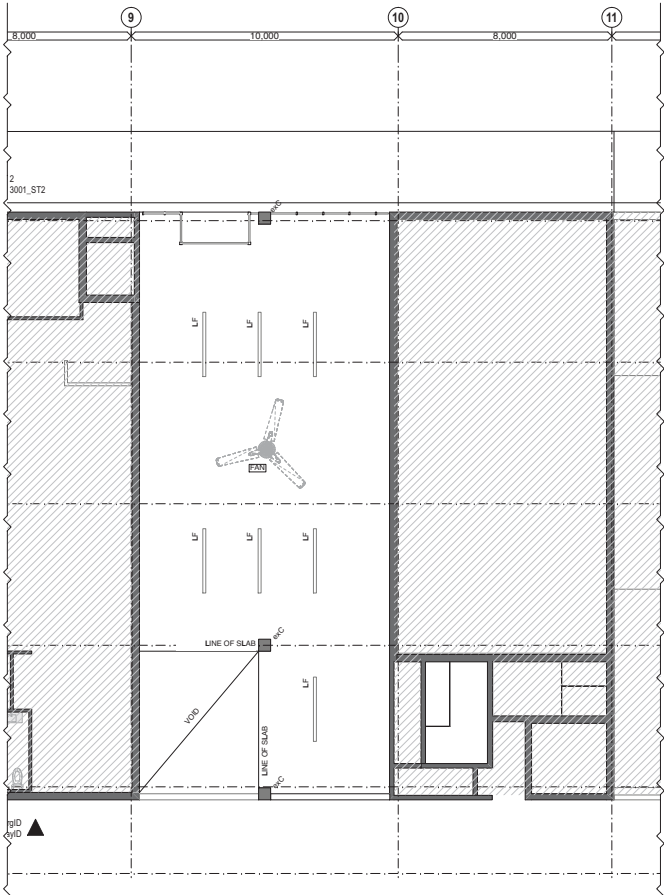
project
CONORT OFFICE MODIFICATIONS - ST2 - DA WORKS
LOT 7 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT QLD 4215

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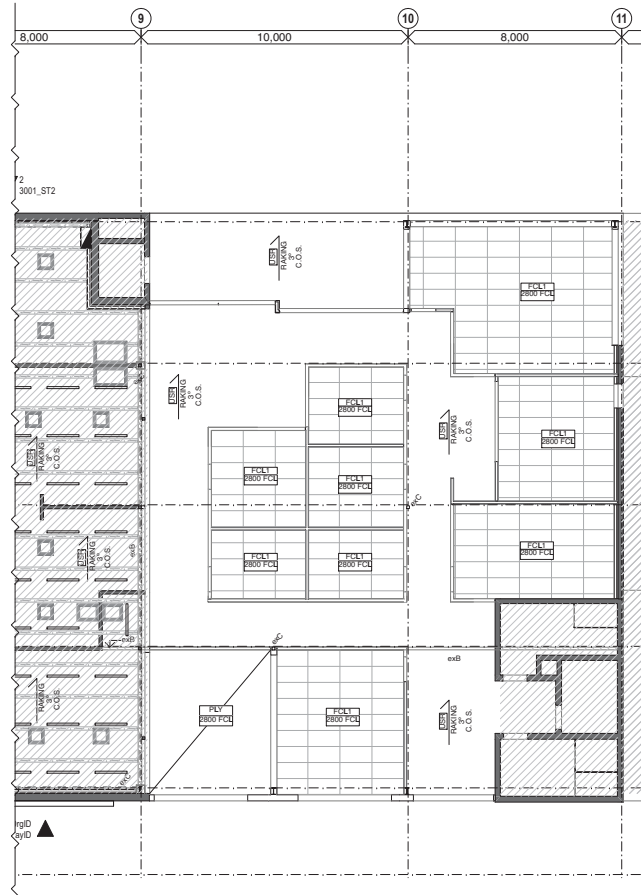
project number	drawn by	checked
202002_ST2	AD	JW
drawing name		
RCP PROPOSED		

drawing number	scale	rev
2200_ST2	1:100@A1	02

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
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Date: 27 July 2020



1 Plan
FIRST FLOOR RCP PROPOSED
SCALE: 1:100

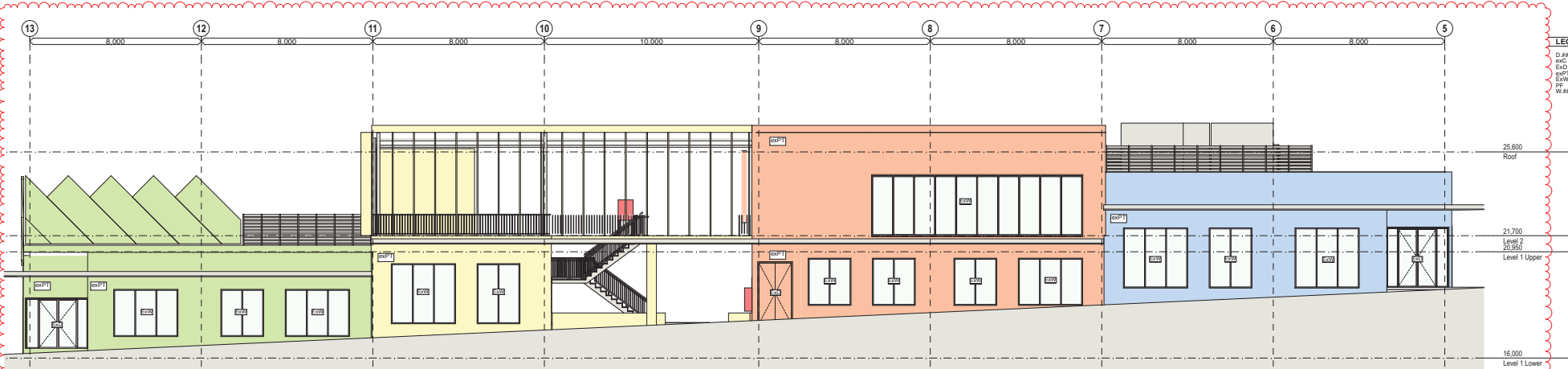


2 Plan
SECOND FLOOR RCP PROPOSED
SCALE: 1:100

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REV	DETAILS	INT	DATE
01	Issue 001	AK	10.08.20
02	DA Issue	AK	20.05.20
03	DA Issue - Updates	AK	10.05.20

LEGEND	
D ##	New door. Refer door/sizing suite schedule
exC	Exist. column
ExD	Exist. door
exPT	Exist. paint finish
ExW	Exist. window
PT ##	Paint finish. Refer FF&E
W ##	Window. Refer window schedule



1 Elevation
NORTH EXISTING
SCALE: 1:100

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project
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LOT 7 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT
QLD 4215**

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project number
202002_ST2
drawing name
ELEVATIONS
drawing number
3001_ST2

scale
1:100@A1
rev
03

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1106
Date: 27 July 2020



drawn by
AD
checked
JW

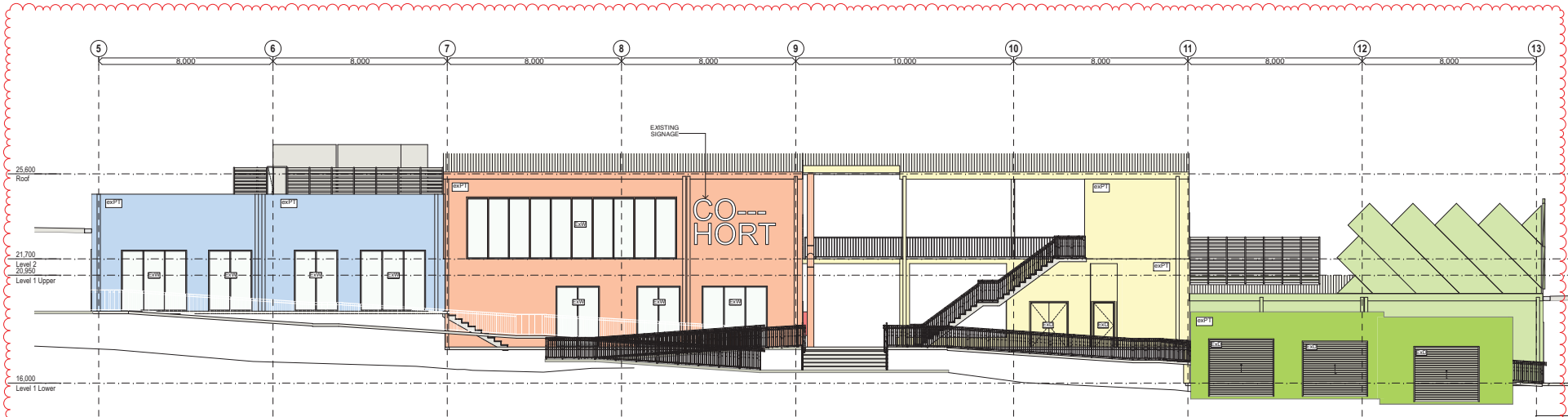
scale
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rev
03

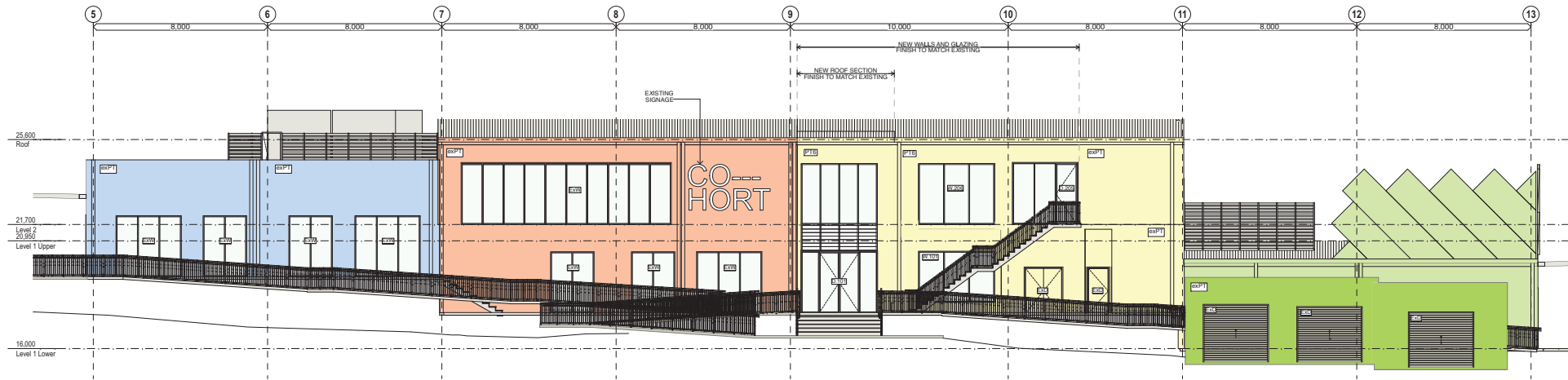
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REV	DETAILS	INT	DATE
01	Issue 01	AK	10.05.20
02	On issue	AK	20.05.20
03	On issue, Update	AK	10.05.21

LEGEND	
D ##	New door. Refer door/sizing suite schedule
exC	Exist. column
ExD	Exist. door
exPT	Exist. paint finish
ExW	Exist. window
PF	Paint finish. Refer FF&E
W ##	Window. Refer window schedule



1 Elevation
SOUTH EXISTING
SCALE: 1:100



2 Elevation
SOUTH PROPOSED
SCALE: 1:100

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QLD 4215

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project number
202002_ST2
drawing name
ELEVATIONS
drawing number
3002_ST2

scale
1:100@A1
rev
03

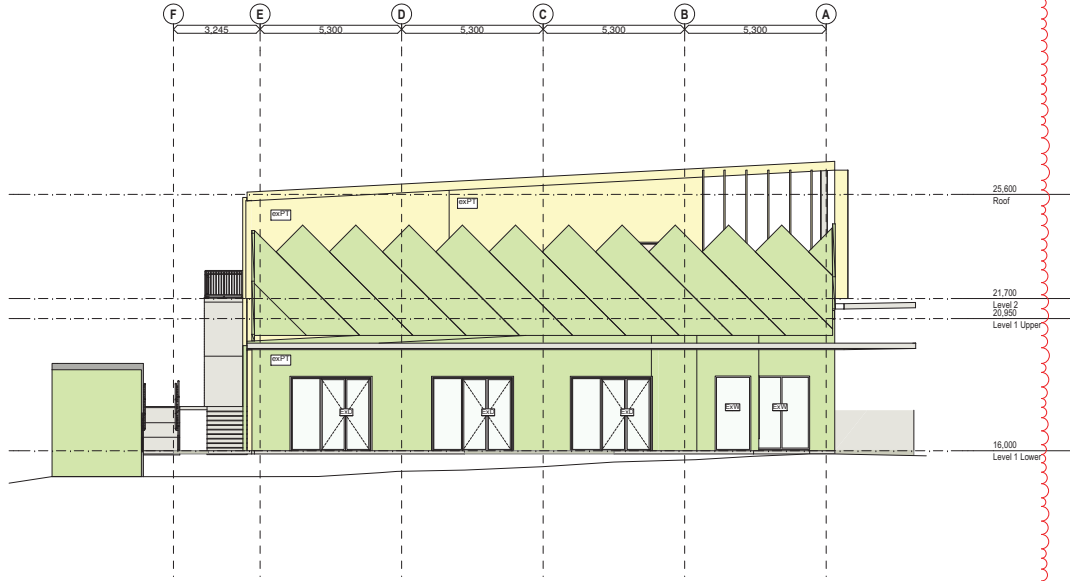
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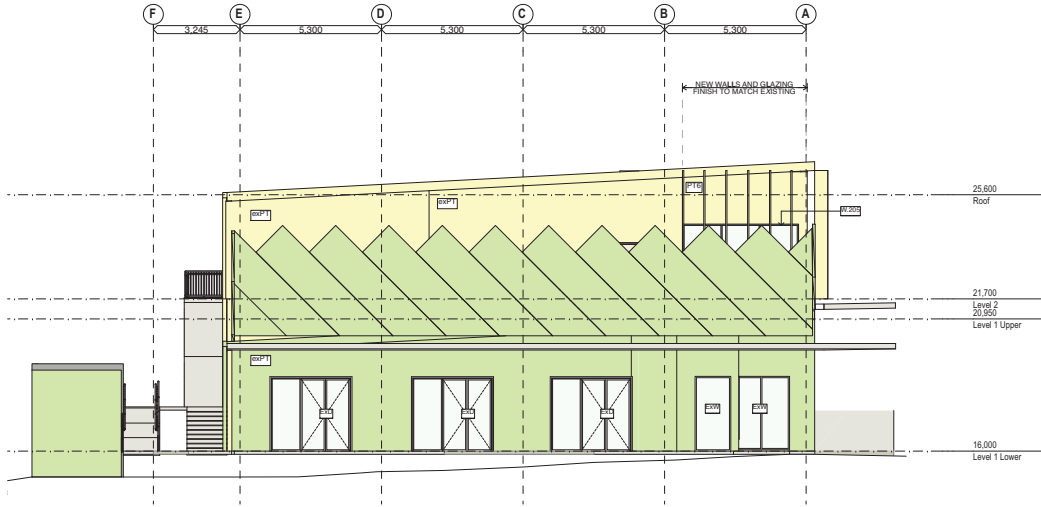
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REV	DETAILS	INT	DATE
01	23A Issues_Schedule	A01	11.08.20

LEGEND	
D ##	New door. Refer door/sizing suite schedule
exC	Exist. column
ExD	Exist. door
exPT	Exist. paint finish
ExW	Exist. window
PT	Paint finish. Refer FF&E
W ##	Window. Refer window schedule



1 Elevation
EAST EXISTING



2 Elevation
EAST PROPOSED

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client
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project
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LOT 7 GOLD COAST PARKLANDS 16 NEXUS WAY SOUTHPORT
QLD 4215**

Figured dimensions take precedence over scale dimensions.
Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number
202002_ST2

drawing name
ELEVATIONS

drawing number
3003_ST2

scale
1:100@A1

rev
01

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2020/1106

Date: 27 July 2020

