

DEVELOPMENT STATISTICS

House Allotments	Minimum Dimension	Stage 4a			Stage 4			Stage 7			Overall		
		Allotments	Allotments	Allotments	Allotments	Allotments	Allotments	Allotments	Allotments	Allotments	%	Dwellings	%
V2	Villa Allotment - 250m ²	1	1	—	—	—	—	2	4%	2	4%	2	4%
V1	Villa Allotment - 320m ²	—	2	—	—	—	—	3	6%	3	6%	3	5%
C1	Courtyard Allotment - 400m ²	—	—	4	—	—	—	5	9%	5	9%	5	9%
P2	Premium Courtyard Allotment - 375m ²	—	1	—	—	—	—	2	4%	2	4%	2	4%
P1	Premium Courtyard Allotment - 480m ²	—	15	—	—	—	—	21	39%	21	38%	21	38%
T2	Traditional Allotment - 500m ²	—	—	—	—	—	—	0%	0%	—	0%	—	0%
T1	Traditional Allotment - 640m ²	—	3	—	—	—	—	13	24%	13	23%	13	23%
Total House Allotments		—	26	—	—	—	—	46	85%	46	82%	46	82%
House Allotments - Laneway													
L2	Laneway Villa - 320m ²	—	1	—	—	—	—	1	2%	1	2%	1	2%
L6	Laneway Terrace - 240m ²	—	—	—	—	—	—	6	11%	6	11%	6	11%
Total Laneway House Allotments		—	—	—	—	—	—	7	13%	7	13%	7	13%
Multiple Residential Allotments													
T	Triplex Allotment	—	1	—	—	—	—	1	2%	3	5%	3	5%
Total Multiple Residential Allotments		—	1	—	—	—	—	1	2%	3	5%	3	5%
Future Development Allotments													
Super Allotments		1	1	1	1	1	1	3	6%	n/a	n/a	n/a	n/a
Total Super Allotments		1	1	1	1	1	1	3	6%	n/a	n/a	n/a	n/a
TOTAL		2	34	18	54	100%	56	100%	56	100%	100%	56	100%

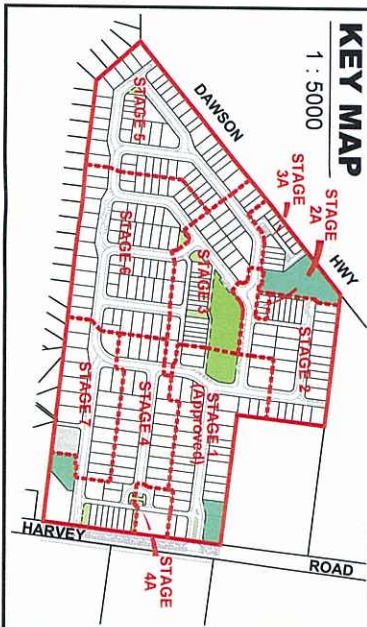
Land Budget

Land Use	Stage 4a	Stage 4	Stage 7	Overall	
				Area	%
Area of Subject Site	0.314 ha	2.417 ha	1.604 ha	4.335 ha	100.0%
Sealable Area	0.067 ha	1.469 ha	1.060 ha	2.596 ha	59.9%
Residential Allotments	0.144 ha	0.203 ha	0.136 ha	0.483 ha	11.1%
Future Development Allotments	0.211 ha	1.672 ha	3.079 ha	7.04%	7.04%
Total Area of Allotments	0.092 ha	0.551 ha	0.408 ha	1.051 ha	24.2%
Local Roads	0.011 ha	0.055 ha	—	0.066 ha	1.5%
Pedestrian Connections- Thresholds	0.103 ha	0.066 ha	0.408 ha	1.117 ha	25.8%
Open Space	—	—	—	—	—
Detention / Open Space	—	0.139 ha	—	0.139 ha	3.2%
Total Open Space	—	0.139 ha	—	0.139 ha	3.2%

Road Type	Length	Length	Length	Length	Length
6.5m Wide New Laneway	85m	107m	—	192m	—
16m Wide New Road	—	283m	234m	517m	—
Total Length of New Road	85m	390m	234m	709m	—

KEY MAP

1 : 5000



REVISION

A: 30/03/2012 Revised layout and notes
B: 01/05/2012 Revised site boundaries and setbacks
C: 02/05/2012 Revised site boundaries and setbacks

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m.
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Capricorn survey group.
Adjoining information: DCDB.
Contours: Capricorn survey group.
Trees: Capricorn survey group.

CLIENT
URBAN LAND
DEVELOPMENT AUTHORITY
PROJECT
HILLCLOSE
HARVEY ROAD
CLINTON

PLAN OF SUBDIVISION
STAGE 4 & 7
ALLOTMENT LAYOUT

Drawn	3 MAY 2012
Comp By:	WNV
DWG Name:	102361-S1-PRQ
Local Authority:	URBAN LAND DEVELOPMENT AUTHORITY
Locality:	CLINTON
Job Reference:	102361
Scale:	1 : 500
Plan Ref:	102361 - 53
Rev	C

RPS

RPS Planning East Pty Ltd
RPS Planning East Pty Ltd
ABN 44 140 392 782
743 Ann Street
PO Box 1000 QLD 4026
T +61 7 3237 8880
F +61 7 3237 8883
W rpsgroup.com.au

Copyright © 2012 RPS Planning East Pty Ltd
All rights reserved. Reproduction of this document
without permission is prohibited.

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Capricorn survey group.
Adjoining Information: COCB
Contours: Capricorn survey group.
Trees: Capricorn survey group.

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY
PROJECT
HILLCLOSE HARVEY ROAD CLINTON

PLAN OF DEVELOPMENT
STAGE 4 & 7
ALLOTMENT LAYOUT

Origin	Lowie Shalom
Date	3 MAY 2012
Comp By	WNW
DWG Name	102361-S1-PRO
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	CLINTON
Scale	1 : 500
Plan Ref	102361 - 56
Rev	C



RPS Australia East Pty Ltd
ABN 14 40 292 782
745 Ann Street
PO Box 1558
Port Adelaide SA 5015
P +61 7 2237 8833
F +61 7 2237 8833
W rpsgroup.com.au



Notes:
General
1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
Setbacks
4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. Built to boundary walls are optional except where identified as mandatory on the Plan of Development. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Mandatory Built to Boundary Walls must not exceed the prescribed setbacks for the lot.
7. Optional Built to Boundary Walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres. Where the Built to Boundary Wall exceeds the maximum length articulation must be provided and approved by the ULDA.
8. Boundary setbacks must not exceed the minimum ground floor setbacks.
9. First floor setbacks must not exceed the minimum ground floor setbacks.
10. Garages must not project forward of the front building setback.
11. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
• Primary Street frontage, where eaves should not be closer than 2400mm.

- Parking**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
 - Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - All double garages should be setback behind the main face of the dwelling with doors articulated, comprising a mix of materials and colours, or staggered.
 - Maximum width of any garage shall be no more than 40% of the lot frontage on any lot less than 12.5m wide.
 - Garages and carports served off a Laneway must be built to 0.5m rear setback.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
 - The maximum width of a driveway for a lot with a single garage shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Notes:
General
1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
Setbacks
4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. Built to boundary walls are optional except where identified as mandatory on the Plan of Development. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Mandatory Built to Boundary Walls must not exceed the prescribed setbacks for the lot.
7. Optional Built to Boundary Walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres. Where the Built to Boundary Wall exceeds the maximum length articulation must be provided and approved by the ULDA.
8. Boundary setbacks must not exceed the minimum ground floor setbacks.
9. First floor setbacks must not exceed the minimum ground floor setbacks.
10. Garages must not project forward of the front building setback.
11. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
• Primary Street frontage, where eaves should not be closer than 2400mm.

- Parking**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
 - Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - All double garages should be setback behind the main face of the dwelling with doors articulated, comprising a mix of materials and colours, or staggered.
 - Maximum width of any garage shall be no more than 40% of the lot frontage on any lot less than 12.5m wide.
 - Garages and carports served off a Laneway must be built to 0.5m rear setback.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
 - The maximum width of a driveway for a lot with a single garage shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Notes:
General
1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
Setbacks
4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. Built to boundary walls are optional except where identified as mandatory on the Plan of Development. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Mandatory Built to Boundary Walls must not exceed the prescribed setbacks for the lot.
7. Optional Built to Boundary Walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres. Where the Built to Boundary Wall exceeds the maximum length articulation must be provided and approved by the ULDA.
8. Boundary setbacks must not exceed the minimum ground floor setbacks.
9. First floor setbacks must not exceed the minimum ground floor setbacks.
10. Garages must not project forward of the front building setback.
11. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
• Primary Street frontage, where eaves should not be closer than 2400mm.

- Parking**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
 - Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - All double garages should be setback behind the main face of the dwelling with doors articulated, comprising a mix of materials and colours, or staggered.
 - Maximum width of any garage shall be no more than 40% of the lot frontage on any lot less than 12.5m wide.
 - Garages and carports served off a Laneway must be built to 0.5m rear setback.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
 - The maximum width of a driveway for a lot with a single garage shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Notes:
General
1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
Setbacks
4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. Built to boundary walls are optional except where identified as mandatory on the Plan of Development. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Mandatory Built to Boundary Walls must not exceed the prescribed setbacks for the lot.
7. Optional Built to Boundary Walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres. Where the Built to Boundary Wall exceeds the maximum length articulation must be provided and approved by the ULDA.
8. Boundary setbacks must not exceed the minimum ground floor setbacks.
9. First floor setbacks must not exceed the minimum ground floor setbacks.
10. Garages must not project forward of the front building setback.
11. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
• Primary Street frontage, where eaves should not be closer than 2400mm.

- Parking**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
 - Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway alignment.
 - All double garages should be setback behind the main face of the dwelling with doors articulated, comprising a mix of materials and colours, or staggered.
 - Maximum width of any garage shall be no more than 40% of the lot frontage on any lot less than 12.5m wide.
 - Garages and carports served off a Laneway must be built to 0.5m rear setback.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
 - The maximum width of a driveway for a lot with a single garage shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Plan of Development Table		Terrace Allotments		Villa Allotments 10m		Courtyard Allotments 12.5m		Premium Courtyard Allotments 15m		Traditional Allotments		Multiple Residential Allotments	
		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage		3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Garage		4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a
Rear		1.2m	1.2m	1.2m	1.2m	1.2m	1.2m	1.2m	1.2m	2.0m	2.0m	1.2m	2.0m
Side - General Lots		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m
Built to Boundary		0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.0m	1.0m
Non Built to Boundary		0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.0m	1.0m
Corner Lots - Secondary Frontage		1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m
Laneway Lots		0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	n/a	n/a	0.5m	0.5m
Rear of Lot (from laneway boundary)		0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m

Legend

Acoustic Requirements

27. Noise attenuation measures (Category 2 construction under Australian Standard 3671:1989) must be incorporated into the building design and construction of buildings or nominated lots to meet the recommended noise levels for sleeping rooms under Australian Standard 2107:2000. Submit to the ULDA Principal Engineer written confirmation that this requirement will be met prior to survey plan endorsement.

Infrastructure Contributions

28. Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with the ULDA Development Approval for the relevant stage. The payment will be made to the ULDA prior to survey plan endorsement.

29. Infrastructure Contributions for Multiple Residential Lots accommodating more than a single dwelling unit will be calculated in accordance with Gladstone Regional Council's Infrastructure Charges Policy. The payment will be made to the ULDA prior to endorsement of a community management statement or commencement of use, whichever comes first.

Definitions:

Laneway Allotment - Allotments serviced by a laneway.

Site Amenity

30. All second storey windows where within 9metres of a habitable room or private open space of an adjoining lot are to have fixed, external privacy screens or fixed or package glazing at a sill height less than 1.5 metres above floor level on the side elevations of the buildings

31. All balustrades that are visible from the street are to be 50% visually permeable

Development Controls

Preferred Primary Open Space Location
Maximum Building Location Envelope
Mandatory Built to Boundary Wall
Optional Built to Boundary Wall
Primary Frontage
No Vehicle Access
Preferred Garage Location
Alternative Garage Location
Acoustic Performance Required (See Note 27)

Park / Open Space

Proposed Park / Open Space
Proposed Detention / Open Space
Pedestrian Linkage / Road Reserve

DEVELOPMENT STATISTICS

House Allotments	Minimum Dimension	Allotments	%	Dwellings	%
T28 Terrace Allotment - 210m ²	7.5m x 28m	4	8%	4	8%
FD Freehold Duplex	15m x 16m	4	8%	4	8%
V2 Villa Allotment - 250m ²	10m x 25m	9	18%	9	18%
V1 Villa Allotment - 320m ²	10m x 32m	3	6%	3	6%
C2 Courtyard Allotment - 310m ²	12.5m x 25m	6	12%	6	12%
C1 Courtyard Allotment - 400m ²	12.5m x 32m	2	4%	2	4%
P2 Premium Courtyard Allotment - 375m ²	15m x 25m	10	20%	10	20%
P1 Premium Courtyard Allotment - 480m ²	15m x 32m	5	10%	5	10%
T2 Traditional Allotment - 500m ²	20m x 25m	5	10%	5	10%
T1 Traditional Allotment - 640m ²	20m x 32m	1	2%	1	2%
Total House Allotments		49	98%	49	98%
Multiple Residential Allotments					
D Duplex Allotment		1	2%	2	4%
Total Multiple Residential Allotments		1	2%	2	4%
Total		50	100%	51	100%

Legend

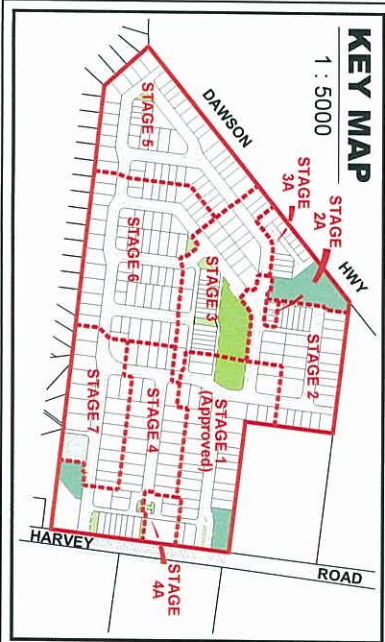
- Site Boundary
- Stage Boundary
- Laneways
- Indicative 1.5m Footpath
- Park / Open Space
- Proposed Park / Open Space
- Proposed Detention / Open Space
- Pedestrian Linkage / Road Reserve

PLANS AND DOCUMENTS
referred to in the ULDA

APPROVAL dated 12 / 7 / 2012

Land Use	Area	Percentage
Area of Subject Site	2,583 ha	100.0%
Saleable Area		
Residential Allotments	1,840 ha	71.2%
Total Area of Allotments	1,840 ha	71.2%
Road		
Local Roads	0.726 ha	28.1%
Pedestrian Connections - Thresholds	0.017 ha	0.7%
Total Area of New Road	0.743 ha	28.8%

Road Type	Length
Shared Access Driveway	25m
16m Wide New Road	435m
Total Length of New Road	460m



REVISION

A: 30/03/2012 Amended Layout and Notes
B: 01/05/2012 Amended terminology and setbacks
C: 02/05/2012 Amended open spaces and landscaping

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY

PROJECT
HILLCLOSE HARVEY ROAD CLINTON

PLAN OF SUBDIVISION
STAGE 5 ALLOTMENT LAYOUT

Notes:
All dimensions and areas are approximate only and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Capricorn survey group.
Adjoining Information: DCOB.
Contours: Capricorn survey group.
Trees: Capricorn survey group.

Local Authority
URBAN LAND DEVELOPMENT AUTHORITY

Local Authority
CLINTON

Scale
1 : 500

Plan Ref
102361 - 51

Rev
C

RPS
RPS Australia East Pty Ltd
ABN 14 40 282 752
743 Ann Street
PO Box 1558
Ferntree Gully VIC 3156
P: 03 9477 2227
F: 03 9477 2228
W: rpsgroup.com.au

Plan of Development Table		Terrace Allotments		Freehold Duplex Allotments		Villa Allotments 10m		Courtyard Allotments 12.5m		Premium Courtyard Allotments 15m		Traditional Allotments		Multiple Residential Allotments	
		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage		3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Garage		4.5m	n/a	n/a	4.5m	4.5m	n/a	4.5m	4.5m	n/a	4.5m	4.5m	n/a	4.5m	n/a
Rear		1.2m	1.2m	2.0m	1.2m	1.2m	1.2m	2.0m	1.2m	2.0m	1.2m	2.0m	1.2m	2.0m	n/a
Side - General Lots		0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	1.0m	1.0m	n/a	n/a	0.0m	1.0m
Built to Boundary		0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m	1.0m	1.0m
Non Built to Boundary		1.5m	1.5m	3.0m	3.0m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Corner Lots - Secondary Frontage		1.5m	1.5m	3.0m	3.0m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots															
Rear of Lot (from laneway boundary)		0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	n/a	n/a	0.5m	0.5m

Notes:

- General
- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Built to boundary walls are optional except where identified as mandatory on the Plan of Development. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Mandatory Built to Boundary Walls must not exceed the prescribed setbacks for the lot.
- Optional Built to Boundary Walls are to have a maximum length of 8 metres and a maximum height of 3.5 metres. Where the Built to Boundary Wall exceeds the maximum length articulation must be provided and approved by the ULDA.
- Boundary setbacks are measured to the wall of the structure.
- First floor setbacks must not exceed the minimum ground floor setbacks.
- Garages must not project forward from the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

Parking

- On street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway allotment.
- Double garages are not permitted on any lot less than 10m wide except where a laneway allotment.
- All double garages should be setback behind the main face of the dwelling with doors articulated, comprising a mix of materials and colours, or staggered.
- Maximum width of any garage shall be no more than 40% of the lot frontage on any lot less than 12.5m wide.
- Garages and carports served off a Laneway must be built to 0.5m rear setback. (Refer Practice Note no. 12 Rear Lanes: design and development)
- Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m.
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m, and
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m

Fencing

- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Fencing on lanes where along private open space, carparking and service areas can be screen fencing at 1.8m high where it can be 50% transparent for no more than 50% of the boundary (including the Garage).

Building Articulation

- All dwellings must have a porch, alcove or verandah providing an entry to the building which is visible from the street.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate:
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Buildings facing a park of more than one street

- For buildings that have more than one street frontage or adjoin park, the building design must ensure an attractive appearance is presented to the street frontage and, if applicable, the park.
- Buildings must address each street frontage or park frontage through the inclusion of, but not necessarily limited to, the following design elements:
 - Verandahs
 - Porches
 - Awnings and Shade Structures
 - Variation to Roof and Building Lines
 - Inclusion of Window Openings

Acoustic Requirements

- Noise attenuation measures (Category 2 construction under Australian Standard 3671:1989) must be incorporated into the building design and construction of buildings on nominated lots to meet the recommended noise levels for sleeping rooms under Australian Standard 2107:2000. Submit to the ULDA Principal Engineer written confirmation that this requirement will be met prior to survey plan endorsement.
- Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with the ULDA Development Approval for the relevant stage. The payment will be made to the ULDA prior to survey plan endorsement.

- Infrastructure Contributions for Multiple Residential (lots accommodating more than a single dwelling unit) will be calculated in accordance with Gladstone Regional Council's Infrastructure Charges Policy. The payment will be made to the ULDA prior to endorsement of a community management statement or commencement of use, whichever comes first.
- Infrastructure Contributions will be calculated in accordance with Table 3 (Charge Area 1 - 1 or 2 bedroom dwellings) for lots 364-367 and Table 3 (Charge Area 1 - 3 bedroom dwellings) for lots 369-370 of Gladstone Regional Council's Infrastructure Charges Policy. The payment will be made to the ULDA prior to survey plan endorsement for the relevant stage.



PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 12/7/2012

AMENDED IN RED
12 JUL 2012

By: BRIANNA FYFFE (name)
of the ULDA

- Legend**
- Site Boundary
 - Laneways
 - Indicative 1.5m Footpath
 - Park / Open Space
 - Proposed Detention / Open Space
 - Proposed Detention / Open Space
 - Pedestrian Linkage / Road Reserve
 - Development Controls
 - Preferred Primary Open Space Location
 - Maximum Building Location Envelope
 - Optional Built to Boundary Wall
 - Mandatory Built to Boundary Wall
 - No Vehicle Access
 - Preferred Garage Location
 - Alternative Garage Location
 - Acoustic Performance Required (See Note 27)
 - 3m Rear setback to adjoining allotments



- Where adjoining a residential boundary, erect a screen fence along the common boundaries. The side boundary fences are to extend from the rear boundary to align with the front facade of the dwelling but shall not extend beyond the front boundary building setback. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.**
- Site Amenties**
- All second storey windows where within 9 metres of a habitable room or private open space of an adjoining lot are to have fixed external privacy screens or fixed opaque glazing at a sill height less than 1.5 metres above floor level on the side elevations of the buildings.
 - All balustrades that are visible from the street are to be 50% Visually Permeable
- Lots <250m²**
- Specified below are the approved house plan options for the lots <250m²
 - Lots 365 - 366, Terrace Allotments Type A and Type B
 - Lots 369-370, Concept Floor Plan - Hill Close 369-370 and Stage 5 - Hill Close DA Concepts - Lots 369-370
 - Lots 366-387, Concept Floor Plan - Hill Close 366-387 and Concept Elevations - Hill Close 366-387
 - These house plans can be mirrored where the driveway location and built to boundary walls are consistent with the approved POD.
- 34. Houses on lots less than 250m² to include the following:**
- Landscaping at the front of each lot / dwelling is to be provided at a minimum depth of 500mm along the lot boundary and is to reinforce the dwelling entry and positively contribute to the streetscape.
 - Windows to be provided with adequate sun shading and weather protection.

Definitions:

Laneway Allotment - Allotments serviced by a laneway.

REVISION

A: 30/03/2012 Amended Layout and Notes
B: 30/03/2012 Amend to terminology and setbacks
C: 02/05/2012 Amend open spaces and landscaping

CLIENT

URBAN LAND DEVELOPMENT AUTHORITY

PROJECT

HILLCLOSE HARVEY ROAD CLINTON

PLAN OF DEVELOPMENT

STAGE 5 ALLOTMENT LAYOUT

Local Datum

Origin

Date

3 MAY 2012

Comp By

WMV

DWG Name

102361-54-PRO

Local Authority

URBAN LAND DEVELOPMENT AUTHORITY

Locality

CLINTON

Scale

1 : 500

Sheet

A1

Plan Ref

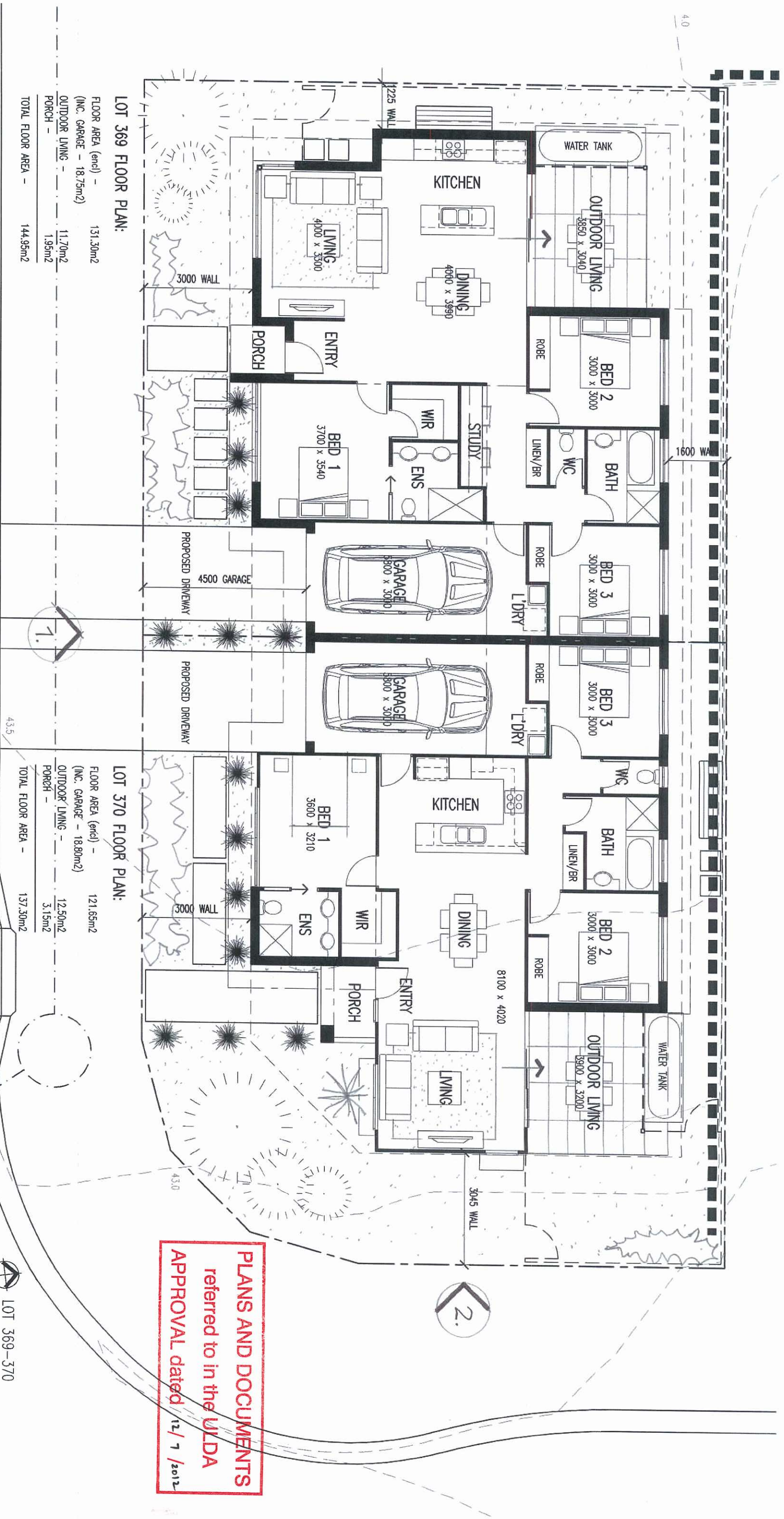
102361 - 54

Rev

C

RPS

RPS Australia East Pty Ltd
ABN 14 140 292 762
743 Ann Street
PO Box 1558
Fremantle Valley QLD 4056
T +61 7 5337 8888
F +61 7 5337 8889
W rpsgroup.com.au



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/7/2012

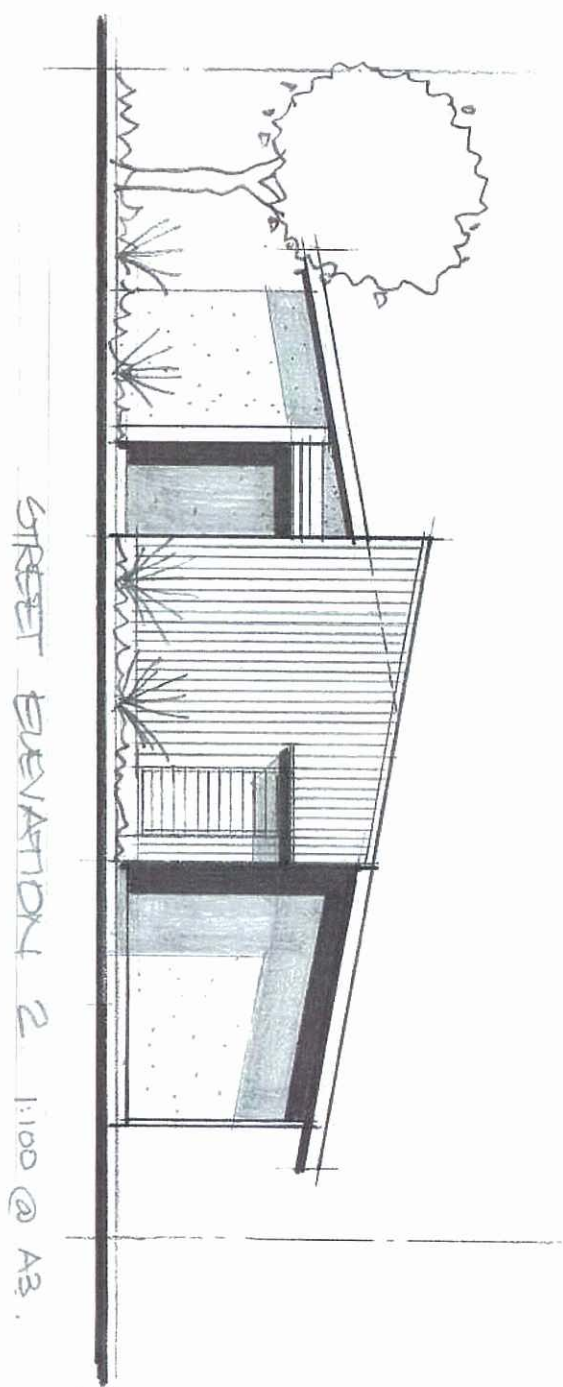
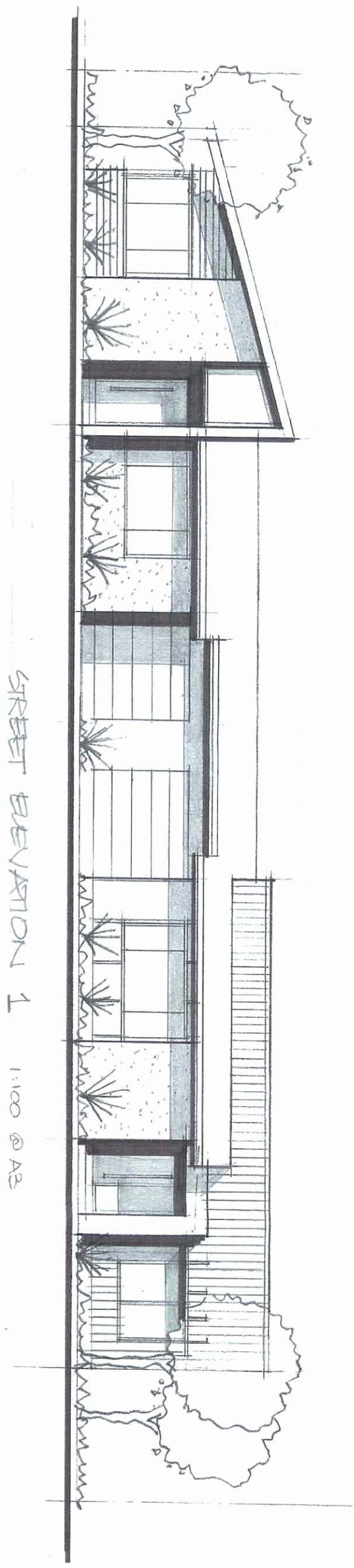
- SITE INFORMATION BASED ON DISCLOSURE PLAN ONLY
- FINAL SITING SUBJECT TO DETAILED CONTOUR SURVEY
- RETAINING WALLS OVER 1m HIGH TO BE DESIGNED BY ENGINEER AND REQUIRES 1m HIGH BARRIER
- FINAL PLAN DETAILS ARE SUBJECT TO POSITION OF
- ALL SITEMARKS, DRIVEWAY FALLS & RETAINING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- FINAL DRAWINGS ARE SUBJECT TO COVENANT APPROVAL (IF REQUIRED)

HILL CLOSE 369-370

CONCEPT FLOOR PLAN

Client:	ULDA	Job No.	Scale @	Date	Amendment	By	Rev.	Drawing No.
Site:	LOT 369-370 HILL CLOSE ESTATE	4189	A3	25.06.2012	AMENDMENT 1	JL	A	P369-001

212 BOUNDARY STREET SPRING HILL QLD 4000
www.mondooarchitects.com.au
admin@mondooarchitects.com.au
T 07 3838 1638 F 07 3838 1688 MONDOO
© MONDOO ARCHITECTS PTY LTD ACN086 992 990 ABN 64 085 992 990



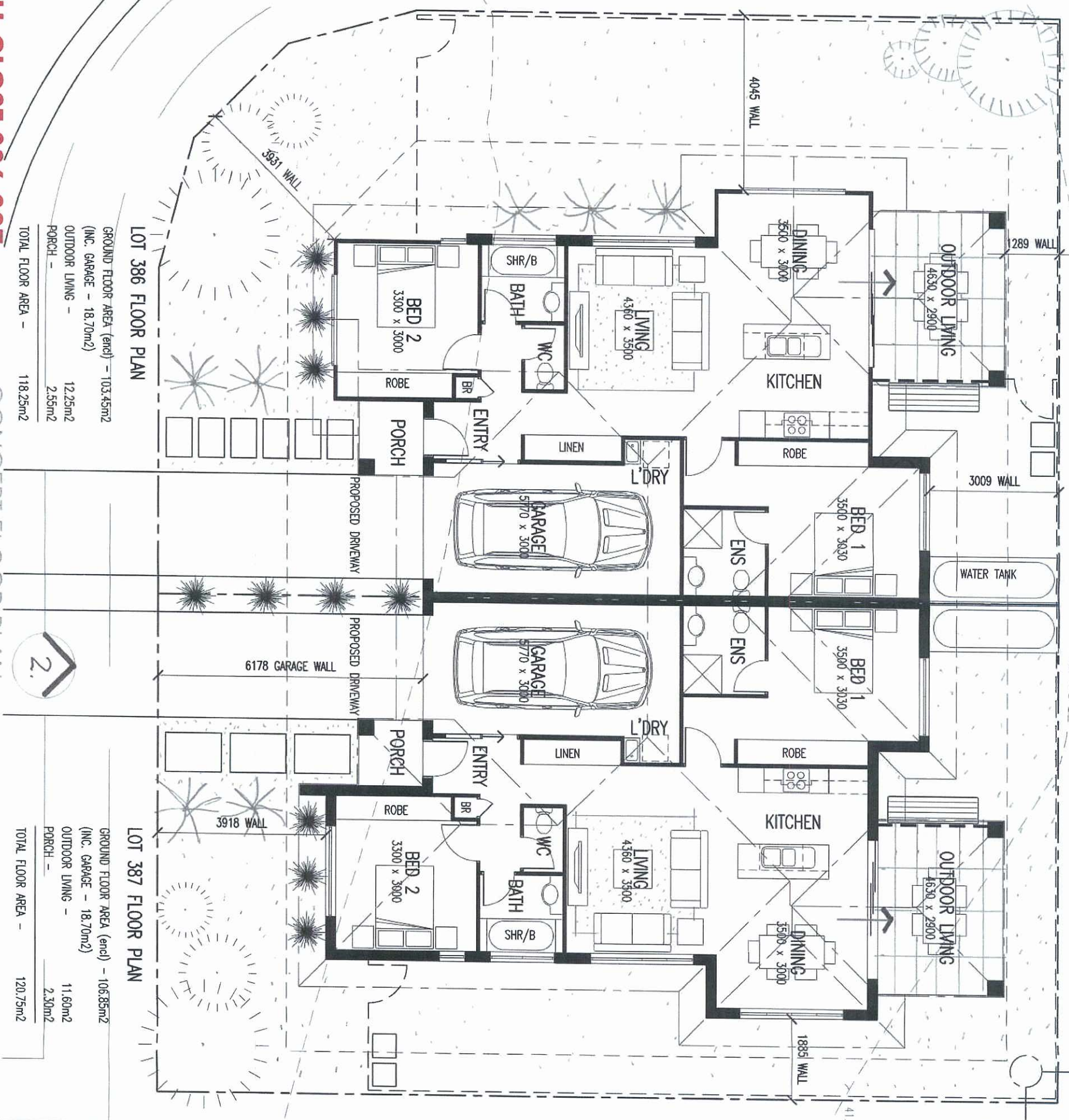
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 7 / 2012

STAGE 5 - HILL CLOSE DA CONCEPTS - LOTS 369 & 370

Client:	ULDA	Job No.	Scale @	Date	Amendment	By	Rev.	Drawing No.
Site:	FREEHOLD DUPLEX ALLOTMENTS	4189	1:100					000-101

MONDOARCHITECTS

212 BOUNDARY STREET SPRING HILL QLD 4000
www.mondooarchitects.com.au
admin@mondooarchitects.com.au
T 07 3838 1638 F 07 3838 1688 MONDOO
© MONDO ARCHITECTS PTY LTD ACN086 992 990 ABN 64 085 992 990



HILL CLOSE 386-387

CONCEPT FLOOR PLAN

LOT 386 FLOOR PLAN

GROUND FLOOR AREA (encl) - 103.45m²
(INC. GARAGE - 18.70m²)
OUTDOOR LIVING - 12.25m²
PORCH - 2.55m²
TOTAL FLOOR AREA - 118.25m²

LOT 387 FLOOR PLAN

GROUND FLOOR AREA (encl) - 106.85m²
(INC. GARAGE - 18.70m²)
OUTDOOR LIVING - 11.60m²
PORCH - 2.30m²
TOTAL FLOOR AREA - 120.75m²

Client: ULDA
Site: LOT 386-387 HILL CLOSE ESTATE

Job No. 4190
Scale @ A3 1:100

Date 26.06.2012

Amendment PRELIMINARY ISSUE

By JL

Rev. A

Drawing No. P386-001

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 7 / 2012

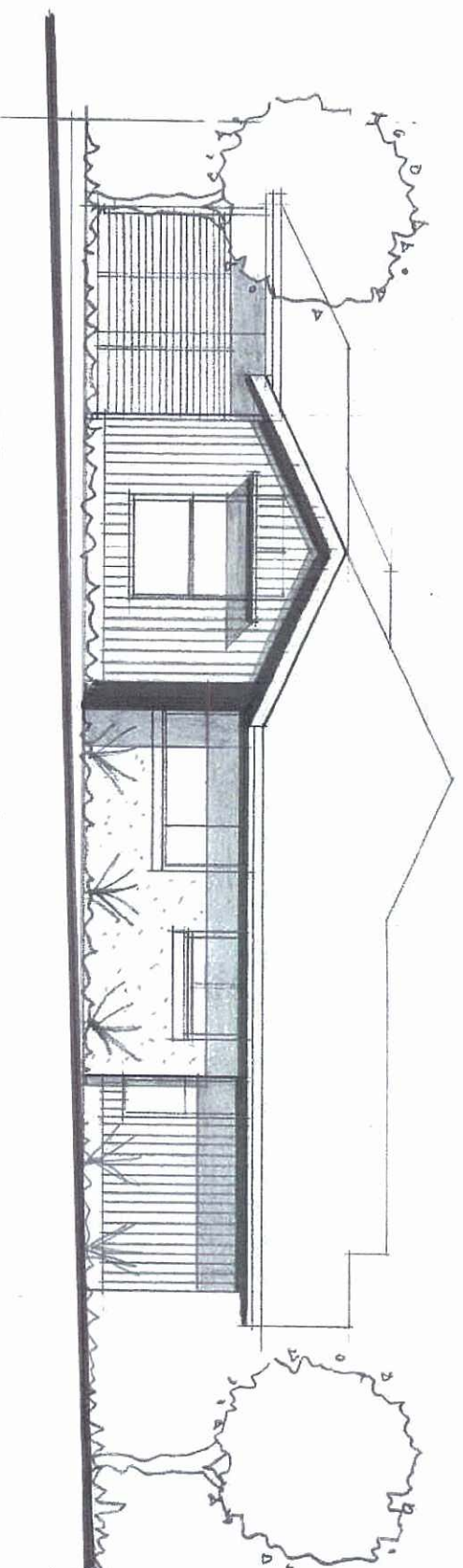
LOT 386-387

- SITE INFORMATION BASED ON DISCLOSURE PLAN ONLY
- FINAL SITING SUBJECT TO DETAILED CONTOUR SURVEY
- RETAINING WALLS OVER 1m HIGH TO BE DESIGNED BY ENGINEER AND REQUIRES 1m HIGH BARRIER
- FINAL PLAN DETAILS ARE SUBJECT TO POSITION OF ALL SITEWORKS, DRIVEWAY FALLS & RETAINING TO BE CONFERRED ON SITE PRIOR TO CONSTRUCTION
- FINAL DRAWINGS ARE SUBJECT TO COVENANT APPROVAL (IF REQUIRED)

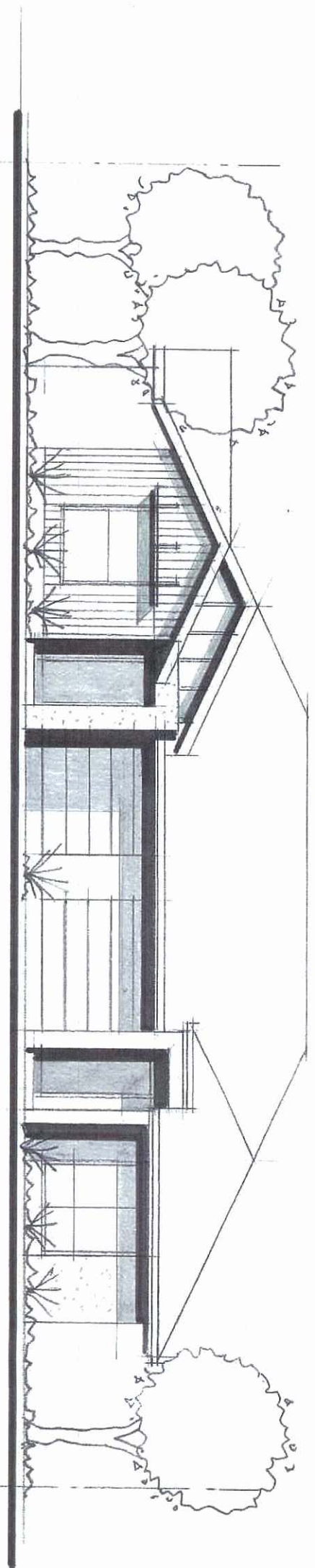
MONDOARCHITECTS

212 BOUNDARY STREET SPRING HILL QLD 4000
www.mondooarchitects.com.au
admin@mondooarchitects.com.au
T 07 3838 1638 F 07 3838 1688 MONDOO
©MONDO ARCHITECTS PTY LTD ACN085 992 990 ABN 64 085 992 990

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 7 / 2012



STREET ELEVATION 1.



STREET ELEVATION 2.

HILL CLOSE 386-387

CONCEPT ELEVATIONS

Client: ULDA
Site: LOT 386-387 HILL CLOSE ESTATE

Job No. 4190
Scale @ A3 1:100
Date 26.06.2012
Amendment PRELIMINARY ISSUE
By JL
Rev. A
Drawing No. P386-201

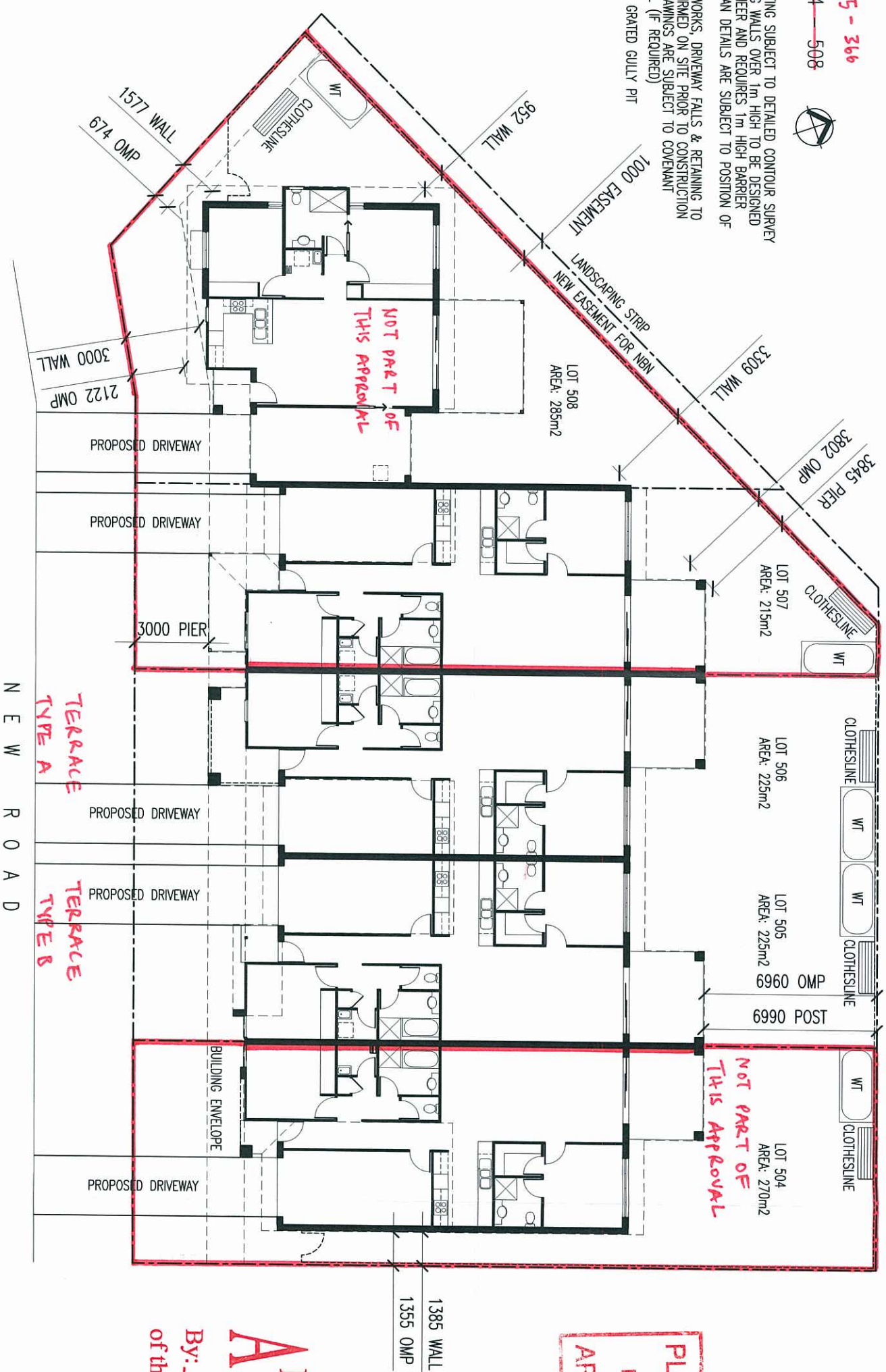
MONDOARCHITECTS

212 BOUNDARY STREET SPRING HILL QLD 4000
www.mondooarchitects.com.au
admin@mondooarchitects.com.au
T 07 3838 1638 F 07 3838 1688 MONDOO
© MONDO ARCHITECTS PTY LTD ACN085 992 990 ABN 64 085 992 990

LOT 365 - 366
LOT 504 - 508



- FINAL SITING SUBJECT TO DETAILED CONTOUR SURVEY
- RETAINING WALLS OVER 1m HIGH TO BE DESIGNED BY ENGINEER AND REQUIRES 1m HIGH BARRIER
- FINAL PLAN DETAILS ARE SUBJECT TO POSITION OF SERVICES
- ALL SITEWORKS, DRIVEWAY FALLS & RETAINING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- FINAL DRAWINGS ARE SUBJECT TO COVENANT APPROVAL (IF REQUIRED)
- ☒ DENOTES GRADED GULLY PIT



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/7/2012

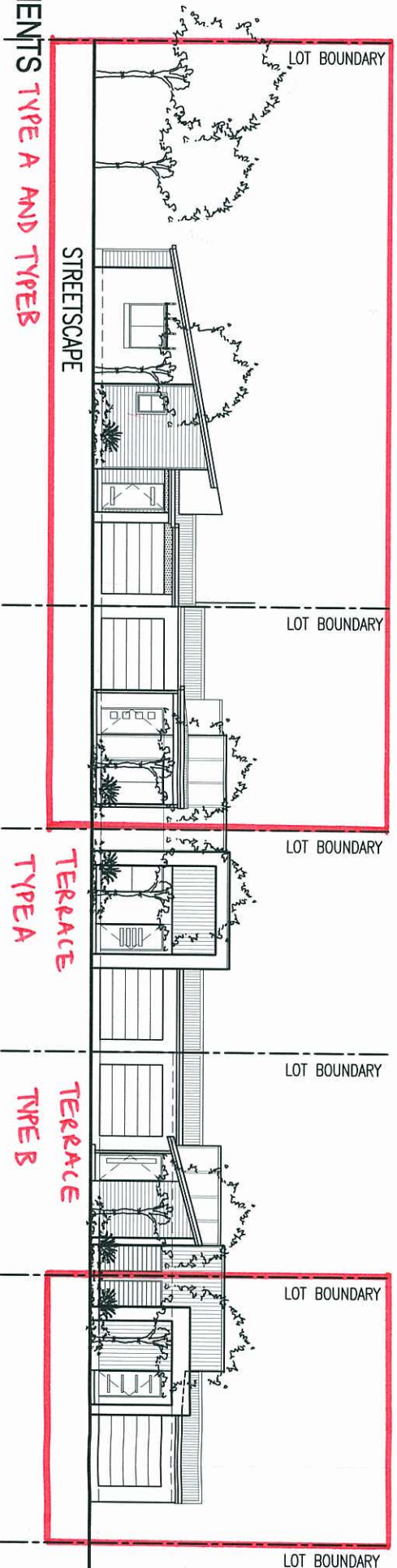
A MENDED IN RED
12 JUL 2012
By: BRIANNA FAYE (name)
of the ULDA

FOR
IRWIN HOMES

Lot 504 - 508 Lot 365 - 366

HILL CLOSE

HOUSE TYPE: TERRACE ALLOTMENTS TYPE A AND TYPE B



PRELIMINARY SITE PLAN + STREETSCAPE

Note - Plans & elevations (including furniture, floor coverings, fittings & landscaping) as shown, are for illustration purposes only & do not form part of any contract.
- Plans are subject to change without notice. Overall dimensions do not include eaves. Dimensions may vary depending on facade style.