



GENERAL NOTES

1. ALL BUILDING WORK MUST COMPLY WITH THE BUILDING CODE OF AUSTRALIA, GOVERNMENT APPROVAL AUTHORITY CONDITIONS, ALL STATUTORY AUSTRALIAN STANDARDS AND ALL SPECIFIED AUSTRALIAN STANDARDS. CONFORM ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. DO NOT SCALE FROM THIS DRAWING. REFER ANY DISCREPANCIES TO THE ARCHITECT.
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4. THE BUILDER IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHING, CAPPING, COMPRESSIBLE SEALS, TANKING AND DAMP PROOF COURSE REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
5. THE BUILDER IS RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PACKERS, STIFFENERS, NAIL PLATES AND SUPPORT MEMBERS REQUIRED TO FRAME AND CLAD THE BUILDING.
6. THE BUILDER IS TO ALLOW TO PACK OUT WALLS AS REQUIRED TO ACHIEVE A FLUSH AND PLUMB FINISH.
7. ALL GUTTER, DOWNPIPE, SUMP, RAINHEAD AND OVERFLOW SIZES AND DETAILS ARE TO HYDRAULIC ENGINEER'S DESIGN, AND SHOWN ON THESE DRAWINGS FOR CLARITY ONLY.

FIRE PROTECTION NOTES

1. ALL PENETRATIONS IN FIRE RATED FLOORS, WALLS OR CEILINGS ARE REQUIRED TO BE FIRE SEALED TO MAINTAIN THE INTEGRITY OF THAT PART, IN ACCORDANCE WITH NCC SECTIONS C3.12, C3.13 AND C3.15.
2. CONSTRUCTION JOINTS IN FLOORS & WALLS MUST BE CONSTRUCTED TO MAINTAIN THE FIRE INTEGRITY OF THE PART TO THE UNDERSIDE OF ROOF SHEETING IN ACCORDANCE WITH NCC SECTION C3.16.
3. ALL FIRE EGRESS DOORS MUST SWING IN THE FIRE EGRESS DIRECTION OF TRAVEL AND BE OPENABLE WITHOUT A KEY IN THE FIRE EGRESS DIRECTION OF TRAVEL.

SAFE AND EQUAL ACCESS TO PREMISES NOTES

1. CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS MUST BE PROVIDED, IN ACCORDANCE WITH AS1428.1, TO IDENTIFY ALL DISABLED ACCESS FACILITIES AND SERVICES.
2. ALL PUBLICLY ACCESSIBLE STAIRS AND RAMP MUST BE IN ACCORDANCE WITH NCC SECTION D2 AND AS1428.1.
3. GROUND SURFACE TACTILE INDICATORS IN ACCORDANCE WITH AS1428.4 MUST BE PROVIDED TO ALL PUBLICLY ACCESSIBLE RAMP AND STAIRS.
4. MAINTENANCE ACCESS WALKWAYS, STAIRS AND LADDERS TO NON-PUBLICLY ACCESSIBLE PLANT AND EQUIPMENT AREAS ARE REQUIRED TO BE IN ACCORDANCE WITH AS1657.
5. PUBLICLY ACCESSIBLE HANDRAILS AND BALUSTRADES MUST BE IN ACCORDANCE WITH NCC SECTIONS D2.16, D2.17 AND AS1428.1.
6. AN ACCESS SAFETY SYSTEM IS REQUIRED TO ALL AREAS REQUIRING ACCESS FOR MAINTENANCE AND CLEANING WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE.

LEGEND

FGL 0.000	NEW SURFACE RL TO AHD
EGL 0.000	EXISTING SURFACE RL TO AHD
FGL 0.000	NEW SPOT LEVEL TO AHD
EGL 0.000	EXISTING SPOT LEVEL TO AHD
FALL 1:50	SURFACE FALL LINNDOWN
100 STEP	SURFACE STEP MARKER(DOWN)
1-101	ELEVATION/SECTION MARKER
1-101	DETAIL REFERENCE MARKER
COG-388	DOOR / WINDOW / LOUVRE IDENTIFICATION MARKER

EQUITABLE PEDESTRIAN PATH OF TRAVEL IN ACCORDANCE WITH AS1428.1 AND THE ACCESS TO PREMISES - BUILDINGS STANDARD

BOUNDARY	
EASEMENT	
GRID	
SETOUT REFERENCE LINE	
FENCE TYPE 1	
FENCE TYPE 2	
UNDERGROUND POWER	
UNDERGROUND HIGH VOLTAGE	
UNDERGROUND STORMWATER	
UNDERGROUND SEWER	
UNDERGROUND WATER	
UNDERGROUND FIRE	
UNDERGROUND TELECOM	
UNDERGROUND FIBRE OPTIC	
UNDERGROUND GAS	
ROOF OVER	
ELEMENT, ABOVE	
ELEMENT, BELOW	
ELEMENT SPATIAL ALLOWANCE	
CLEARANCE ZONE	

ABBREVIATIONS

BAL-#	SELECTED PROPRIETARY BALUSTRADE
BC	BARGE CAPPING
BG	BOX GUTTER
BH	BULKHEAD
BOL#	SELECTED BOLLARD TYPE
BSN#	SELECTED BASIN TYPE
CPT#	SELECTED CARPET TYPE
CMF	MACHINE FLOAT FINISH CONCRETE
DM	DRAINED ENTRANCE MAT
DTE	DISTANCE TO EXIT
DTG	DISTANCE TO POINT OF CHOICE
DP	DOWNPIPE - REFER HYDRAULIC ENGINEER
EG	EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL	EXISTING GROUND LEVEL
FGL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FL	FLASHING
FM	FLOOR MAT
FRL	FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL	FINISHED SLAB LEVEL
FTF	SELECTED INTERIOR FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GRD	VEHICLE RATED GUARD RAIL
HC	HOSE COCK
HR-#	SELECTED HANDRAIL TYPE
PAR	PARAPET
RFF#	SELECTED INTERIOR RESILIENT FLOOR FINISH
RS-#	ROOF SYSTEM
RTWL	RETAINING WALL
SCN#	SELECTED SCREEN TYPE
SD	SPOON DRAIN
SH	SHED
SHR#	SELECTED SHOWER SUITE
SNK#	SELECTED SINK TYPE
TB-#	SELECTED INTERIOR TIMBER FLOOR BOARD
TGSI	TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP	TOP OF PARAPET
TOW	TOP OF WALL
WC-#	SELECTED TOILET SUITE
WS#	WHEEL STOP TYPE
XFT#	SELECTED EXTERIOR FLOOR TILE
XTB#	SELECTED EXTERIOR TIMBER FLOOR BOARD



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CONSTRUCTBOWEN HILLS
APARTMENTS

FOR
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R P
LOTS 32, 34, 58, AND 59 ON RP 9382
COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH



REVISION HISTORY

R	DATE	DESCRIPTION	BY
D	190902	EXTENT OF EXCAVATION UNDER SUBSTATION REDUCED	MJ
		FIRE STAIR 1 RECONFIGURED	MJ
E	191017	PRELIMINARY DOOR SCHEDULES	MJ
		COORDINATION	MJ
F	191107	PRELIMINARY GLAZING SCHEDULES	MJ
		COORDINATE TO TRAFFIC ENGINEER FEEDBACK	MJ
		COORDINATE TO SERVICES DESIGNS	Lzm
G	200203	BICYCLE PARKING UPDATED	MJ
		TILED FLOOR, PLASTER SOFFIT AND TILES TO LIFT SURROUND ADDED TO BASEMENT LIFT LOBBIES	JC
H	200204	RESPONSE TO TRAFFIC ENGINEER COMMENTS	LM

DRAWING DESCRIPTION

BASEMENT 02

GENERAL ARRANGEMENT
PLAN

DRAWING DETAILS

DRAWN	CHECKED	APPROVED
MJ	MJ	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE		REVISION DATE
1:100 @ A1		200204
PROJECT #	PHASE	DRAWING #
416-01 DD	2-011	H

PRELIMINARY
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- BOUNDARY
EASEMENT
GRID
SETOUT REFERENCE LINE
FENCE TYPE 1
FENCE TYPE 2
UNDERGROUND POWER
UNDERGROUND HIGH VOLTAGE
UNDERGROUND STORMWATER
UNDERGROUND SEWER
UNDERGROUND WATER
UNDERGROUND FIRE
UNDERGROUND TELECOM
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UNDERGROUND GAS
ROOF OVER
ELEMENT, ABOVE
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CLEARANCE ZONE

ABBREVIATIONS

- BAL-# SELECTED PROPRIETARY BALUSTRADE
BC BARGE CAPPING
BG BOX GUTTER
BH BULKHEAD
BOL# SELECTED BOLLARD TYPE
BSN# SELECTED BASIN TYPE
CPT# SELECTED CARPET TYPE
CMF MACHINE FLOAT FINISH CONCRETE
DM DRAINED ENTRANCE MAT
DTE DISTANCE TO EXIT
DTC DISTANCE TO POINT OF CHOICE
DP DOWNPIPE - REFER HYDRAULIC ENGINEER
EG EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL EXISTING GROUND LEVEL
FFL FINISHED FLOOR LEVEL
FGL FINISHED GROUND LEVEL
FL FLASHING
FM FLOOR MAT
FRL FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL FINISHED SLAB LEVEL
FTF SELECTED INTERIOR FLOOR TILE
FW FLOOR WASTE
GD GRATED DRAIN
GRD VEHICLE RATED GUARD RAIL
HC HOSE COCK
HR-# SELECTED HANDRAIL TYPE
PAR PARAPET
RFF# SELECTED INTERIOR RESILIENT FLOOR FINISH
RS-# ROOF SYSTEM
RTWL RETAINING WALL
SCN# SELECTED SCREEN TYPE
SD SPOON DRAIN
SH SHELF
SHR# SELECTED SHOWER SUITE
SNK# SELECTED SINK TYPE
TB-# SELECTED INTERIOR TIMBER FLOOR BOARD
TGS# TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP TOP OF PARAPET
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WC-# SELECTED TOILET SUITE
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COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH



REVISION HISTORY

R	DATE	DESCRIPTION	BY
D	190816	ADD HV CABLE ZONE	MJ
E	190902	ADD PUMP ROOM AREA UNDER SUBSTATION REVISED	MJ
F	191017	STRUCTURE AND SERVICES COORDINATION	MJ
G	191107	PRELIMINARY DOOR SCHEDULES PRELIMINARY GLAZING SCHEDULES COORDINATE TO TRAFFIC ENGINEER FEEDBACK	MJ
H	191212	COORDINATE TO SERVICES DESIGNS EDQ ACCESS PARKS NOMINATED	MJ
J	200203	TILED FLOOR, PLASTER SOFFIT AND TILES TO LIFT SURROUND ADDED TO BASEMENT LIFT LOBBIES	JC
K	200204	RESPONSE TO TRAFFIC ENGINEER COMMENTS	LM

DRAWING DESCRIPTION

BASEMENT 01

GENERAL ARRANGEMENT PLAN

DRAWING DETAILS

DRAWN	CHECKED	APPROVED
MJ	MJ	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE		REVISION DATE
1:100 @ A1		200204
PROJECT #	PHASE	DRAWING #
416-01 DD	2-021	K

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BOUNDARY EASEMENT

GRID

SETOUT REFERENCE LINE

FENCE TYPE 1

UNDERGROUND POWER

UNDERGROUND HIGH VOLTAGE

UNDERGROUND STORMWATER

UNDERGROUND SEWER

UNDERGROUND WATER

UNDERGROUND FIBRE OPTIC

UNDERGROUND GAS

ROOF, OVER

ELEMENT, ABOVE

ELEMENT, BELOW

ELEMENT SPATIAL ALLOWANCE

CLEARANCE ZONE

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BSN# SELECTED BASIN TYPE

CPT# SELECTED CARPET TYPE

CMF MACHINE FLOAT FINISH CONCRETE

DM DRAINED ENTRANCE MAT

DT DISTANCE TO EXT

DTF DISTANCE TO POINT OF CHOICE

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EG EAVES GUTTER - REFER HYDRAULIC ENGINEER

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FSL FINISHED SLAB LEVEL

FL FLASHING

FM FLOOR MAT

FRL FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS

FSL FINISHED SLAB LEVEL

FTF SELECTED INTERIOR FLOOR TILE

FW FLOOR WASTE

GD GRATED DRAIN

GRD VEHICLE RATED GUARD RAIL

HC HOSE COCK

HR-# SELECTED HANDRAIL TYPE

PAR PARAPET

RFF# SELECTED INTERIOR RESILIENT FLOOR FINISH

RS-# ROOF SYSTEM

RTWL RETAINING WALL

SCN# SELECTED SCREEN TYPE

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SH SHED

SHR# SELECTED SHOWER SUITE

SNK# SELECTED SINK TYPE

TB-# SELECTED INTERIOR TIMBER FLOOR BOARD

TGSI TACTILE GROUND SURFACE INDICATOR TO AS1428.4

TOP TOP OF PARAPET

TOW TOP OF WALL

WC-# SELECTED TOILET SUITE

WS# WHEEL STOP TYPE

XFT# SELECTED EXTERIOR FLOOR TILE

XTB# SELECTED EXTERIOR TIMBER FLOOR BOARD

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REVISION HISTORY

R	DATE	DESCRIPTION	BY
		PRELIMINARY DOOR SCHEDULES	MJ
		PRELIMINARY GLAZING SCHEDULES	MJ
H	191107	COORDINATE TO TRAFFIC ENGINEER FEEDBACK	MJ
		COORDINATE TO SERVICES DESIGNS	Lzm
		EDQ ACCESS PARKS NOMINATED	MJ
J	191212	REFUSE ROOMS AMENDED TO ELEPHANTS FOOT DESIGN	MJ
		REAR DOOR TO GYM ADDED	MJ
		DELETE DOOR G01-01	MJ
		REVISE FOOTPATH LEVELS	MJ
K	200203	FHR ADDED TO TENANCIES	MJ
		GLAZING UPDATED TO SUIT COUNTER OPENING	JC
L	200204	RESPONSE TO TRAFFIC ENGINEER COMMENTS	LM

DRAWING DESCRIPTION

GENERAL

GENERAL ARRANGEMENT
PLAN

DRAWING DETAILS

DRAWN	CHECKED	APPROVED
MJ	MJ	MJ
SCALEBAR, 1:100		
0 1m 2m 3m 4m 5m 6m 7m		
SCALE		REVISION DATE
1:100 @ A1		200204
PROJECT #	PHASE	DRAWING #
416-01 DD	2-031	L

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Commercial Outcomes | Solutions Focussed | Readily Accessible



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- FIRE PROTECTION NOTES**
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 2. CONSTRUCTION JOINTS IN FLOORS & WALLS MUST BE CONSTRUCTED TO MAINTAIN THE FIRE INTEGRITY OF THE PART TO THE UNDERSIDE OF ROOF SHEETING IN ACCORDANCE WITH NCC SECTION C3.16.
 3. ALL FIRE EGRESS DOORS MUST SWING IN THE FIRE EGRESS DIRECTION OF TRAVEL AND BE OPENABLE WITHOUT A KEY IN THE FIRE EGRESS DIRECTION OF TRAVEL.

- SAFE AND EQUAL ACCESS TO PREMISES NOTES**
1. CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS MUST BE PROVIDED, IN ACCORDANCE WITH AS1428.1, TO IDENTIFY ALL DISABLED ACCESS FACILITIES AND SERVICES.
 2. ALL PUBLICLY ACCESSIBLE STAIRS AND RAMP MUST BE IN ACCORDANCE WITH NCC SECTION D2 AND AS1428.1.
 3. GROUND SURFACE TACTILE INDICATORS IN ACCORDANCE WITH AS1428.4 MUST BE PROVIDED TO ALL PUBLICLY ACCESSIBLE RAMPS AND STAIRS.
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 6. AN ACCESS SAFETY SYSTEM IS REQUIRED TO ALL AREAS REQUIRING ACCESS FOR MAINTENANCE AND CLEANING WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE.

- LEGEND**
- FGL 0.000 NEW SURFACE RL TO AHD
 - EGL 0.000 EXISTING SURFACE RL TO AHD
 - FGL 0.000 NEW SPOT LEVEL TO AHD
 - EGL 0.000 EXISTING SPOT LEVEL TO AHD
 - FALL 1:50 SURFACE FALL LINE (DOWN)
 - 100 STEP SURFACE STEP MARKER (DOWN)
 - ELEVATION / SECTION MARKER
 - DETAIL REFERENCE MARKER
 - DOOR / WINDOW / LOUVER IDENTIFICATION MARKER

- ABBREVIATIONS**
- BAL-# SELECTED PROPRIETARY BALUSTRADE
 - BC BARGE CAPPING
 - BG BOX GUTTER
 - BH BULKHEAD
 - BOL-# SELECTED BOLLARD TYPE
 - BSN-# SELECTED BASIN TYPE
 - CPT-# SELECTED CARPET TYPE
 - CMF MACHINE FLOAT FINISH CONCRETE
 - DM DRAINED ENTRANCE MAT
 - DTE DISTANCE TO EXIT
 - DTC DISTANCE TO POINT OF CHOICE
 - DOWNPIPE - REFER HYDRAULIC ENGINEER
 - EAVES GUTTER - REFER HYDRAULIC ENGINEER
 - EGL EXISTING GROUND LEVEL
 - FLL FINISHED FLOOR LEVEL
 - FGL FINISHED GROUND LEVEL
 - FL FLASHING
 - FM FLOOR MAT
 - FRL FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
 - FSL FINISHED SLAB LEVEL
 - FTF SELECTED INTERIOR FLOOR TILE
 - FW FLOOR WASTE
 - GD GRATED DRAIN
 - GRD VEHICLE RATED GUARD RAIL
 - HC HOSE COCK
 - HR-# SELECTED HANDRAIL TYPE
 - PAR PARAPET
 - RFF-# SELECTED INTERIOR RESILIENT FLOOR FINISH
 - RS-# ROOF SYSTEM
 - RTWL RETAINING WALL
 - SCN-# SELECTED SCREEN TYPE
 - SD SPOON DRAIN
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 - SHR-# SELECTED SHOWER SUITE
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 - TGSI TACTILE GROUND SURFACE INDICATOR TO AS1428.4
 - TOP TOP OF PARAPET
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 - WS-# WHEEL STOP TYPE
 - WTF SELECTED EXTERIOR FLOOR TILE
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SOUTH CITY CONSTRUCT

**BOWEN HILLS
APARTMENTS**

FOR
SOUTH CITY CONSTRUCT
AT
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R P
LOTS 32, 34, 58, AND 59 ON RP 9382
COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH



REVISION HISTORY		
R	DATE	DESCRIPTION
B	190621	LIFT LOBBY CLEARANCE REDUCED TO 2m AND APARTMENT FLOOR PLATE MOVED EAST TO ACCOMMODATE TOWER CRANE
C	190725	STRUCTURAL COORDINATION TO SKETCH DATED 25-6-19
D	190816	ADD ISLAND BENCH TO KITCHEN IN UNIT TYPE 3
E	191017	MODIFY SERVICES CUPBOARDS
F	191107	STRUCTURE AND SERVICES COORDINATION
G	191108	PRELIMINARY DOOR SCHEDULES PRELIMINARY GLAZING SCHEDULES UPDATE BALCONY MEASURES

DRAWING DESCRIPTION

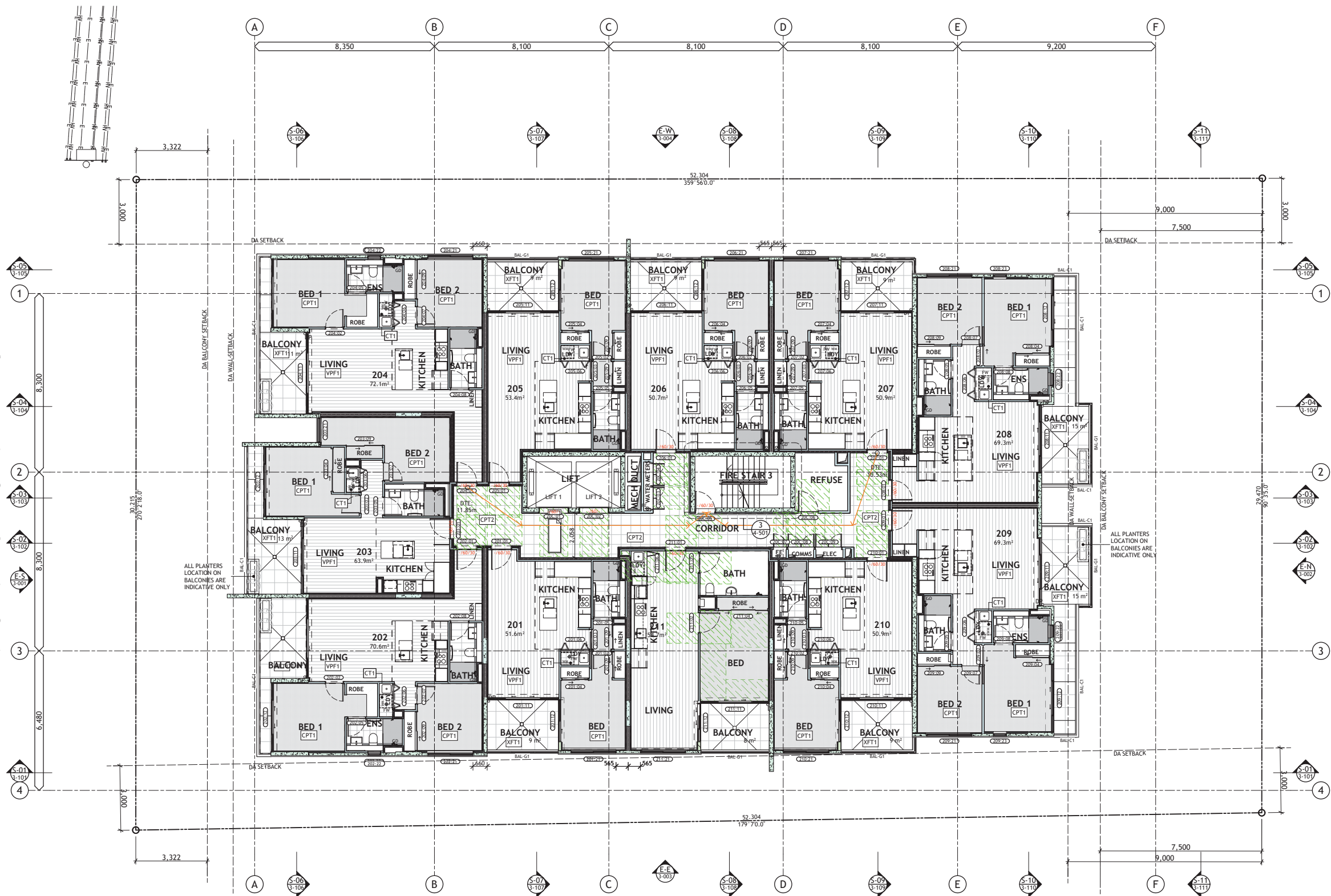
LEVEL 01 GENERAL ARRANGEMENT PLAN

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ		MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE		REVISION DATE
1:100 @ A1		191108
PROJECT #	PHASE	DRAWING #
416-01 DD	2-041	G

**PRELIMINARY
NOT FOR CONSTRUCTION**

Commercial Outcomes | Solutions Focussed | Readily Accessible

EDMONDSTONE ROAD



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/982
Date: 1 April 2020



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EQUITABLE PEDESTRIAN PATHWAY TRAVEL IN ACCORDANCE WITH AS1428.1 AND THE ACCESS TO PREMISES - BUILDINGS STANDARD

BOUNDARY EASEMENT GRID SETOUT REFERENCE LINE FENCE TYPE 1 FENCE TYPE 2 UNDERGROUND POWER UNDERGROUND HIGH VOLTAGE UNDERGROUND STORMWATER UNDERGROUND SEWER UNDERGROUND WATER UNDERGROUND FIRE UNDERGROUND TELECOM UNDERGROUND FIBRE OPTIC UNDERGROUND GAS ROOF OVER ELEMENT, ABOVE ELEMENT, BELOW ELEMENT SPATIAL ALLOWANCE CLEARANCE ZONE

ABBREVIATIONS

BAL-#	SELECTED PROPRIETARY BALUSTRADE
BC	BARGE CAPPING
BG	BOX GUTTER
BH	BULKHEAD
BOL#	SELECTED BOLLARD TYPE
BSN#	SELECTED BASIN TYPE
CPT#	SELECTED CARPET TYPE
CMF	MACHINE FLOAT FINISH CONCRETE
DM	DRAINED ENTRANCE MAT
DTE	DISTANCE TO EXIT
DTC	DISTANCE TO POINT OF CHOICE
DP	DOWNPIPE - REFER HYDRAULIC ENGINEER
EG	EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL	EXISTING GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FL	FLASHING
FM	FLOOR MAT
FRL	FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL	FINISHED SLAB LEVEL
FTF	SELECTED INTERIOR TIMBER FLOOR BOARD
FW	FLOOR WASTE
GD	GRATED DRAIN
GRD	VEHICLE RATED GUARD RAIL
HC	HOSE COCK
HR-#	SELECTED HANDRAIL TYPE
PAR	PARAPET
RFF#	SELECTED INTERIOR RESILIENT FLOOR FINISH
RS-#	ROOF SYSTEM
RTWL	RETAINING WALL
SCN#	SELECTED SCREEN TYPE
SD	SPOON DRAIN
SH	SHELF
SHR#	SELECTED SHOWER SUITE
SNK#	SELECTED SINK TYPE
TB-#	SELECTED INTERIOR TIMBER FLOOR BOARD
TGSI	TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP	TOP OF PARAPET
TOW	TOP OF WALL
WC-#	SELECTED TOILET SUITE
WS#	WHEEL STOP TYPE
XFT#	SELECTED EXTERIOR FLOOR TILE
XTB#	SELECTED EXTERIOR TIMBER FLOOR BOARD

PRELIMINARY
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PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH



REVISION HISTORY

R	DATE	DESCRIPTION	BY
B	190621	BALUSTRADE CHANGED TO POST-FIXED ALUMINIUM TO ACCOMMODATE PRESTON LOADING BAYS	MJ
C	190725	STRUCTURAL COORDINATION TO SKETCH DATED 25-6-19	MJ
D	190816	ADD ISLAND BENCH TO KITCHEN IN UNIT TYPE 3	MJ
E	191017	MODIFY SERVICES CUPBOARDS	MJ
F	191107	STRUCTURE AND SERVICES COORDINATION	MJ
G	191108	PRELIMINARY DOOR SCHEDULES PRELIMINARY GLAZING SCHEDULES UPDATE BALCONY MEASURES	MJ

DRAWING DESCRIPTION

**TYPICAL APARTMENT
LEVELS 2-4**

**GENERAL ARRANGEMENT
PLAN**

DRAWING DETAILS	CHECKED	APPROVED
DRAWN MJ		MJ
SCALEBAR, 1:100 @ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE 1:100 @ A1	REVISION DATE 191108	
PROJECT # 416-01 DD	PHASE 2-051	REVISION G

EDMONDSTONE ROAD

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/982

Date: 1 April 2020



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BOUNDARY
EASEMENT
GRID
SETOUT REFERENCE LINE
FENCE TYPE 1
FENCE TYPE 2
UNDERGROUND POWER
UNDERGROUND HIGH VOLTAGE
UNDERGROUND STORMWATER
UNDERGROUND SEWER
UNDERGROUND WATER
UNDERGROUND FIRE
UNDERGROUND TELECOM
UNDERGROUND FIBRE OPTIC
UNDERGROUND GAS
ROOF, OVER
ELEMENT, ABOVE
ELEMENT, BELOW
ELEMENT SPATIAL ALLOWANCE
CLEARANCE ZONE

ABBREVIATIONS

- BAL-# SELECTED PROPRIETARY BALUSTRADE
BC BARGE CAPPING
BG BOX GUTTER
BH BULKHEAD
BOL# SELECTED BOLLARD TYPE
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SURVEY NORTH DRAWING NORTH

DRAWING DESCRIPTION

TYPICAL APARTMENT

LEVELS 5-7

GENERAL ARRANGEMENT

PLAN

DRAWING DETAILS

DRAWN CHECKED APPROVED

MJ MJ

SCALEBAR, 1:100

@ A1 0 1m 2m 3m 4m 5m 6m 7m

SCALE

1:100 @ A1

REVISION DATE

191108

PROJECT # PHASE DRAWING # REVISION

416-01 DD 2-056 D

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVALApproval no: DEV2018/982
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 6. AN ACCESS SAFETY SYSTEM IS REQUIRED TO ALL AREAS REQUIRING ACCESS FOR MAINTENANCE AND CLEANING WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE.

- LEGEND**
- FGL 0.000 NEW SURFACE RL TO AHD
EGL 0.000 EXISTING SURFACE RL TO AHD
FGL 0.000 NEW SPOT LEVEL TO AHD
EGL 0.000 EXISTING SPOT LEVEL TO AHD
FALL 1:50 SURFACE FALL LINE (DOWN)
100 STEP SURFACE STEP MARKER (DOWN)
ELEVATION / SECTION MARKER
DETAIL REFERENCE MARKER
DOOR / WINDOW / LOUVER IDENTIFICATION MARKER

- EQUITABLE PEDESTRIAN PATHWAY TRAVEL IN ACCORDANCE WITH AS1428.1 AND THE ACCESS TO PREMISES - BUILDINGS STANDARD
- BOUNDARY EASEMENT GRID SETOUT REFERENCE LINE FENCE TYPE 1 FENCE TYPE 2 UNDERGROUND POWER UNDERGROUND HIGH VOLTAGE UNDERGROUND STORMWATER UNDERGROUND SEWER UNDERGROUND WATER UNDERGROUND FIRE UNDERGROUND TELECOM UNDERGROUND FIBRE OPTIC UNDERGROUND GAS ROOF OVER ELEMENT, ABOVE ELEMENT, BELOW ELEMENT SPATIAL ALLOWANCE CLEARANCE ZONE

- ABBREVIATIONS**
- BAL-# SELECTED PROPRIETARY BALUSTRADE
BC BARGE CAPPING
BG BOX GUTTER
BH BULKHEAD
BOL# SELECTED BOLLARD TYPE
BSN# SELECTED BASIN TYPE
CPT# SELECTED CARPET TYPE
CMF MACHINE FLOAT FINISH CONCRETE
DM DRAINED ENTRANCE MAT
DTE DISTANCE TO EXIT
DTC DISTANCE TO POINT OF CHOICE
DP DOWNPIPE - REFER HYDRAULIC ENGINEER
EG EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL EXISTING GROUND LEVEL
FGL FINISHED FLOOR LEVEL
FL FLASHING
FM FLOOR MAT
FRL FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL FINISHED SLAB LEVEL
FTF SELECTED INTERIOR FLOOR TILE
FW FLOOR WASTE
GD GRATED DRAIN
GRD VEHICLE RATED GUARD RAIL
HC HOSE COCK
HR-# SELECTED HANDRAIL TYPE
PAR PARAPET
RFF# SELECTED INTERIOR RESILIENT FLOOR FINISH
RS-# ROOF SYSTEM
RTWL RETAINING WALL
SCN# SELECTED SCREEN TYPE
SD SPOON DRAIN
SH SHELF
SHR# SELECTED SHOWER SUITE
SNK# SELECTED SINK TYPE
TB-# SELECTED INTERIOR TIMBER FLOOR BOARD
TGSJ TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP TOP OF PARAPET
TOW TOP OF WALL
WC-# SELECTED TOILET SUITE
WS# WHEEL STOP TYPE
XFT# SELECTED EXTERIOR FLOOR TILE
XTB# SELECTED EXTERIOR TIMBER FLOOR BOARD



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SOUTH CITY CONSTRUCT

**BOWEN HILLS
APARTMENTS**

FOR
SOUTH CITY CONSTRUCT
AT
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4006 AUSTRALIA
R P
LOTS 32, 34, 58, AND 59 ON RP 9382
COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH



REVISION HISTORY		
R	DATE	DESCRIPTION
A	190613	PRELIMINARY ISSUE FOR DISCUSSION
B	190621	LIFT LOBBY CLEARANCE REDUCED TO 2m AND APARTMENT FLOOR PLATE MOVED EAST TO ACCOMMODATE TOWER CRANE
C	190725	STRUCTURAL COORDINATION TO SKETCH DATED 25-6-19
D	190902	CIRCULATION THROUGHWAY ADDED WITH GATE ACCESS
E	191017	STRUCTURE AND SERVICES COORDINATION
F	191107	PRELIMINARY DOOR SCHEDULES
FF	191121	PRELIMINARY GLAZING SCHEDULES
		BBQ UPDATE

DRAWING DESCRIPTION LEVEL 08 GENERAL ARRANGEMENT PLAN

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MJ	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE	REVISION DATE	
1:100 @ A1	191121	
PROJECT #	PHASE	DRAWING #
416-01 DD	2-061	FF

**PRELIMINARY
NOT FOR CONSTRUCTION**

EDMONDSTONE ROAD

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/982
Date: 1 April 2020



- GENERAL NOTES**
1. ALL BUILDING WORK MUST COMPLY WITH THE BUILDING CODE OF AUSTRALIA, GOVERNMENT APPROVAL AUTHORITY CONDITIONS, ALL STATUTORY AUSTRALIAN STANDARDS AND ALL SPECIFIED AUSTRALIAN STANDARDS. CONFIRM ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. DO NOT SCALE FROM THIS DRAWING. REFER ANY DISCREPANCIES TO THE ARCHITECT.
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 4. THE BUILDER IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHING, CAPPING, COMPRESSIBLE SEALS, TANKING AND DAMP PROOF COURSE REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
 5. THE BUILDER IS RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PACKERS, STIFFENERS, NAIL PLATES AND SUPPORT MEMBERS REQUIRED TO FRAME AND CLAD THE BUILDING.
 6. THE BUILDER IS TO ALLOW TO PACK OUT WALLS AS REQUIRED TO ACHIEVE A FLUSH AND PLUMB FINISH.
 7. ALL GUTTER, DOWNPIPE, SUMP, RAINHEAD AND OVERFLOW SIZES AND DETAILS ARE TO HYDRAULIC ENGINEER'S DESIGN, AND SHOWN ON THESE DRAWINGS FOR CLARITY ONLY.

- FIRE PROTECTION NOTES**
1. ALL PENETRATIONS IN FIRE RATED FLOORS, WALLS OR CEILINGS ARE REQUIRED TO BE FIRE SEALED TO MAINTAIN THE INTEGRITY OF THAT PART, IN ACCORDANCE WITH NCC SECTIONS C3.12, C3.13 AND C3.15.
 2. CONSTRUCTION JOINTS IN FLOORS & WALLS MUST BE CONSTRUCTED TO MAINTAIN THE FIRE INTEGRITY OF THE PART TO THE UNDERSIDE OF ROOF SHEETING IN ACCORDANCE WITH NCC SECTION C3.16.
 3. ALL FIRE EGRESS DOORS MUST SWING IN THE FIRE EGRESS DIRECTION OF TRAVEL AND BE OPENABLE WITHOUT A KEY IN THE FIRE EGRESS DIRECTION OF TRAVEL.
- SAFE AND EQUAL ACCESS TO PREMISES NOTES**
1. CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS MUST BE PROVIDED, IN ACCORDANCE WITH AS1428.1, TO IDENTIFY ALL DISABLED ACCESS FACILITIES AND SERVICES.
 2. ALL PUBLICLY ACCESSIBLE STAIRS AND RAMPS MUST BE IN ACCORDANCE WITH NCC SECTION D AND AS1428.1.
 3. GROUND SURFACE TACTILE INDICATORS IN ACCORDANCE WITH AS1428.4 MUST BE PROVIDED TO ALL PUBLICLY ACCESSIBLE RAMPS AND STAIRS.
 4. MAINTENANCE ACCESS WALKWAYS, STAIRS AND LADDERS TO NON-PUBLICLY ACCESSIBLE PLANT AND EQUIPMENT AREAS ARE REQUIRED TO BE IN ACCORDANCE WITH AS1657.
 5. PUBLICLY ACCESSIBLE HANDRAILS AND BALUSTRADES MUST BE IN ACCORDANCE WITH NCC SECTIONS D2.16, D2.17 AND AS1428.1.
 6. AN ACCESS SAFETY SYSTEM IS REQUIRED TO ALL AREAS REQUIRING ACCESS FOR MAINTENANCE AND CLEANING WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE.

- LEGEND**
- FGL 0.000 NEW SURFACE RL TO AHD
EGL 0.000 EXISTING SURFACE RL TO AHD
FGL 0.000 NEW SPOT LEVEL TO AHD
EGL 0.000 EXISTING SPOT LEVEL TO AHD
FALL 1:50 SURFACE FALL LINEDOWN
100 STEP SURFACE STEP MARKER(DOWN)
ELEVATION/SECTION MARKER
DETAIL REFERENCE MARKER
DOOR / WINDOW / LOUVRE IDENTIFICATION MARKER

- EQUITABLE PEDESTRIAN PATH OF TRAVEL IN ACCORDANCE WITH AS1428.1 AND THE ACCESS TO PREMISES - BUILDINGS STANDARD
- BOUNDARY EASEMENT GRID
SETOUT REFERENCE LINE
FENCE TYPE 1
FENCE TYPE 2
UNDERGROUND POWER
UNDERGROUND HIGH VOLTAGE
UNDERGROUND STORMWATER
UNDERGROUND SEWER
UNDERGROUND WATER
UNDERGROUND FIRE
UNDERGROUND TELECOM
UNDERGROUND FIBRE OPTIC
UNDERGROUND GAS
ROOF OVER ELEMENT, ABOVE
ELEMENT, BELOW
ELEMENT SPATIAL ALLOWANCE
CLEARANCE ZONE

- ABBREVIATIONS**
- BAL-# SELECTED PROPRIETARY BALUSTRADE
BC BARGE CAPPING
BG BOX GUTTER
BH BULKHEAD
BOL# SELECTED BOLLARD TYPE
BSN# SELECTED BASIN TYPE
CPT# SELECTED CARPET TYPE
CMF MACHINE FLOAT FINISH CONCRETE
DM DRAINED ENTRANCE MAT
DTE DISTANCE TO EXIT
DTC DISTANCE TO POINT OF CHOICE
DP DOWNPIPE - REFER HYDRAULIC ENGINEER
EG EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL EXISTING GROUND LEVEL
FFL FINISHED FLOOR LEVEL
FGL FINISHED GROUND LEVEL
FL FLASHING
FM FLOOR MAT
FRL FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL FINISHED SLAB LEVEL
FTF SELECTED INTERIOR FLOOR TILE
FW FLOOR WASTE
GD GRATED DRAIN
GRD VEHICLE RATED GUARD RAIL
HC HOSE COCK
HR-# SELECTED HANDRAIL TYPE
PAR PARAPET
RFF# SELECTED INTERIOR RESILIENT FLOOR FINISH
RS-# ROOF SYSTEM
RTWL RETAINING WALL
SCN# SELECTED SCREEN TYPE
SD SPOON DRAIN
SH SHELF
SHR# SELECTED SHOWER SUITE
SNK# SELECTED SINK TYPE
TB-# SELECTED INTERIOR TIMBER FLOOR BOARD
TGSJ TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP TOP OF PARAPET
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WC-# SELECTED TOILET SUITE
WS# WHEEL STOP TYPE
XTF# SELECTED EXTERIOR FLOOR TILE
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SURVEY NORTH DRAWING NORTH



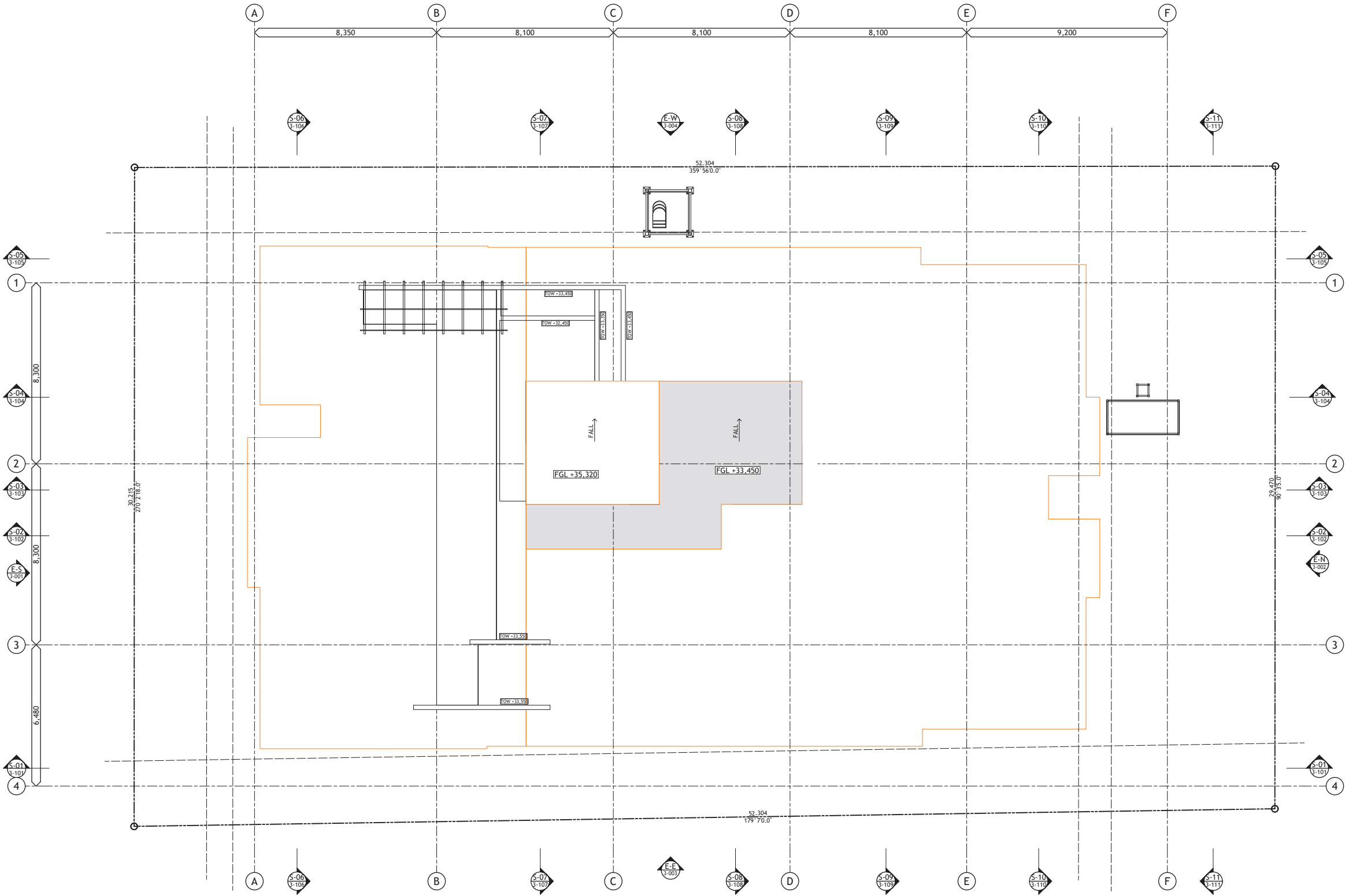
REVISION HISTORY		
R	DATE	DESCRIPTION
A	190725	PRELIMINARY ISSUE FOR DISCUSSION
B	191017	STRUCTURE AND SERVICES COORDINATION
C	191107	SHOW PERGOLA TO POOL DECK OVERHANG TO LIFT OVERRUN SLAB

DRAWING DESCRIPTION

**ROOF
GENERAL ARRANGEMENT
PLAN**

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE	REVISION DATE	
1:100 @ A1	191107	
PROJECT #	PHASE	DRAWING #
416-01 DD	2-071	C

EDMONDSTONE ROAD



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2018/982
Date: 1 April 2020



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 - THE BUILDER IS RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PACKERS, STIFFENERS, NAIL PLATES AND SUPPORT MEMBERS REQUIRED TO FRAME AND CLAD THE BUILDING.
 - ALL STRUCTURAL ELEMENT SIZES AND DETAILS ARE TO STRUCTURAL ENGINEERS DESIGN, AND SHOWN ON THESE DRAWINGS FOR COORDINATION AND SETOUT ONLY.
 - THE BUILDER IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHING, CAPPING, COMPRESSIBLE SEALS, TANKING AND DAMP PROOF COURSE REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
 - LOGISTICS EQUIPMENT SUCH AS CRANES, HOISTS AND LOADING BOATS ARE SHOWN FOR COORDINATION AND DISCUSSION. THE BUILDER MUST VERIFY ALL REQUIREMENTS FOR SUCH EQUIPMENT PRIOR TO INSTALLATION AND USE.

- LEGEND**
- FINISHED SURFACE HEIGHT IN RL TO AHD
 - BULK EXCAVATION LEVEL IN RL TO AHD
 - NEW SPOT LEVEL TO AHD
 - SURFACE FALL LINE (DOWN)
 - SURFACE STEP MARKER (DOWN)
 - ELEVATION/SECTION MARKER
 - DETAIL REFERENCE MARKER
 - BOUNDARY
 - EASEMENT
 - GRID
 - SETOUT REFERENCE LINE

- ABBREVIATIONS**
- CBF CONCRETE, BROOM FINISH
 - CBF# CONCRETE, BROOM FINISH & SELECTED HARDENER
 - CMF CONCRETE, MACHINE FLOAT FINISH
 - CST CONCRETE, STEEL TROWEL FINISH
 - CONC. CONCRETE, TO STRUCTURAL ENGINEERS REQ.
 - CSF CONCRETE, STEEL TROWEL FINISH
 - DP DOWNPIPE - REFER HYDRAULIC ENGINEER
 - EGL EXISTING GROUND LEVEL
 - FGL FINISHED GROUND LEVEL
 - FRL FIRE RESISTANCE LEVEL [REFER NCC]
 - FSL FINISHED SLAB LEVEL
 - FW FLOOR WASTE
 - GD GRATED DRAIN
 - GDO GRATED DRAIN OUTLET
 - GRD TRUCK RATED GUARD RAIL
 - GRND GROUND
 - HC HOSE COCK
 - HR# SELECTED HANDRAIL TYPE
 - LGZ LANDSCAPE GRASS ZONE
 - LPZ LANDSCAPE PLANTING ZONE
 - PAVK# SELECTED ARCHITECTURAL PAVEMENT FINISH
 - PAVK EXTERNAL CONCRETE PAVEMENT
 - PDO EXTERNAL PAVING KERB
 - PDW PLANTER DRAIN OUTLET
 - RW RETAINING WALL
 - SD SPOON DRAIN
 - TGSI TACTILE GROUND SURFACE INDICATOR TO AS1428.4
 - TOF TOP OF FOOTING
 - TOP TOP OF PARAPET
 - TOW TOP OF WALL



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COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH



REVISION HISTORY		
R	DATE	DESCRIPTION
A	190725	STRUCTURAL COORDINATION TO SKETCH DATED 25-6-19
B	191107	COORDINATE TO HERA STRUCTURAL DESIGN 191101

DRAWING DESCRIPTION
**ROOF
STRUCTURAL SETOUT
PLAN**

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE	REVISION DATE	
1:100 @ A1	191107	
PROJECT #	PHASE	DRAWING #
416-01	DD	2-072
		B

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/982

Date: 1 April 2020



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4. ALL EXISTING SERVICES SHOWN ARE TO BE LOCATED ON SITE BY THE BUILDER PRIOR TO EXCAVATION OR CONSTRUCTION. EXISTING SERVICES REPRESENTED ON DRAWINGS INDICATE APPROXIMATE POSITIONS ONLY. REFER TO SERVICES CONSULTANT DOCUMENTS FOR LOCATION AND EXTENT OF NEW SERVICES CONNECTIONS.
5. THE BUILDER IS RESPONSIBLE FOR THE WATERTIGHTNESS OF THE BUILDING AND MUST PROVIDE FLASHING, CAPPING, COMPRESSIBLE SEALS, TANKING AND DAMP PROOF COURSE REQUIRED TO PREVENT THE ENTRY OF MOISTURE INTO THE BUILDING.
6. DAMP PROOFING OF THE BUILDING IS REQUIRED IN ACCORDANCE WITH NCC SECTIONS F1.9, F1.10, AS2870, AS2904 AND AS3680.1
7. ALL WET AREAS THROUGHOUT THE BUILDING ARE REQUIRED TO BE IN ACCORDANCE WITH NCC SECTION F1.7, F1.11 AND AS3740.
8. THE BUILDER IS RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PACKERS, STIFFENERS, NAIL PLATES AND SUPPORT MEMBERS REQUIRED TO FRAME AND CLAD THE BUILDING.
9. THE BUILDER IS TO ALLOW TO PACK OUT WALLS AS REQUIRED TO ACHIEVE A FLUSH AND PLUMB FINISH
10. ALL OPERABLE WINDOWS ARE TO BE FITTED WITH RESTRICTORS ENSURING A MAXIMUM OPENING OF 120mm.
11. ALL GLAZING IS REQUIRED TO BE IN ACCORDANCE WITH NCC SECTION B1.4, AS2047 AND AS1288.
12. TILE SETOUT AND EXPANSION JOINT LOCATIONS ARE TO BE CONFIRMED ON SITE BY ARCHITECT
13. HANDRAILS AND BALUSTRADES ARE REQUIRED TO BE IN ACCORDANCE WITH NCC SECTIONS D2.16, D2.17 AND AS1428.1
14. ALL GUTTER, DOWNPIPE, SUMP AND OVERFLOW SIZES AND DETAILS ARE TO HYDRAULIC ENGINEER'S DESIGN, AND SHOWN ON THESE DRAWINGS FOR CLARITY ONLY.
15. ACCURACY OF SURVEY SHOWN IS THE RESPONSIBILITY OF THE REGISTERED SURVEYOR PROVIDING THE DOCUMENTATION.

GENERAL EXECUTION

1. INSPECT THE SITE CONDITIONS BEFORE START OF WORK ON SITE. BEFORE DELIVERY OF MATERIALS, ENSURE CONDITIONS ARE SATISFACTORY FOR INSTALLATION. START OF WORK MEANS TOTAL ACCEPTANCE OF CONDITIONS.
2. ARRANGE FOR COOPERATION OF OTHER TRADES. TAKE CARE OF MATERIALS. PREVENT DAMAGE BEFORE AND DURING INSTALLATION.
3. PREPARE SURFACES AFFECTED BY THE INSTALLATION OF A TRADE IN ACCORDANCE WITH MATERIAL MANUFACTURER'S INSTRUCTIONS.
4. COMPLY WITH APPROPRIATE AUSTRALIAN STANDARD. TAKE CARE OF AND PROTECT SURROUNDING WORK, INCLUDING OTHER FINISHES, EQUIPMENT AND COMPONENTS, DURING INSTALLATION. PROVIDE PROTECTIVE COVERING WHERE NECESSARY.
5. PROTECT FINISHED WORK. REPLACE OR MAKE GOOD WORK FOUND DAMAGED AT TIME OF PRACTICAL COMPLETION.
6. CLEAN THE SITE WHERE WORK OF THIS TRADE IS PERFORMED. REMOVE SURPLUS MATERIAL.
7. COMPLETED CONTRACTED WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS AND WRITTEN VARIATION ORDERS ISSUED BY THE ARCHITECT

LEGEND

	NEW SURFACE RL TO AHD
	EXISTING SURFACE RL TO AHD
	NEW SPOT LEVEL TO AHD
	EXISTING SPOT LEVEL TO AHD
	SURFACE FALL LINEDOWN
	SURFACE STEP MARKER(DOWN)
	FINISH CODE&DOCUMENT REFERENCE AND SYSTEM CODE&DOCUMENT REFERENCE
	ELEVATION/SECTION MARKER
	DETAIL REFERENCE MARKER
	DOOR / WINDOW / LOUVRE IDENTIFICATION MARKER
	TYPE AND DOCUMENT REFERENCE MARKER
	TYPE REFERENCE MARKER

ABBREVIATIONS

BAL-#	SELECTED PROPRIETARY BALUSTRADE
BC	BARGE CAPPING
BPFC	BRICK FORMAT PRECAST CONCRETE
BOL#	SELECTED BOLLARD TYPE
BSNF	SELECTED BASIN TYPE
DP	DOWNPIPE - REFER HYDRAULIC ENGINEER
EG	EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL	EXISTING GROUND LEVEL
FEL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FL	FLASHING
FRL	FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL	FINISHED SLAB LEVEL
GRD	VEHICLE RATED GUARD RAIL
HC	HOSE COCK
HR-#	SELECTED HANDRAIL TYPE
PAR	PARRAPET
RS-#	ROOF SYSTEM
RTWL	RETAINING WALL
SCNF	SELECTED SCREEN TYPE
SD	SPOON DRAIN
TGSI	TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP	TOP OF PARRAPET
TOW	TOP OF WALL
WC-#	SELECTED TOILET SUITE
XFT#	SELECTED EXTERIOR FLOOR TILE
XTB#	SELECTED EXTERIOR TIMBER FLOOR BOARD



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SURVEY NORTH DRAWING NORTH

REVISION HISTORY		
R	DATE	DESCRIPTION
A	190725	PRELIMINARY ISSUE FOR DISCUSSION
B	191017	STRUCTURE AND SERVICES COORDINATION
C	191107	PRELIMINARY GLAZING SCHEDULES COORDINATE TO HERA STRUCTURAL DESIGN 191101 ADD BALCONY OVERFLOWS ADD PELLICANO SIGNAGE

DRAWING DESCRIPTION

ELEVATIONS SOUTH

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE	REVISION DATE	
1:100 @ A1	191107	
PROJECT #	PHASE	DRAWING #
416-01 DD	3-001	C

PRELIMINARY
NOT FOR CONSTRUCTION

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/982
Date: 1 April 2020



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6. DAMP PROOFING OF THE BUILDING IS REQUIRED IN ACCORDANCE WITH NCC SECTIONS F1.9, F1.10, AS2870, AS2904 AND AS3680.1
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10. ALL OPERABLE WINDOWS ARE TO BE FITTED WITH RESTRICTORS ENSURING A MAXIMUM OPENING OF 120mm.
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12. TILE SETOUT AND EXPANSION JOINT LOCATIONS ARE TO BE CONFIRMED ON SITE BY ARCHITECT
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LEGEND

	NEW SURFACE RL TO AHD
	EXISTING SURFACE RL TO AHD
	NEW SPOT LEVEL TO AHD
	EXISTING SPOT LEVEL TO AHD
	SURFACE FALL LINEDOWN
	SURFACE STEP MARKER(DOWN)
	FINISH CODE&DOCUMENT REFERENCE AND SYSTEM CODE&DOCUMENT REFERENCE
	ELEVATION/SECTION MARKER
	DETAIL REFERENCE MARKER
	DOOR / WINDOW / LOUVRE IDENTIFICATION MARKER
	TYPE AND DOCUMENT REFERENCE MARKER
	TYPE REFERENCE MARKER

BOUNDARY
EASEMENT
GRID
SETOUT REFERENCE LINE

ABBREVIATIONS

BAL-#	SELECTED PROPRIETARY BALUSTRADE
BC	BARGE CAPPING
BFPC	BRICK FORMAT PRECAST CONCRETE
BOL#	SELECTED BOLLARD TYPE
BSNF	SELECTED BASIN TYPE
DP	DOWNPIPE - REFER HYDRAULIC ENGINEER
EG	EAVES GUTTER - REFER HYDRAULIC ENGINEER
EGL	EXISTING GROUND LEVEL
FEL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FL	FLASHING
FRL	FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
FSL	FINISHED SLAB LEVEL
GRD	VEHICLE RATED GUARD RAIL
HC	HOSE COCK
HR-#	SELECTED HANDRAIL TYPE
PAR	PARRAPET
RS-#	ROOF SYSTEM
RTWL	RETAINING WALL
SCNF	SELECTED SCREEN TYPE
SD	SPOON DRAIN
TGSI	TACTILE GROUND SURFACE INDICATOR TO AS1428.4
TOP	TOP OF PARRAPET
TOW	TOP OF WALL
WC-#	SELECTED TOILET SUITE
XFT#	SELECTED EXTERIOR FLOOR TILE
XTB#	SELECTED EXTERIOR TIMBER FLOOR BOARD

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ABN: 27 061 184 478

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SOUTH CITY CONSTRUCT

BOWEN HILLS APARTMENTS

FOR
SOUTH CITY CONSTRUCT
AT
6 EDMONDSTONE ROAD BOWEN HILLS QLD
4006 AUSTRALIA
R P
LOTS 32, 34, 58, AND 59 ON RP 9382
COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH

REVISION HISTORY		
R	DATE	DESCRIPTION
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		COORDINATE TO HERA STRUCTURAL DESIGN 191101
		ADD BALCONY OVERFLOWS
		ADD PELLICANO SIGNAGE

DRAWING DESCRIPTION

ELEVATIONS NORTH

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALE BAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE		
1:100 @ A1		
PROJECT #	PHASE	DRAWING #
416-01	DD	3-002
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[EGL 0.000] EXISTING SURFACE RL TO AHD
[FGL 0.000] NEW SPOT LEVEL TO AHD
[EGL 0.000] EXISTING SPOT LEVEL TO AHD
FALL 1:50 SURFACE FALL LINEDOWN
100 STEP SURFACE STEP MARKER(DOWN)
[CMF 0.313 0.300] FINISH CODE&DOCUMENT REFERENCE AND SYSTEM CODE&DOCUMENT REFERENCE
1-T-101 ELEVATION/SECTION MARKER
1-T-101 DETAIL REFERENCE MARKER
[GGL-333] DOOR / WINDOW / LOUVRE IDENTIFICATION MARKER
[HR-400] TYPE AND DOCUMENT REFERENCE MARKER
[WC-1] TYPE REFERENCE MARKER
- BOUNDARY EASEMENT GRID SETOUT REFERENCE LINE

ABBREVIATIONS

- BAL-# SELECTED PROPRIETARY BALUSTRADE
BC BARGE CAPPING
BFPC BRICK FORMAT PRECAST CONCRETE
BOL# SELECTED BOLLARD TYPE
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DP DOWNPIPE - REFER HYDRAULIC ENGINEER
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DRAWING DESCRIPTION

ELEVATIONS EAST

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MJ	MT	MJ
SCALEBAR, 1:100		
0 1m 2m 3m 4m 5m 6m 7m		
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416-01 DD	3-003	C

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Commercial Outcomes | Solutions Focussed | Readily Accessible

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	EXISTING SURFACE RL TO AHD
	NEW SPOT LEVEL TO AHD
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	SURFACE FALL LINEDOWN
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HC	HOSE COCK
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SURVEY NORTH DRAWING NORTH

REVISION HISTORY		
R	DATE	DESCRIPTION
A	190621	BALUSTRADE CHANGED TO POST-FIXED ALUMINIUM TO ACCOMMODATE PRESTON LOADING BAYS
B	190725	STRUCTURAL COORDINATION TO SKETCH DATED 25-6-19
C	191017	STRUCTURE AND SERVICES COORDINATION
D	191107	PRELIMINARY GLAZING SCHEDULES COORDINATE TO HERA STRUCTURAL DESIGN 191101 ADD BALCONY OVERFLOWS ADD PELLICANO SIGNAGE

DRAWING DESCRIPTION

ELEVATIONS WEST

DRAWING DETAILS

DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100		
@ A1 0 1m 2m 3m 4m 5m 6m 7m		
SCALE	REVISION DATE	
1:100 @ A1	191107	
PROJECT #	PHASE	DRAWING #
416-01	DD	3-004
		D

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Queensland
Government

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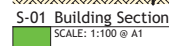
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AT
6 EDMONDSTONE ROAD BOWEN HILLS QLD
4006 AUSTRALIA
R P
LOTS 32, 34, 58, AND 59 ON RP 9382
COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

REVISION HISTORY			
R	DATE	DESCRIPTION	BY
A	190725	PRELIMINARY ISSUE FOR DISCUSSION	MJ
B	190816	ADD BRICK VENEER TO GROUND FLOOR	MJ
C	191017	STRUCTURE AND SERVICES COORDINATION	MJ
		PRELIMINARY GLAZING SCHEDULES	MJ
		COORDINATE TO HERA STRUCTURAL DESIGN 191101	L2M
D	191107	ADD BALCONY OVERFLOWS	EL
		ADD PELLICANO SIGNAGE	MJ

DRAWING DETAILS	
DRAWN	CHECKED
MJ	MT
SCALEBAR, 1:100	APPROVED
0 1m 2m 3m 4m 5m 6m 7m	MJ
SCALE	REVISION DATE
1:100 @ A1	191107
PROJECT #	REVISION
416-01	DD
3-101	D



FILE PATH: BIMcloud: Elvis - BIMcloud Basic for ARCHICAD 22/416-01 Bowen Hills/416-01 Bowen Hills Design Development Phase - LAST SAVED BY: - LAST SAVED AT: 6/11/2019 - COPYRIGHT © POWE ARCHITECTS PTY. LTD. Thursday, 7 November 2019. ALL RIGHTS RESERVED. THIS WORK IS COVERED BY COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS (GRAPHIC, ELECTRONIC, OR MECHANICAL INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF POWE ARCHITECTS PTY. LTD.. ANY LICENCE, EXPRESSED OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE WRITTEN AGREEMENT BETWEEN POWE ARCHITECTS PTY. LTD. AND THE INSTRUCTING PARTY.

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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/982
Date: 1 April 2020



- GENERAL NOTES**
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 10. ALL OPERABLE WINDOWS ARE TO BE FITTED WITH RESTRICTORS ENSURING A MAXIMUM OPENING OF 1200mm.
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 12. TILE SETOUT AND JOINT LOCATIONS ARE TO BE CONFIRMED ON SITE BY ARCHITECT.
 13. HANDRAILS AND BALUSTRADES ARE REQUIRED TO BE IN ACCORDANCE WITH NCC SECTIONS D2.16, D2.17 AND AS1428.1.
 14. ALL GUTTER, DOWNPIPE, SUMP AND OVERFLOW SIZES AND DETAILS ARE TO HYDRAULIC ENGINEER'S DESIGN, AND SHOWN ON THESE DRAWINGS FOR CLARITY ONLY.
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- LEGEND**
- [FGL 0,000] NEW SURFACE RL TO AHD
 - [EGL 0,000] EXISTING SURFACE RL TO AHD
 - [EGL 0,000] NEW SPOT LEVEL TO AHD
 - [EGL 0,000] EXISTING SPOT LEVEL TO AHD
 - [FALL 1:50] SURFACE FALL LINE/DOWN
 - [100 STEP] SURFACE STEP MARKER/DOWN
 - [CME 0-315 0-300] FINISH CODE/DRAWING REFERENCE AND SYSTEM CODE/DRAWING REFERENCE
 - [1/10] ELEVATION/SECTION MARKER
 - [1/10] DETAIL REFERENCE MARKER
 - [GDK-188] DOOR / WINDOW / LOUVER IDENTIFICATION MARKER
 - [HR-1 1/2] TYPE AND DOCUMENT REFERENCE MARKER
 - [WC-1] TYPE REFERENCE MARKER

- ABBREVIATIONS**
- BAL-# SELECTED PROPRIETARY BALUSTRADE
 - BC BARGE CAPPING
 - BFPC BRICK FORMAT PRECAST CONCRETE
 - BG BOX GUTTER
 - BH BULLHEAD
 - BOL# SELECTED BOLLARD TYPE
 - BSN# SELECTED BASIN TYPE
 - CPT# SELECTED CARPET TYPE
 - DM DRAINED ENTRANCE MAT
 - DP DOWNPIPE - REFER HYDRAULIC ENGINEER
 - EG EAVES GUTTER - REFER HYDRAULIC ENGINEER
 - EGL EXISTING GROUND LEVEL
 - FGL FINISHED FLOOR LEVEL
 - FL FINISHED GROUND LEVEL
 - FL FLASHING
 - FM FLOOR MAT
 - FRL FIRE RESISTANCE LEVEL, TO NCC REQUIREMENTS
 - FSL FINISHED SLAB LEVEL
 - FT# SELECTED INTERIOR FLOOR TILE
 - GD GRATED DRAIN
 - GRD VEHICLE RATED GUARD RAIL
 - HC HOSE COCK
 - HR-# SELECTED HANDRAIL TYPE
 - PAR PARRAPET
 - RFF# SELECTED INTERIOR RESILIENT FLOOR FINISH
 - RS-# ROOF SYSTEM
 - RTWL RETAINING WALL
 - SCN# SELECTED SCREEN TYPE
 - SD SPOON DRAIN
 - SH SHELF
 - TB-# SELECTED INTERIOR TIMBER FLOOR BOARD
 - TOP TOP OF PARAPET
 - TOW TOP OF WALL
 - XFT# SELECTED EXTERIOR FLOOR TILE
 - XTB# SELECTED EXTERIOR TIMBER FLOOR BOARD



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SOUTH CITY CONSTRUCT

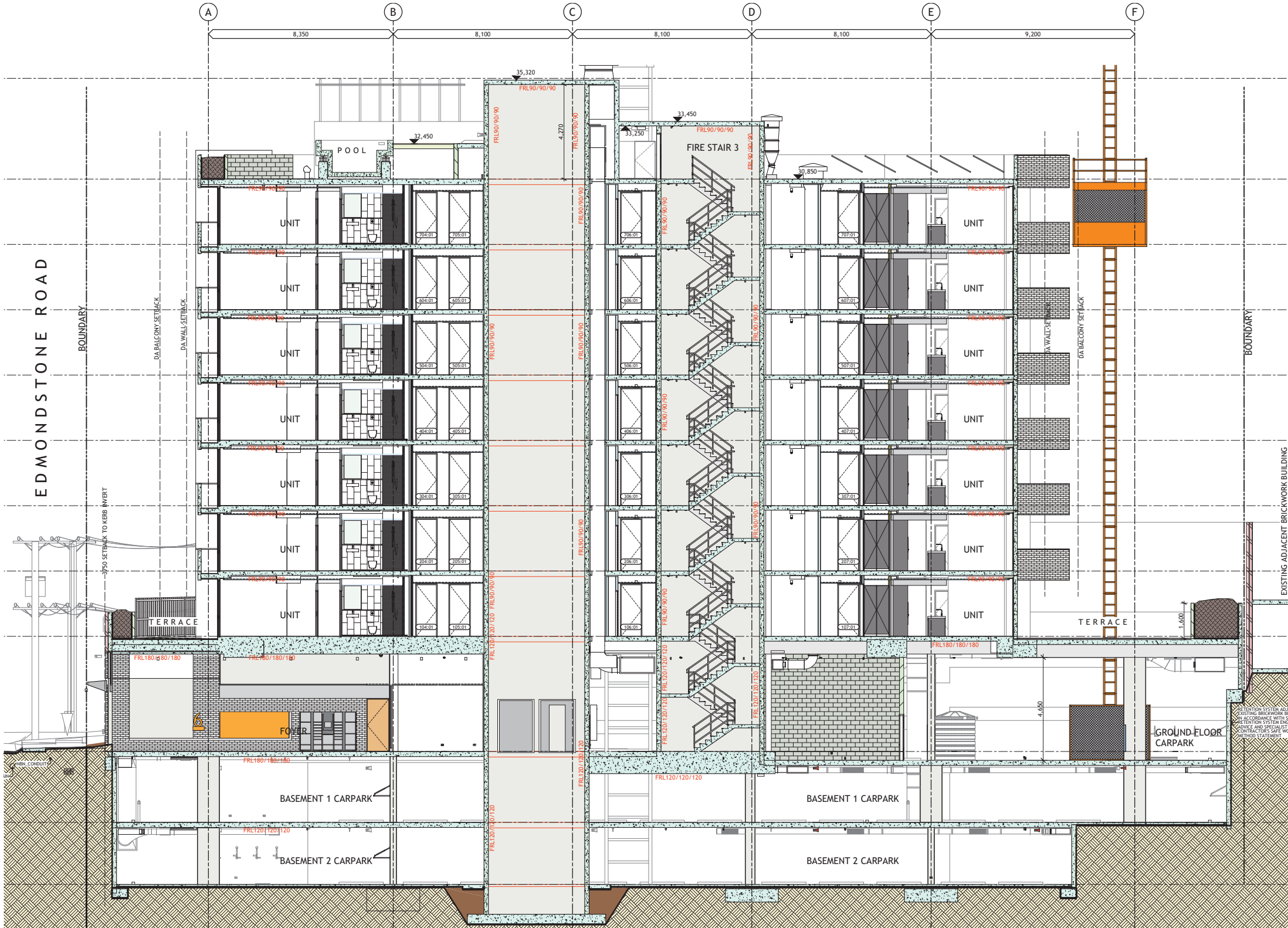
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APARTMENTS**
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COUNCIL OF BRISBANE CITY COUNCIL
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH

REVISION HISTORY		
R	DATE	DESCRIPTION
A	190613	PRELIMINARY ISSUE FOR DISCUSSION
B	190621	BALUSTRADE CHANGED TO POST-FIXED ALUMINIUM TO ACCOMMODATE ALIMAK HOIST
C	190725	STRUCTURAL COORDINATION TO SKETCH DATED 25-6-19
D	190816	ADD BRICK VENEER TO GROUND FLOOR
E	191017	STRUCTURE AND SERVICES COORDINATION
F	191107	PRELIMINARY GLAZING SCHEDULES COORDINATE TO HERA STRUCTURAL DESIGN 191101 ADD BALCONY OVERFLOWS ADD PELLICANO SIGNAGE

DRAWING DESCRIPTION SECTIONS SECTION 3

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100		
0 1m 2m 3m 4m 5m 6m 7m		
SCALE	REVISION DATE	
1:100 @ A1	191107	
PROJECT #	PHASE	DRAWING #
416-01	DD	3-103
		F



S-03 Building Section
SCALE: 1:100 @ A1

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2018/982

Date: 1 April 2020



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LEGEND

- LEVEL 5
- FGL 0,000 NEW SURFACE RL TO AHD
- EGL 0,000 EXISTING SURFACE RL TO AHD
- FGL 0,000 NEW SPOT LEVEL TO AHD
- EGL 0,000 EXISTING SPOT LEVEL TO AHD
- FALL 1:50 SURFACE FALL LINE(DOWN)
- 100 STEP SURFACE STEP MARKER(DOWN)
- CME 0-215 0-300 FINISH CODE/DRAWING REFERENCE AND SYSTEM CODE/DRAWING REFERENCE
- ELEVATION/SECTION MARKER
- DETAIL REFERENCE MARKER
- DOOR / WINDOW / LOUVER IDENTIFICATION MARKER
- TYPE AND DOCUMENT REFERENCE MARKER
- TYPE REFERENCE MARKER
- BOUNDARY EASEMENT GRID
- SETOUT REFERENCE LINE

ABBREVIATIONS

- BAL-# SELECTED PROPRIETARY BALUSTRADE
- BC BARGE CAPPING
- BPPC BRICK FORMAT PRECAST CONCRETE
- BG BOX GUTTER
- BH BULLHEAD
- BOL# SELECTED BOLLARD TYPE
- BSN# SELECTED BASIN TYPE
- CPT# SELECTED CARPET TYPE
- DM DRAINED ENTRANCE MAT
- DP DOWNPIPE - REFER HYDRAULIC ENGINEER
- EG EAVES GUTTER - REFER HYDRAULIC ENGINEER
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- GD GRATED DRAIN
- GRD VEHICLE RATED GUARD RAIL
- HC HOSE COCK
- HR-# SELECTED HANDRAIL TYPE
- PAR PARAPET
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- RS-# ROOF SYSTEM
- RTWL RETAINING WALL
- SCN# SELECTED SCREEN TYPE
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- SH SHELF
- TS-# SELECTED INTERIOR TIMBER FLOOR BOARD
- TOW TOP OF WALL
- XFT# SELECTED EXTERIOR TIMBER FLOOR BOARD

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SOUTH CITY CONSTRUCT

BOWEN HILLS APARTMENTS

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SURVEY NORTH DRAWING NORTH

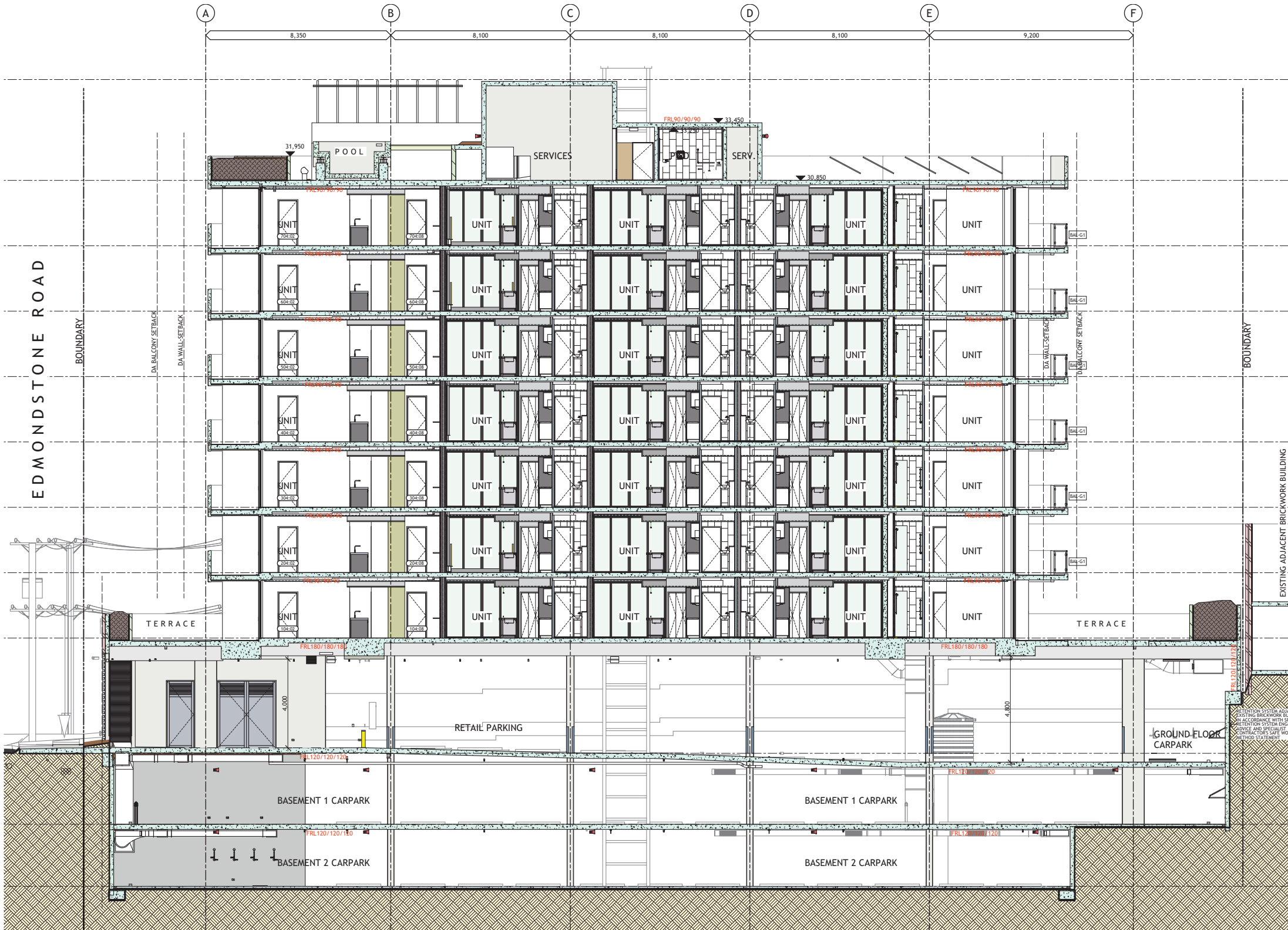
REVISION HISTORY		
R	DATE	DESCRIPTION
A	190725	PRELIMINARY ISSUE FOR DISCUSSION
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		PRELIMINARY GLAZING SCHEDULES
D	191107	COORDINATE TO HERA STRUCTURAL DESIGN 191101
		ADD BALCONY OVERFLOWS
		ADD PELLICANO SIGNAGE

DRAWING DESCRIPTION

SECTIONS SECTION 4

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100		
0 1m 2m 3m 4m 5m 6m 7m		
SCALE		
1:100 @ A1		
REVISION DATE		
191107		
PROJECT # PHASE DRAWING # REVISION		
416-01 DD 3-104 D		

PRELIMINARY
NOT FOR CONSTRUCTION



S-04 Building Section
SCALE: 1:100 @ A1

PLANS AND DOCUMENTS
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Approval no: DEV2018/982
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THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO POWE ARCHITECTS. DO NOT SCALE FROM THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY POWE ARCHITECTS MARKED "FOR CONSTRUCTION". POWE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, COMPATIBILITY AND COMPLETENESS OF DATA TRANSFERRED ELECTRONICALLY. THE RECIPIENT SHOULD, WHERE NECESSARY, REQUEST A HARDCOPY FOR VERIFICATION.

SOUTH CITY CONSTRUCT

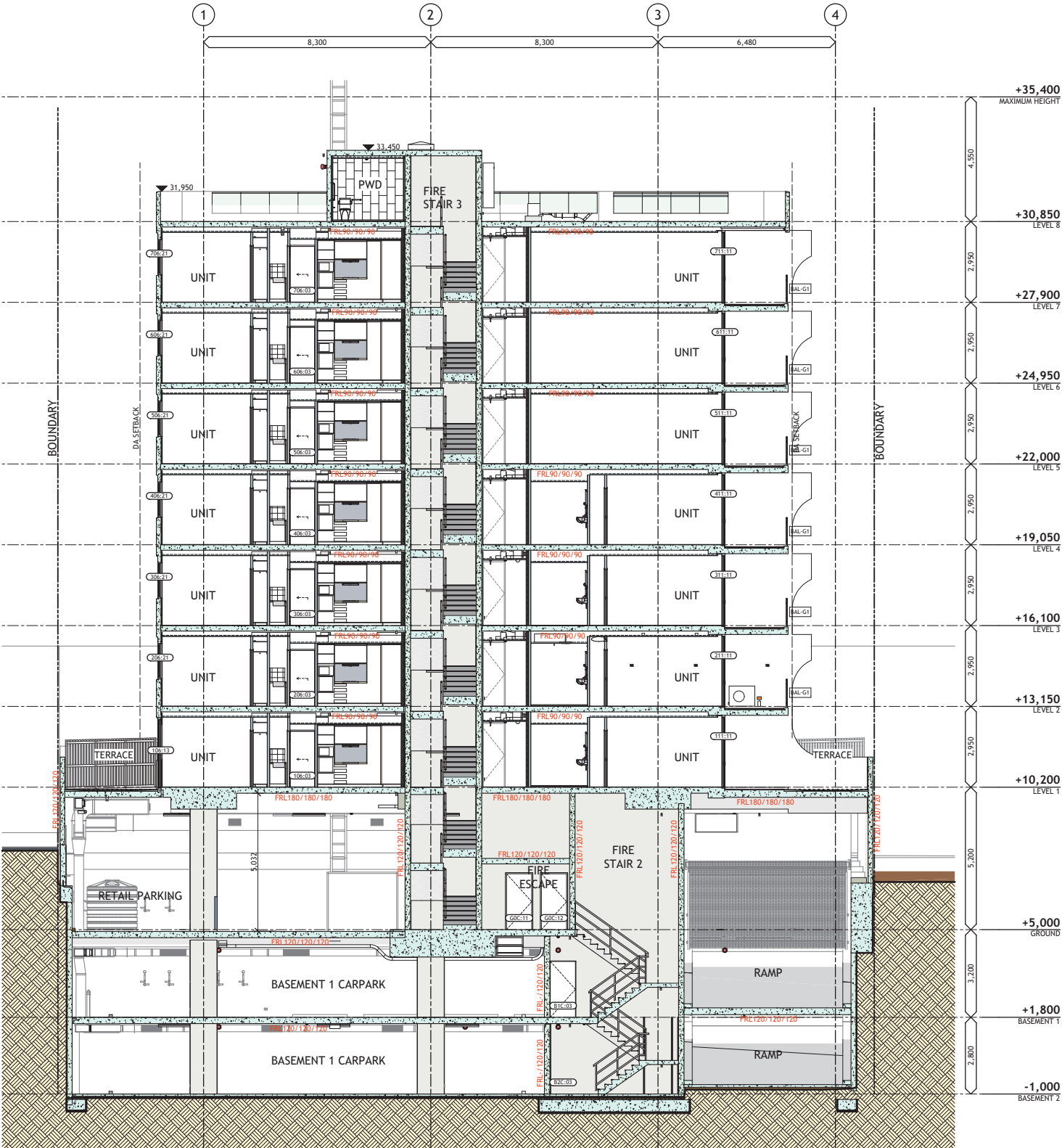
**BOWEN HILLS
APARTMENTS**
FOR
SOUTH CITY CONSTRUCT
AT
6 EDMONDSTONE ROAD BOWEN HILLS QLD
4006 AUSTRALIA
R P
LOTS 32, 34, 58, AND 59 ON RP 9382
COUNCIL OF BRISBANE CITY COUNCIL
COUNTY OF STANLEY
PARISH OF NORTH BRISBANE

SURVEY NORTH DRAWING NORTH

REVISION HISTORY		
R	DATE	DESCRIPTION
A	190725	PRELIMINARY ISSUE FOR DISCUSSION
B	191017	STRUCTURE AND SERVICES COORDINATION
C	191107	PRELIMINARY GLAZING SCHEDULES COORDINATE TO HERA STRUCTURAL DESIGN 191101 ADD BALCONY OVERFLOWS ADD PELLICANO SIGNAGE

DRAWING DESCRIPTION SECTIONS SECTION 8

DRAWING DETAILS		
DRAWN	CHECKED	APPROVED
MJ	MT	MJ
SCALEBAR, 1:100	0 1m 2m 3m 4m 5m 6m 7m	
SCALE	1:100 @ A1	REVISION DATE
PROJECT #	PHASE	DRAWING #
416-01 DD	3-108	C



S-08 Building Section
SCALE: 1:100 @ A1