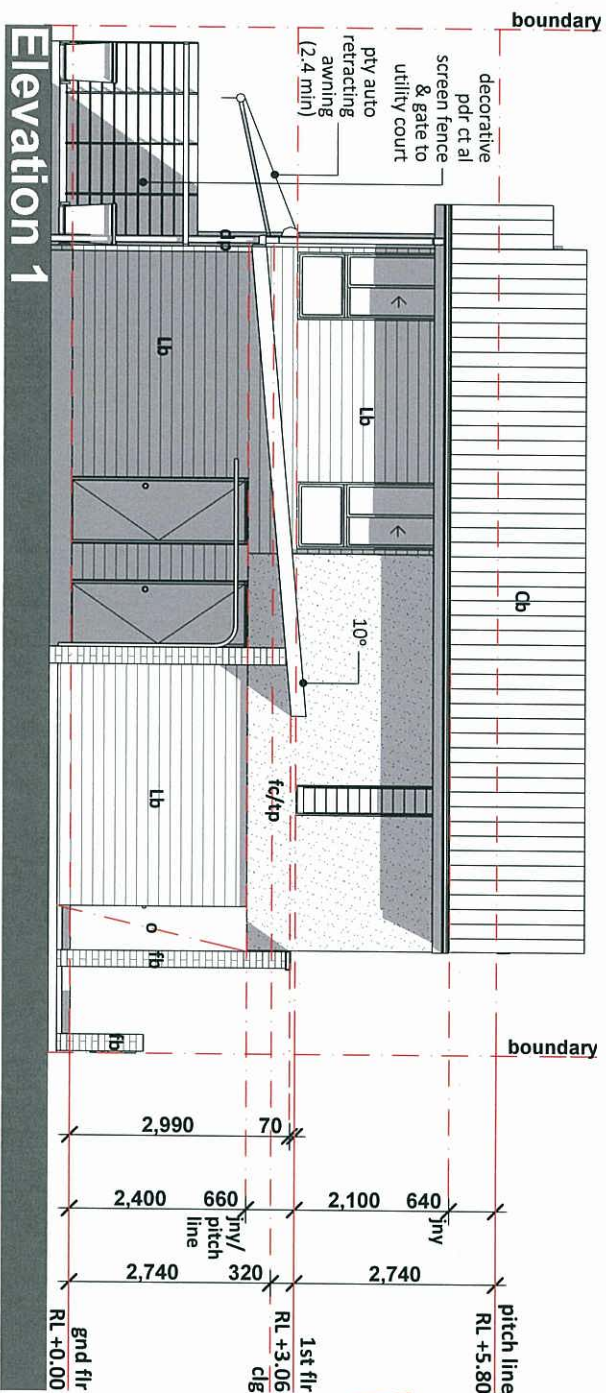
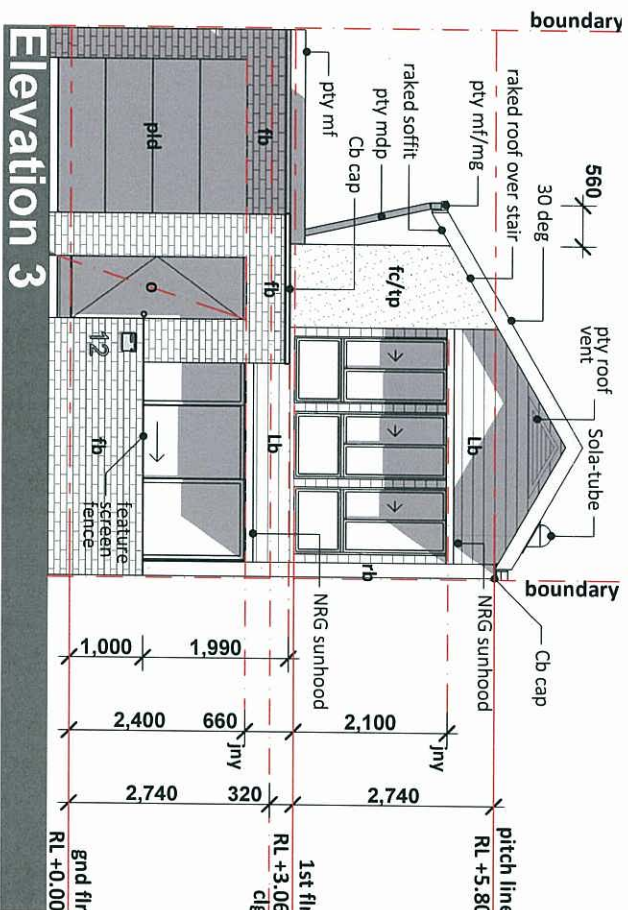
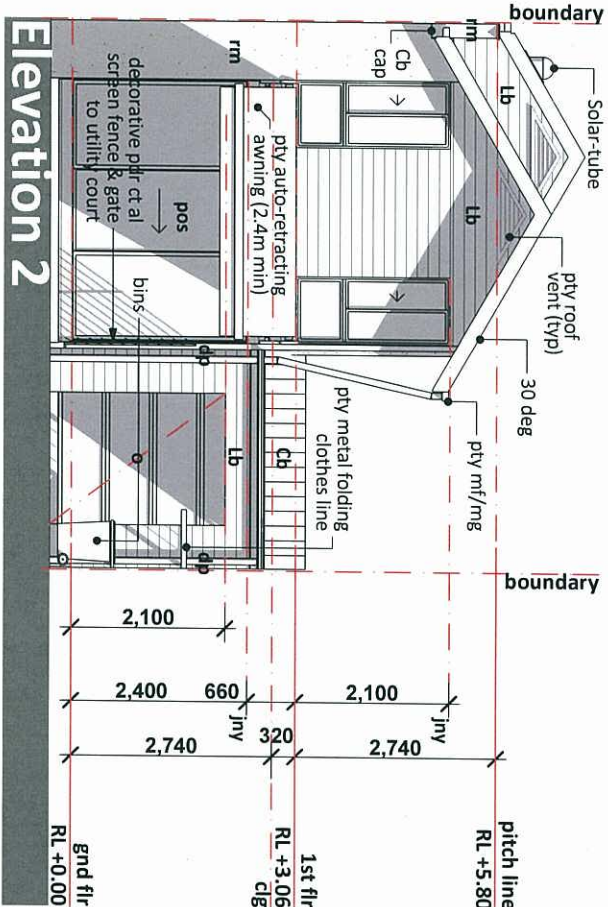
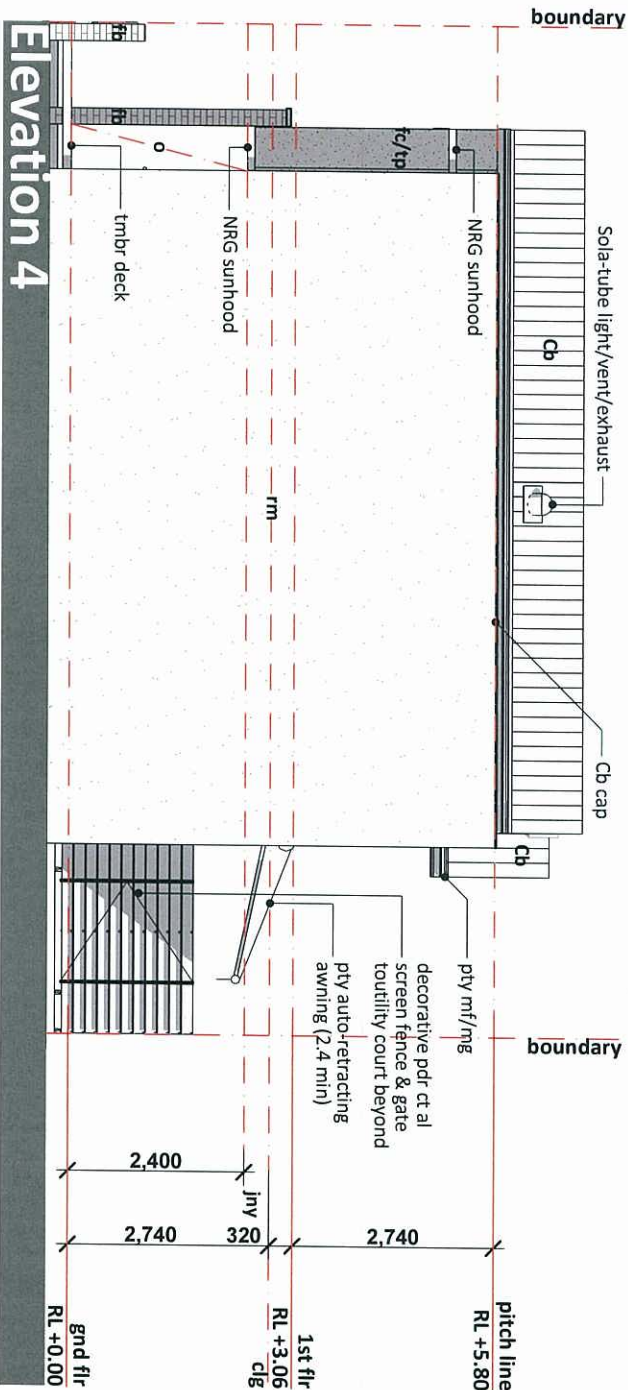




PLANS AND DOCUMENTS
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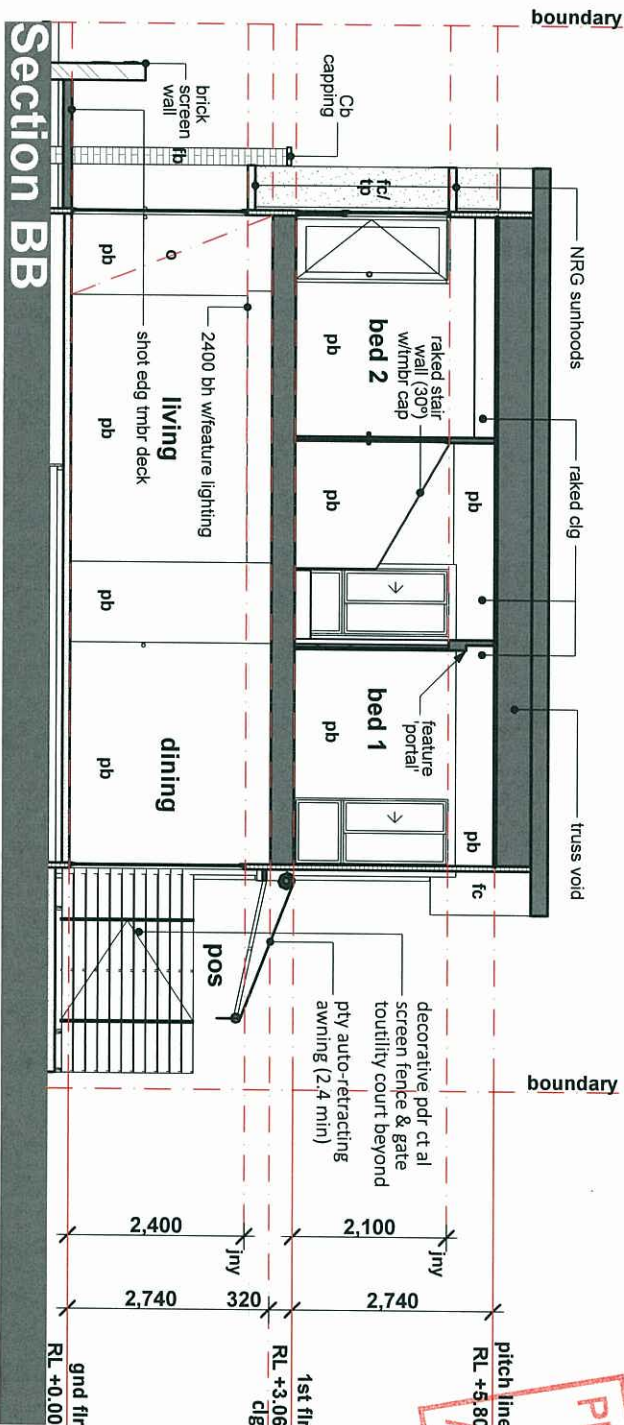
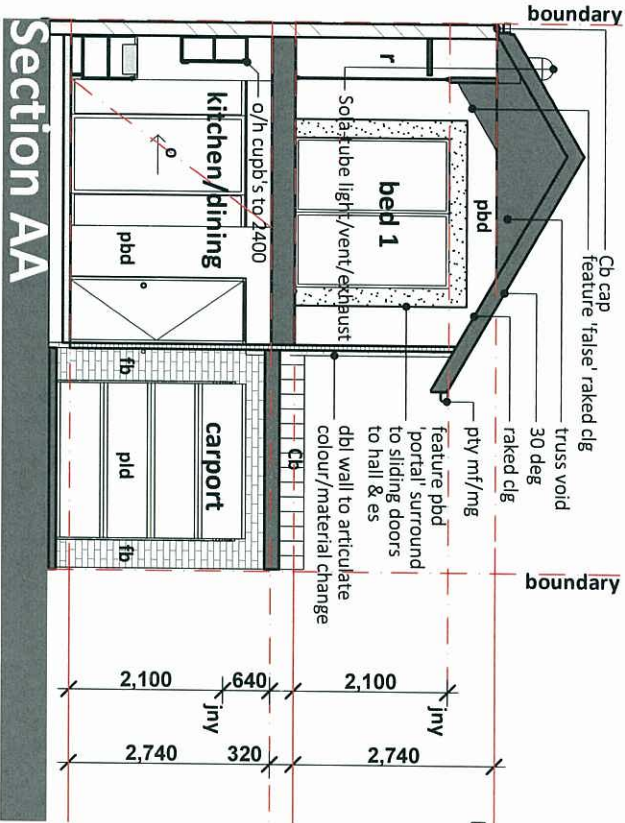
TYPE E1

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AMMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD



Hemphreys Design Collection		Status: DD	Date: 16/09/11
Client		Scale: 1:100	@ A3
Urban Land Development Authority		Drawing Title:	Drawn by: ad
Project Name		Elevations	
Lot 06 - Sprout Garden Terrace (E1)		Project No: UL0009	Drawing No: DD 03.01





PLANS AND DOCUMENTS
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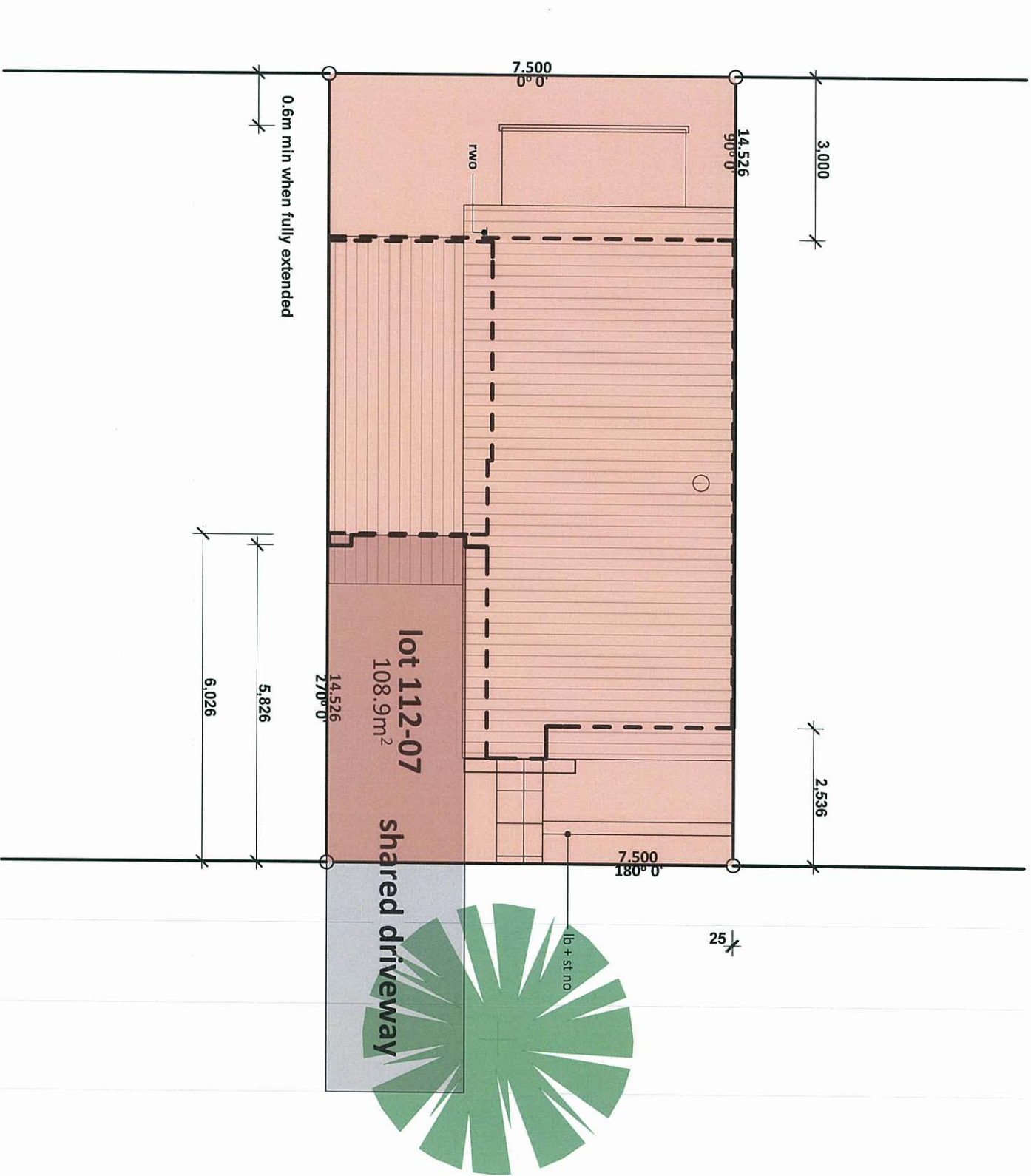
This plan may not be photocopied without the express written authority of the Urban Land Development Authority. The drawing is a preliminary drawing and the drawing remains in the ownership and control of the ULDA unless express written permission has been granted otherwise.
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The Builder is responsible for the site verification of all dimensions.
Figures dimensions, base precedences over scaled values.
DO NOT SCALE DRAWINGS.

AMMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD



Honeycomb Design Collection		Status: DD	Date: 16/09/11
Client Urban Land Development Authority		Scale: 1:100 @ A3	Drawn by: ad
Project Name Lot 06 - Sprout Garden Terrace (E1)		Drawing Title: Sections	
Project No.: UL0009		Project No.: 112-06 A	Drawing No.: DD 04.01

TYPE E1



PLANS AND DOCUMENTS
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APPROVAL dated 20/6 /12

AMENDED IN RED
19 JUN 2012
By: Kmcgill (name)
of the ULDA

Not part of this approval

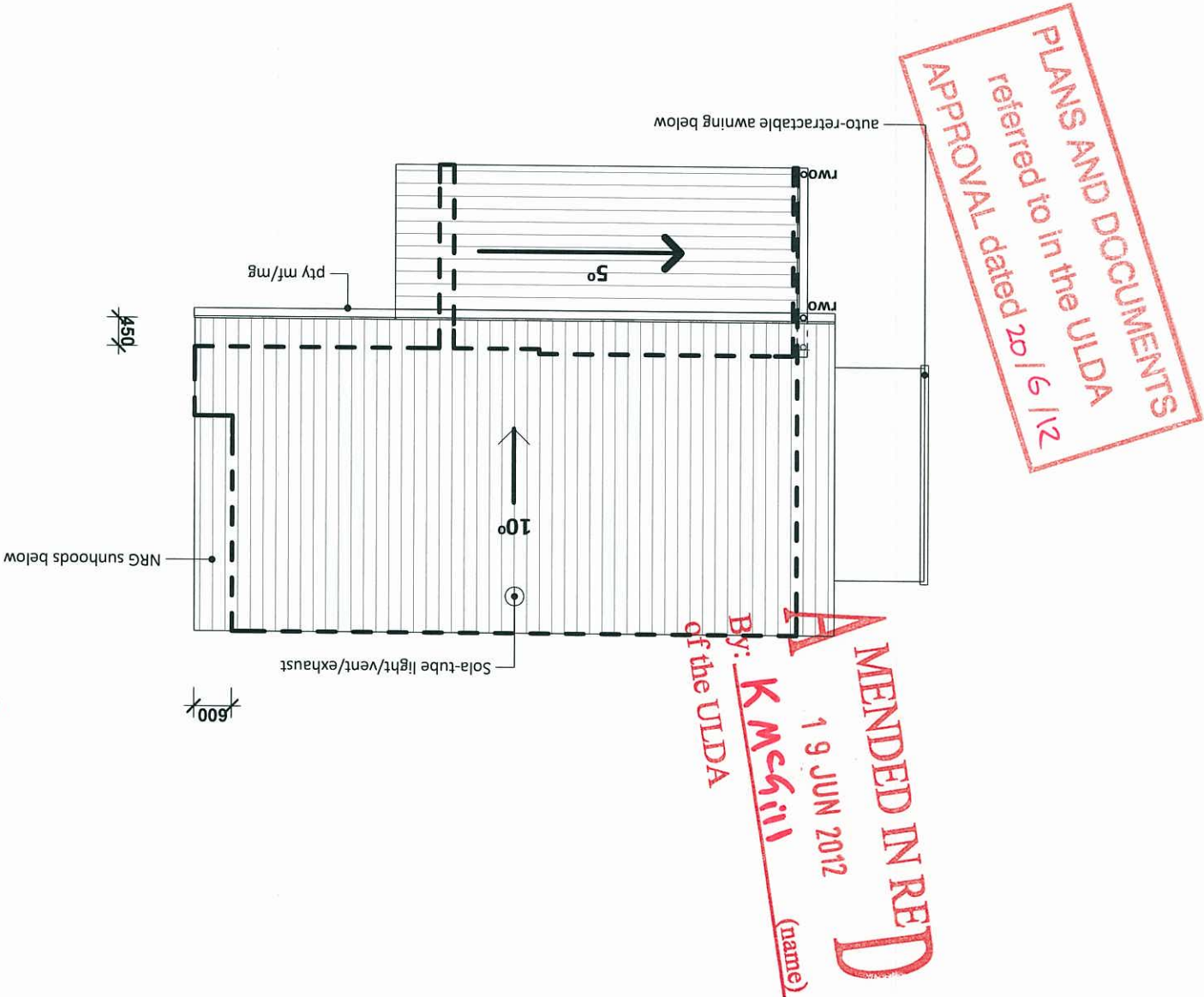
TYPE E2

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AMMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD
Ground Floor		First Floor	
internal area	40.1 m²	internal area	40.7 m²
carport	17.0 m²	balcony	
pos	13.2 m²	sub-total	40.7 m²
sub-total	57.1 m²		
GFA	80.7 m²		
cover area	57.1 m²		
Client Hemegreem Design Collective Urban Land Development Authority		Status: DD Scale: 1:100 @ A3 Date: 16/09/11 Drawn by: ad	
Project Name Lot 07 - Sprout Garden Terrace (E2)		Drawing Title: Site & Location Plan Project No.: UL009 Drawing No.: DD 01.01	

degenhart
SHEDD

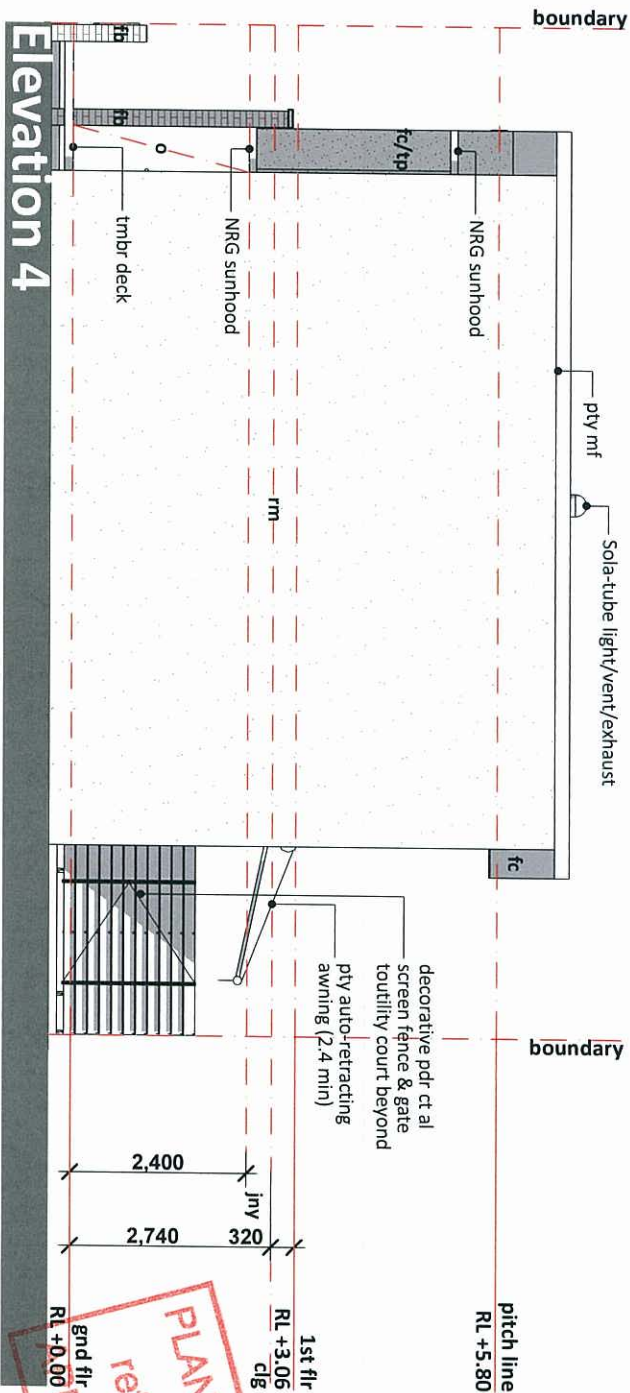
ac	air conditioner	mb	meter box
adcm	aust'n domestic constr'n manual	mf	selected pty metal fascia
ag	agricultural drain	mg	selected pty metal gutter
aj	articulated joint	mpr	multi-purpose room
al	selected finish aluminium	n	nominal
as	australian standards	n	nominal
aw	top hung awning window	n	north
b	basin	nom	nominal
ba	building approval assessment	nrg	pty.greenboard cladding
bb	brick band	ns	natural surface
bdy	boundary	ns	natural surface level
bfd	bi-fold door	o	open
bh	bulkhead	obs	obscure glazing
blk	blockwork	oh	overhead and/or overhang
bkm	basin mixer	omp	outer most projection
bkr	brickwork	pb	painted brick
bs	bar sink	pc	parapet capping
bs	basin spout	pdr	powder room
bt	bath tub	pf	painted finish
bv	brick veneer	ptc	parallel flange channel
cb	Colorbond finished metal	ph	pitching height
ch	ceiling height	pld	auto panel lift door
chs	circular hollow section	pos	private open space
cl	centreline	ps	plumbing stack
clg	ceiling	ptry	pantry
cp	control panel	pty	proprietary
cpd	cupboard	r	robe
csd	cavity sliding door	ra	return air vent
ct	concrete tile roof	rb	rubbish bin
d	dryer	rd	roller door
dc	drying court	ref	refrigerator
dn	down	rh	rangehood
dp	down pipe	rl	relative level
dw	dishwasher	rm	rendered masonry
dwr	drawer	rsr	riser
ej	expansion joint	rwo + s	rain water outlet
ens	ensuite	rwt	rain water tank
ent	entry	s	south
ep	Enerdex pillar	sa	smoke detector alarm
eq	equal	sc	self closing
fb	face brick	sd	soap dish
fbl	face block	se	sewer
fc	fibre cement	sf	stone finish
fc/p	fibre cement painted	sgd	sliding glass door
fcu	fan coil unit	shr	shower
fg	fixed glazing	shs	square hollow section
fgr	floor	sl	self locking
fim	face masonry	sm	shower mixer
fml	fire resistance level	smd	smoke detector
tsl	floor surface level	sp	survey plan
fw	floor waste	sr	shower rose
gar	garage	st	solar tube skylight/vent
gl	glass louvre window	stc	sound transmission class
gnd	ground	sv	stone veneer
gnf	good neighbour style tmbr fence	sw	sliding window or storm water
gp	gully pit yard drain	t	laundry tub
gpd	glass panel door	tc	texture coating
hc	hose cock	tmbr	timber
hmpr	square arch hamper	tp	treated pine
hp	hotplates	tr	towel rail / ring
ht	height	trh	toilet roll holder
hw	hard wood	tv	timber veneer
hws	hot water service	typ	typical
hwu	hot water unit	ubo	under bench oven
kd	kiln dried	uno	unless noted otherwise
ks	kitchen sink	upvc	unplasticised poly vinyl chloride
lb	letterbox	wb	weatherboard
ld	leaf diverter	wc	water closet/toilet
ldg	landng	wir	walk in robe
ldy	laundry	wm	washing machine
lin	linen	wo	wall oven

Legend

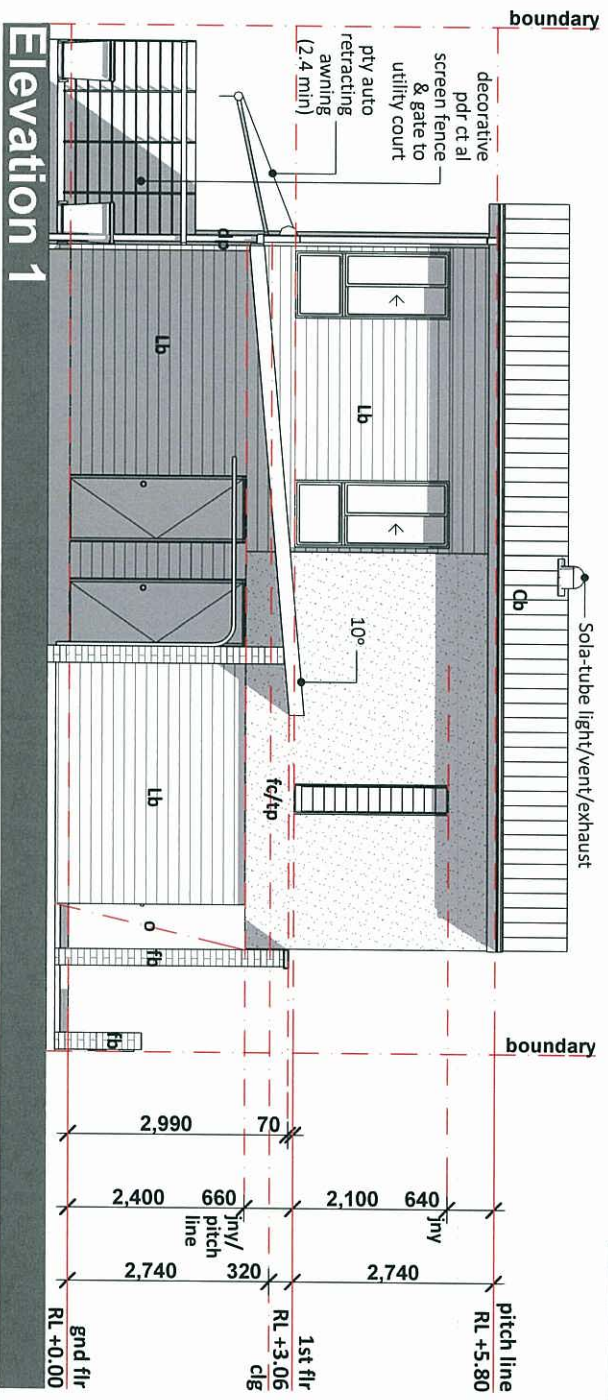
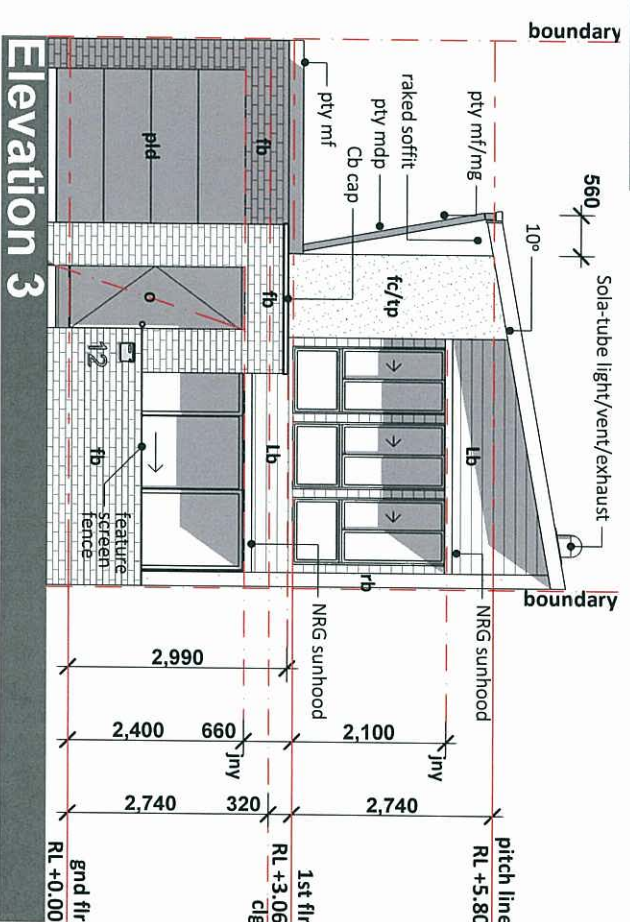
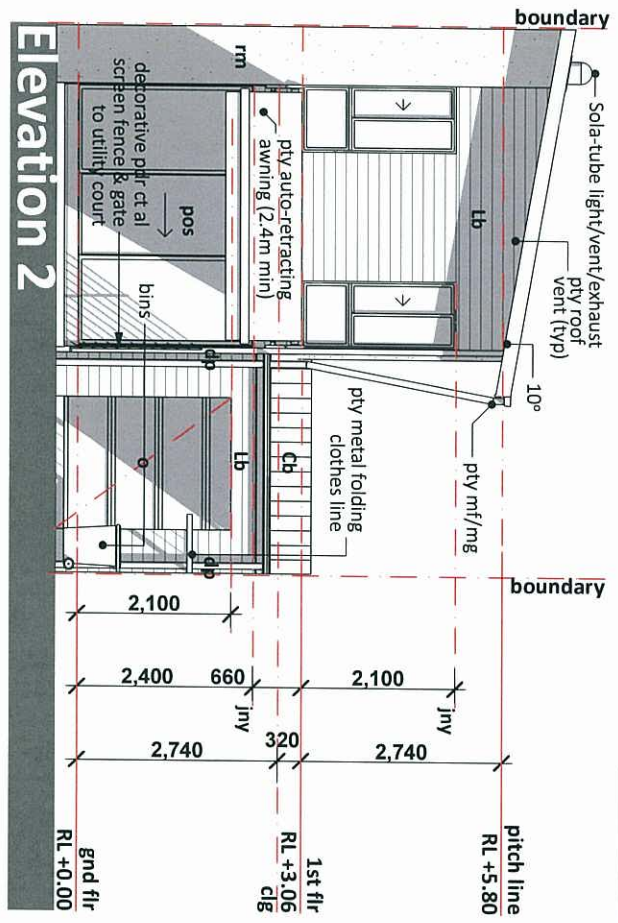


TYPE E2

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AMMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD
			
			
Client		Status: DD	Date: 16/09/11
Urban Land Development Authority		Scale: 1:100 @ A3	Drawn by: ad
Project Name		Drawing Title: Roof Plan & Legend	
Lot 07 - Sprout Garden Terrace (E2)		Project No.: UL009	Drawing No.: DD 02.02



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TYPE E2

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Consent and other data shown on this drawing have been derived from a combination of sub-consultant drawings obtained in digital format.

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The Builder is responsible for the site verification of all dimensions. Figures shown on this drawing are scaled values.

DO NOT SCALE DRAWINGS.

AMMENDMENTS

A	16/09/11	Issued for Builder's Pricing	ad	AD



Honeybeam Design Collection

Client
Urban Land Development Authority

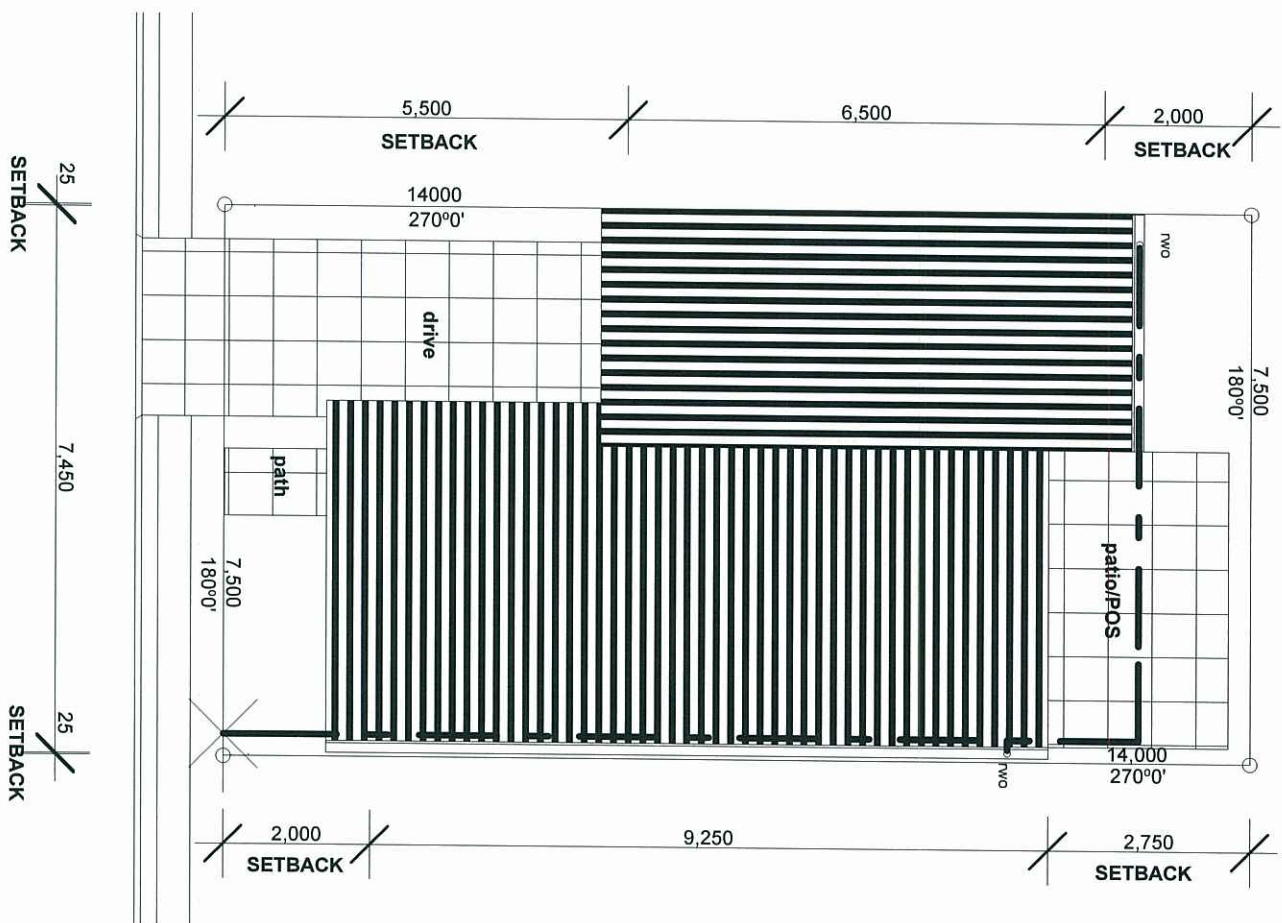
Project Name
Lot 07 - Sprout Garden Terrace (E2)

Status: DD
Scale: 1:100 @ A3
Drawing Title:
Elevations

Date: 16/09/11
Drawn by: ad

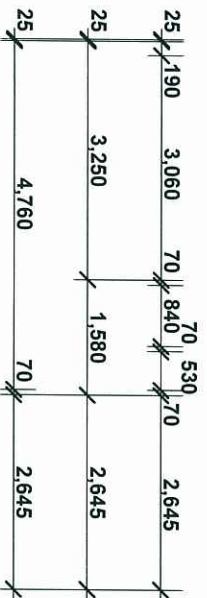
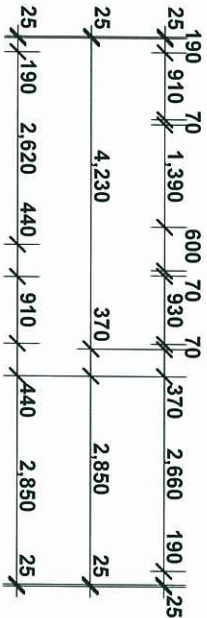
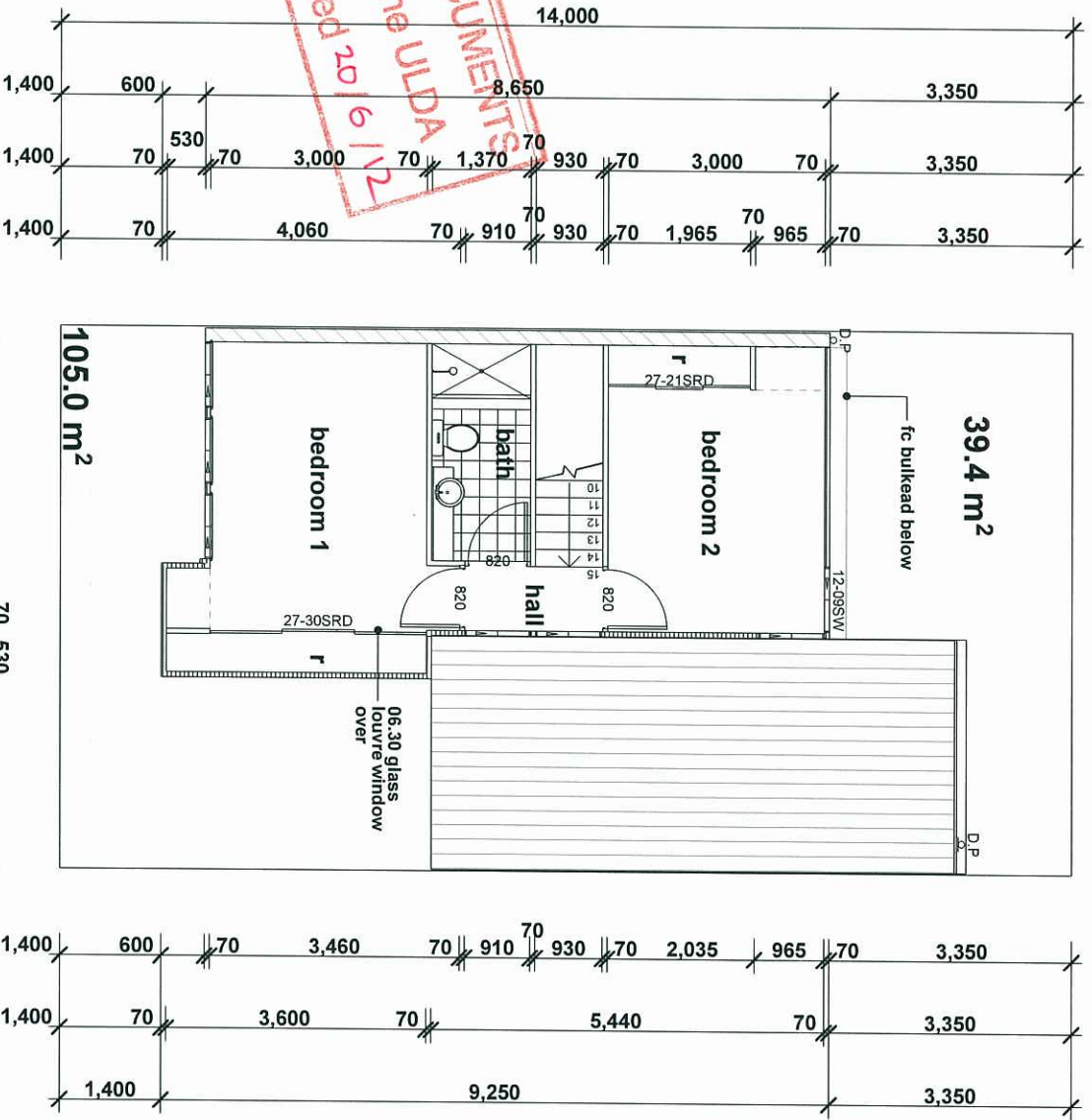
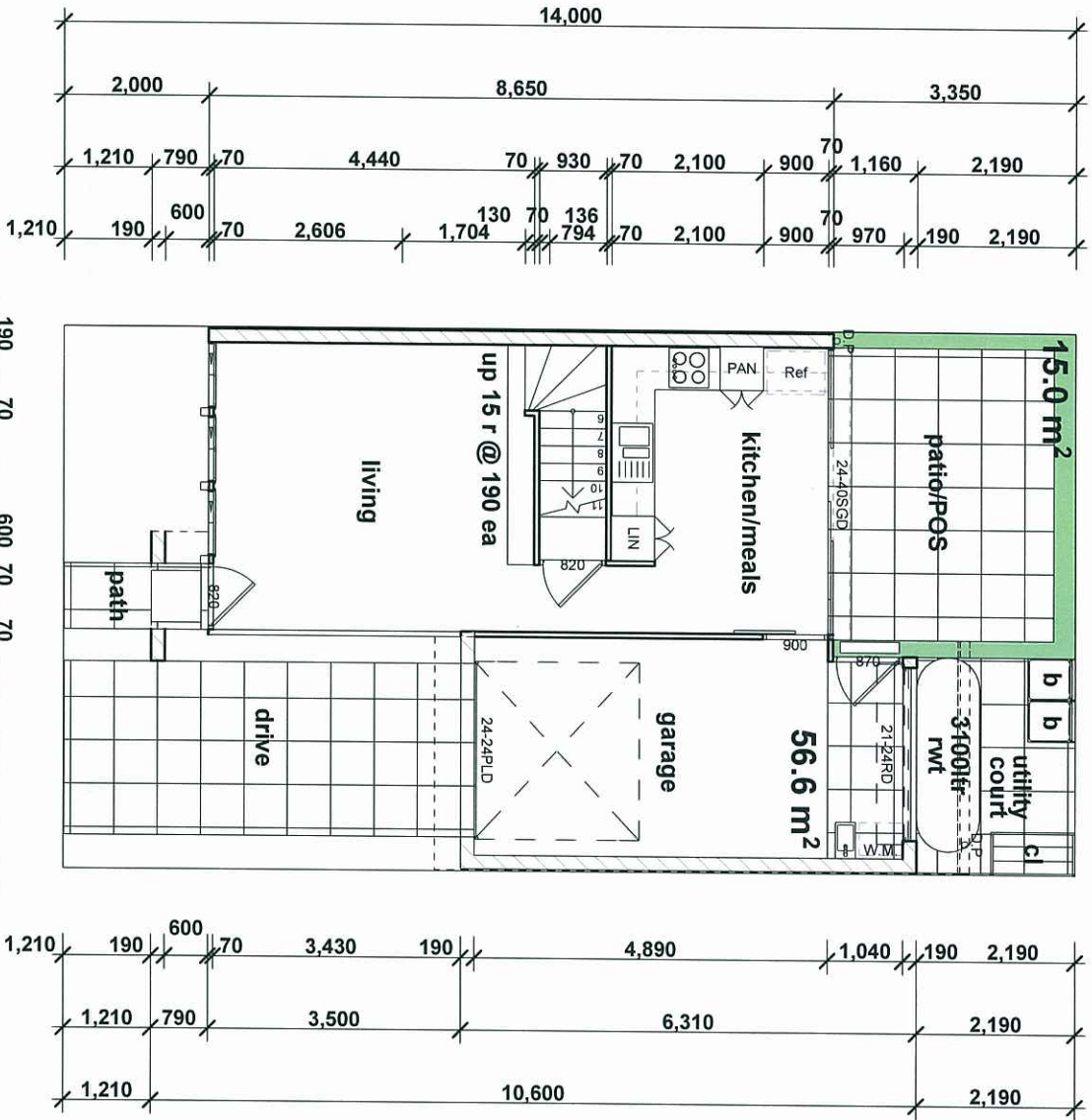
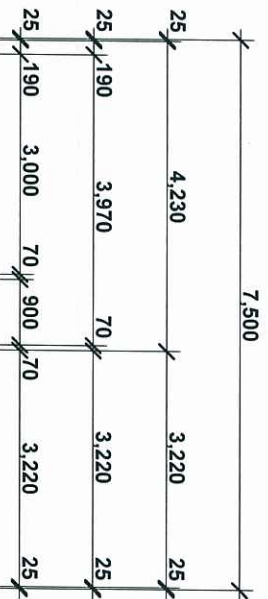
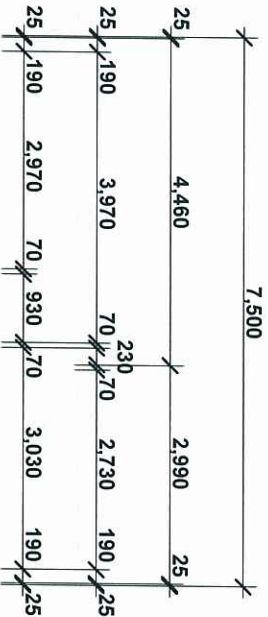
Project No.: UL0009
Drawing No.: DD 03.01





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[illegible]



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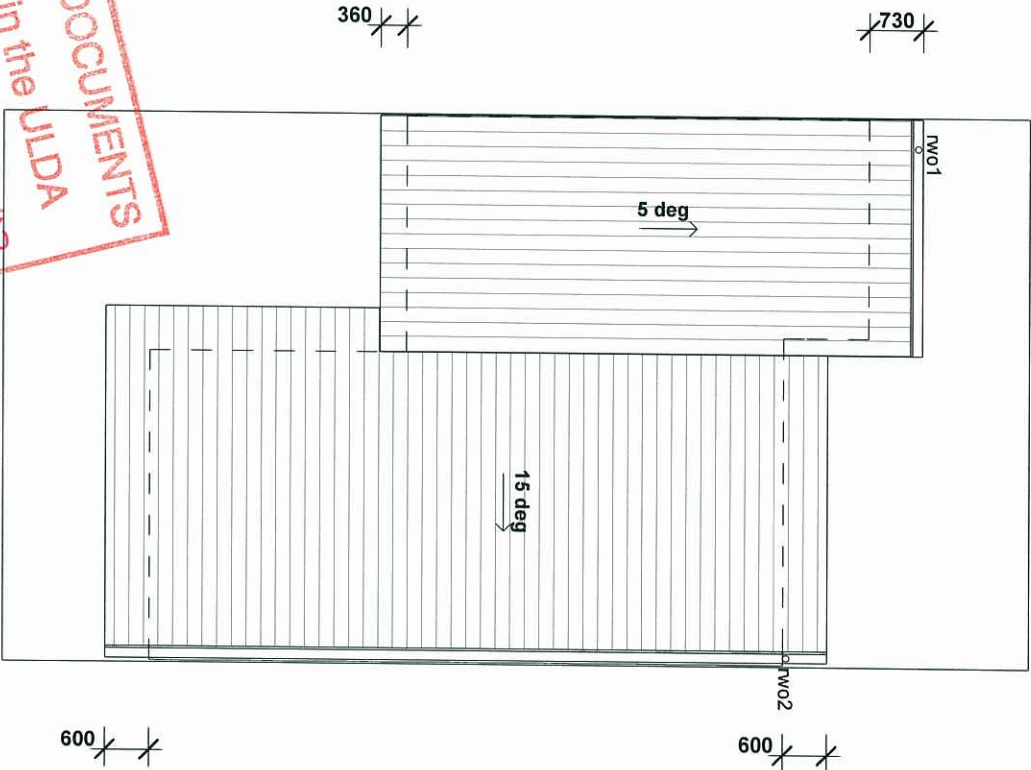
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Covenants and other laws of the state and this drawing have been derived from a combination of site-specific drawings obtained in official records. This drawing was prepared for the purpose and exclusive use of our Client. It is not to be used for any other purpose or for any other person or corporation. Design: degenhart Pty Ltd accepts no responsibility for loss or damage caused to any person who may rely on this drawing for any purpose for which it was not intended. The Builder is responsible for the verification of all dimensions. Figure dimensions take precedence over scaled values. DO NOT SCALE DRAWINGS.			
AMMENDMENTS		LEGEND/ NOTES	
A		dd/mm/yy	
Issue for		XX AD	
Client		StatusDD	
Urban Land Development Authority		Scale: 1:100 @ A3	
Project Name		Drawing Title:	
Seeding Terraces		Floor Plans	
Project No.:		Drawing No.:	
ULD009 B		DD 02.01	
Date:23 August 2011		Drawn by: AD	

TYPE E3

Legend

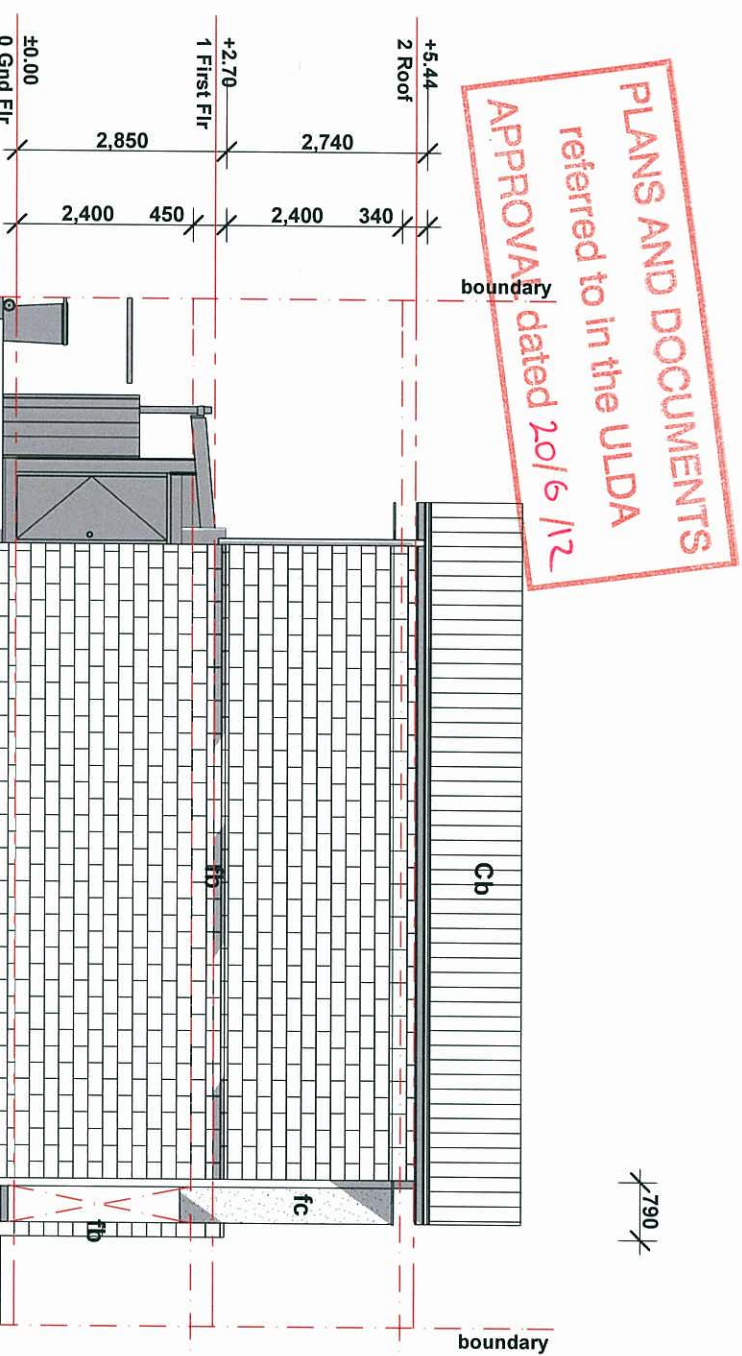
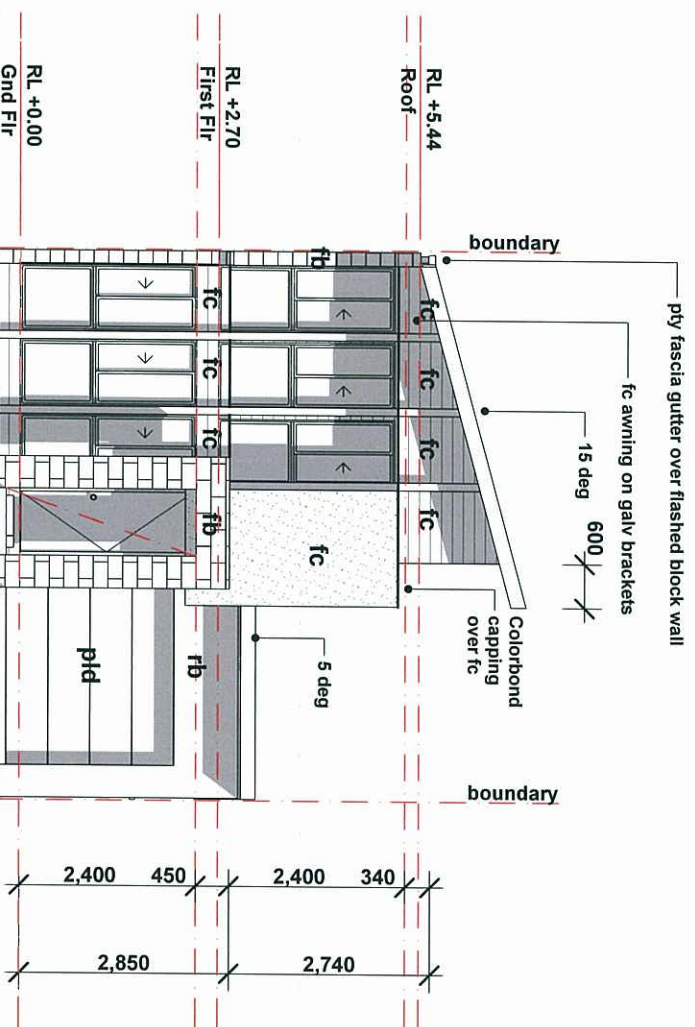
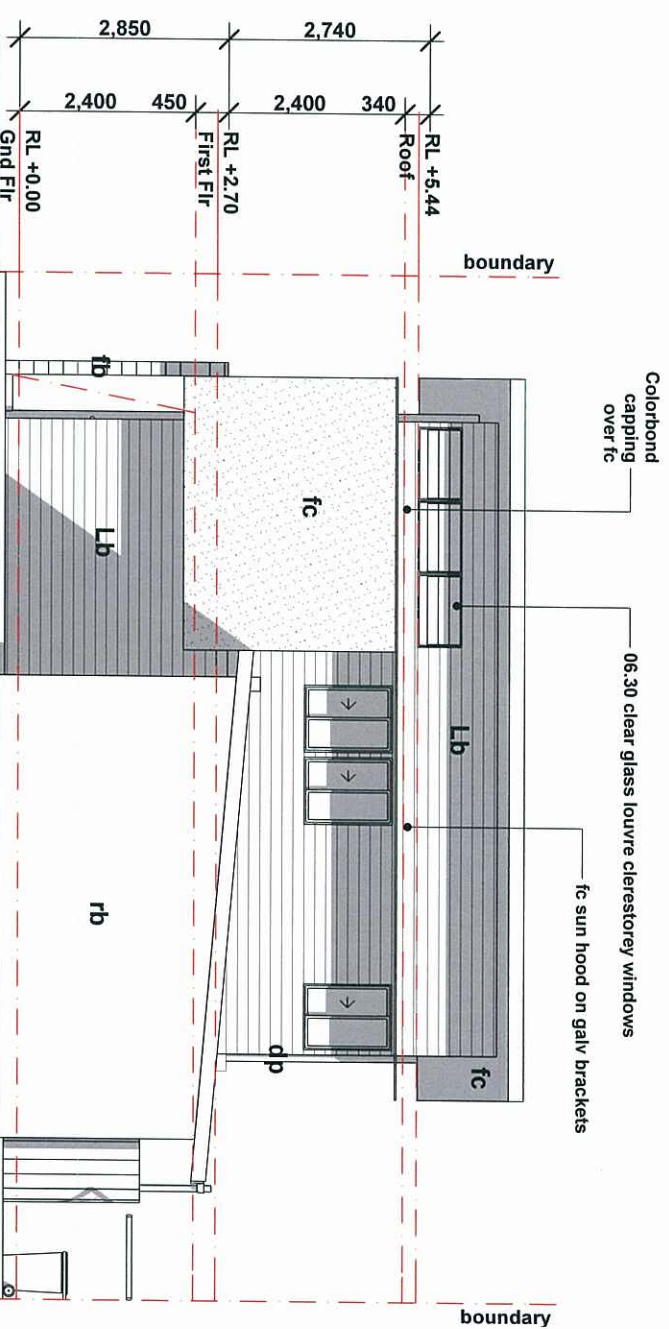
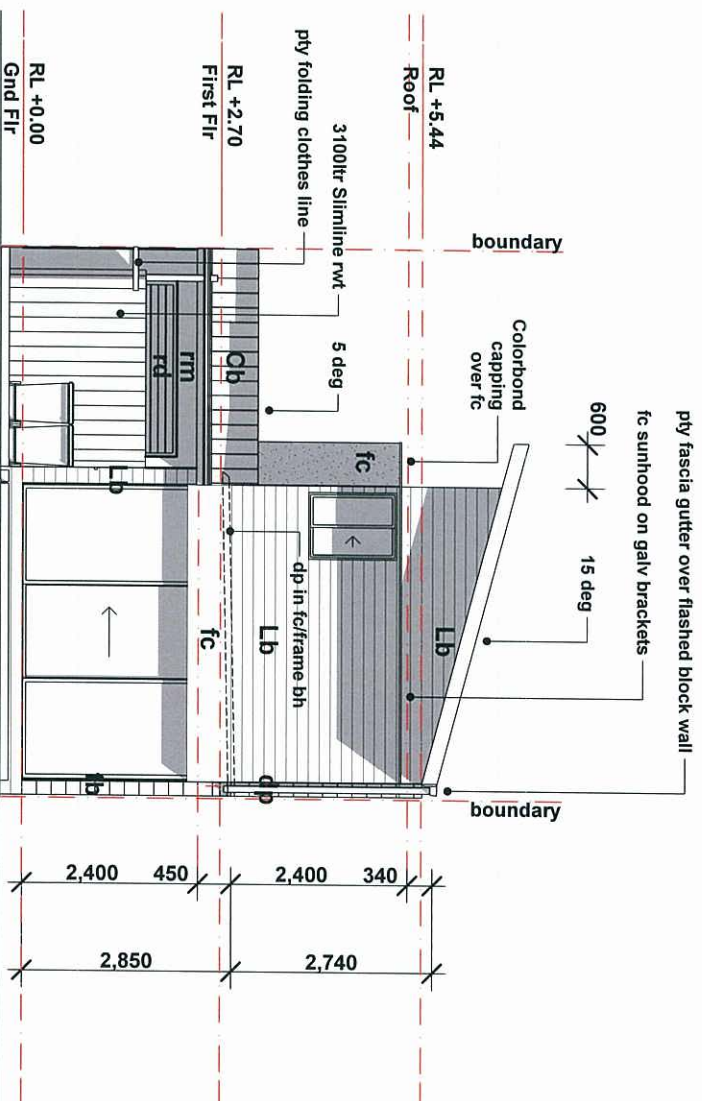
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adcm	aust'n domestic constr'n manual	ld	leaf diverter
ag	agricultural drain	ldng	landing
aj	articulated joint	ldy	laundry
al	selected finish aluminium	lin	linen
as	australian standards	m	metre
aw	top hung awning window	mb	meter box
b	basin	mf	selected pty metal fascia
ba	building approval assessment	mg	selected pty metal gutter
bb	brick band	mpr	multi-purpose room
bdy	boundary	mw	microwave
bfd	bi-fold door	n	nominal
bh	bulkhead	n	north
blk	blockwork	nom	nominal
bm	basin mixer	nrg	pty greenboard cladding
brk	brickwork	ns	natural surface
bs	bar sink	nsf	natural surface level
bs	basin spout	o	open
bt	bath tub	obs	obscure glazing
bv	brick veneer	oh	overhead and/or overhang
cb	Colorbond finished metal	omp	outer most projection
ch	ceiling height	pb	painted brick
chs	circular hollow section	pc	parapet capping
cl	centreline	pdr	powder room
clg	ceiling	pf	painted finish
cp	control panel	pfc	parallel flange channel
cpd	cupboard	ph	pitching height
csd	cavity sliding door	pld	auto panel lift door
ct	concrete tile roof	pos	private open space
d	dryer	ps	plumbing stack
dc	drying court	pty	pantry
dn	down	pty	proprietary
dp	down pipe	r	robe
dw	dishwasher	ra	return air vent
dwr	drawer	rb	rubbish bin
ej	expansion joint	rd	roller door
ens	ensuite	ref	refrigerator
ent	entry	rh	rangehood
ep	Energex pillar	rl	relative level
eq	equal	rm	rendered masonry
fb	face brick	rtr	riser
fbf	face block	rwo + s	rain water outlet
fc	fibre cement	rwt	rain water tank
fc/p	fibre cement painted	s	south
fcu	fan coil unit	sa	smoke detector alarm
fg	fixed glazing	sc	self closing
fir	floor	sd	soap dish
fmr	face masonry	se	sewer
fri	fire resistance level	sf	stone finish
fsl	floor surface level	sgd	sliding glass door
fw	floor waste	shr	shower
gar	garage	shs	square hollow section
gl	glass louvre window	sl	self locking
gnd	ground	sm	shower mixer
gnf	good neighbour style tmbr fence	smd	smoke detector
gp	gully pit yard drain	sp	survey plan
gpd	glass panel door	sr	shower rose
hc	hose cock	st	solar tube skylight/vent
hmpr	square arch hamper	stc	sound transmission class
hp	hoiplates	sv	stone veneer
ht	height	sw	sliding window or storm water
hw	hard wood	t	laundry tub
hws	hot water service	tc	texture coating
hwu	hot water unit	tmbr	timber
kd	kiln dried	tp	treated pine
ks	kitchen sink	tr	towel rail / ring

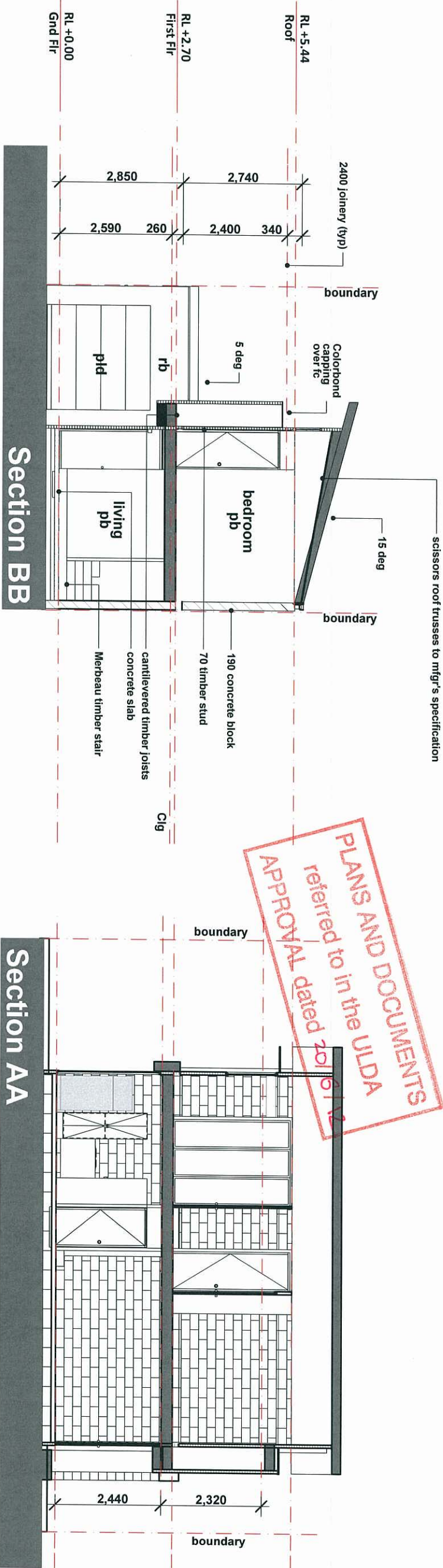
trh	toilet roll holder
tv	timber veneer
typ	typical
ubo	under bench oven
uno	unless noted otherwise
upvc	unplasticised poly vinyl chloride
wb	weatherboard
wc	water closet/toilet
wir	walk in robe
wrm	washing machine
wo	wall oven



TYPE E3

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AMMENDMENTS		LEGEND/ NOTES	
A	dd.mm.yy/ issue for -----	XX AD	
Client Urban Land Development Authority		StatusDD Scale: @ A3 Date:23 August 2011	
Project Name Seedling Terraces		Drawing Title: Roof Plan & Legend	
Project No: ULD009 A		Drawing No.: DD 02.04	

[illegible]



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AMMENDMENTS		LEGEND/ NOTES	
A	dd.mm.yy	Issue for	XX AD
Client		StatusDD	
Urban Land Development Authority		Date:23 August 2011	
Project Name		Scale: 1:50 @ A3	Drawn by: AD
Seedling Terraces		Drawing Title:	
Project No:		Sections A-A and B-B	
ULD009 B		Drawing No.:	
DD 04.01			

TYPE E3

Not part of this approval

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6 /12

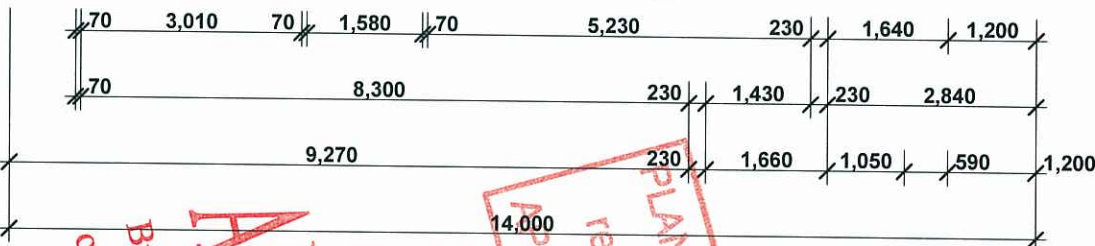
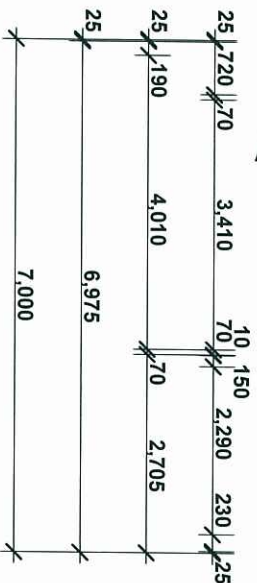
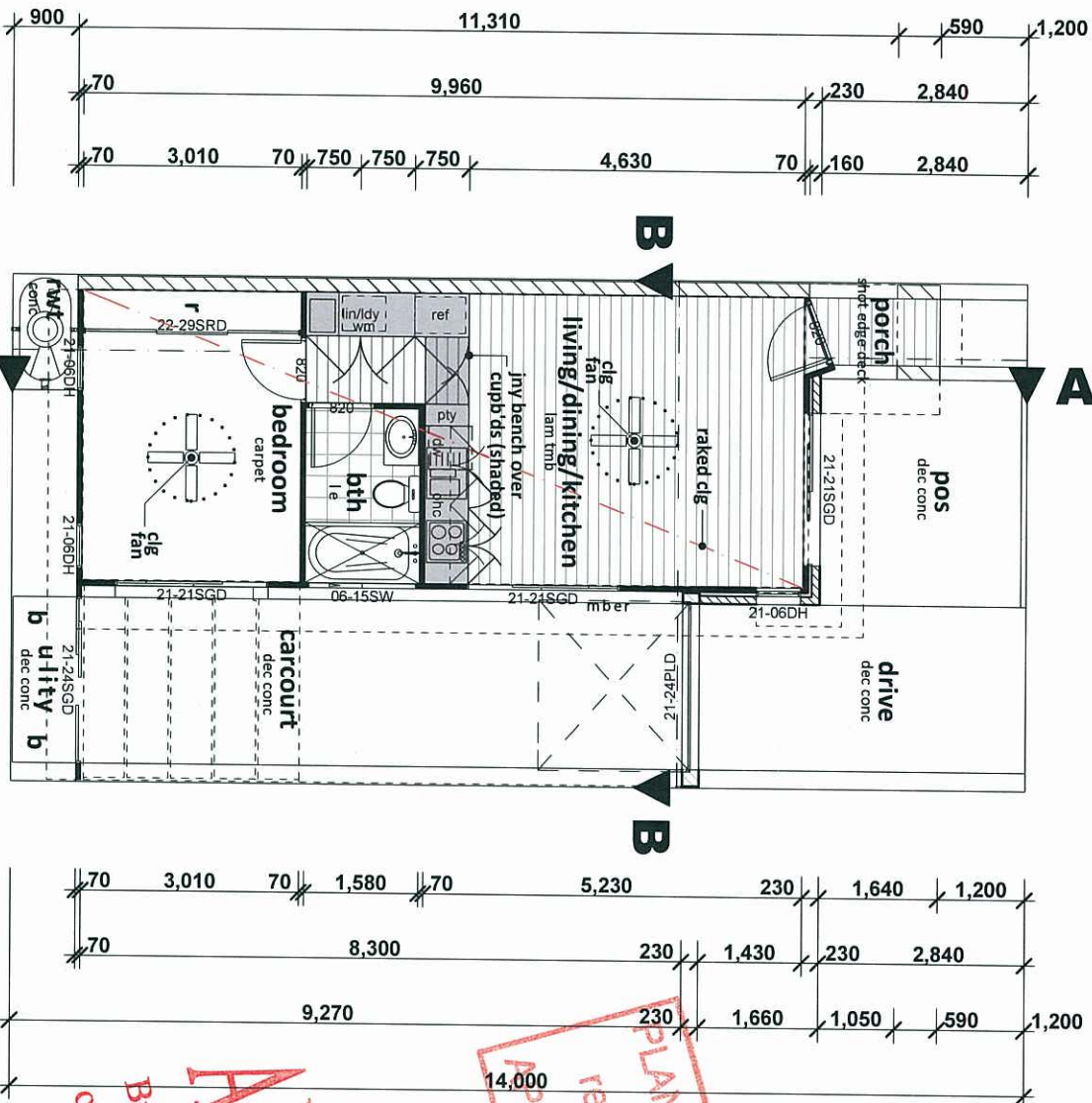
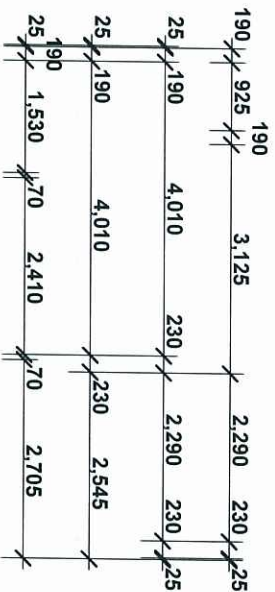
MEMBERED IN RED
19 JUN 2012
By: K McCall (name)
of the UDA

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A	03.11.11	Client Review/Approval	ad AD								
											
Client <i>My Place</i> Urban Land Development Authority		Status: DD Date: 3 Nov 2011									
Project Name Single Storey Urban Lot - 7m x 14m		Drawing Title: Site & Location Plan									
Project No.: ULDD09 0714		Scale: 1:100 @ A3 Drawn by: ad									
Drawing No.: DD 01.01											

TYPE H1



The logo for Degenhardt SHEDD features the word "degenhardt" in a red, cursive script font, with "SHEDD" in a black, bold, sans-serif font below it.



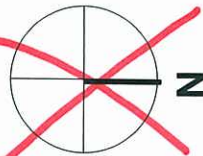
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6 /12

APPROVED IN RED
19 JUN 2012
By: K Mcgill (name)
of the ULDA

Not part of this approval

AMENDMENTS			
A	02.11.11	Client Review/Approval	ap /AD
B	03.11.11	Design updates/corrections	ad /AD

Floor Areas	
internal area	44.1 m ²
sub-total	44.1 m ²
carport/pergola	23.3 m ²
porch	1.5 m ²
POS (including entry path but excluding porch)	10.8 m ²
cover area	66.5%



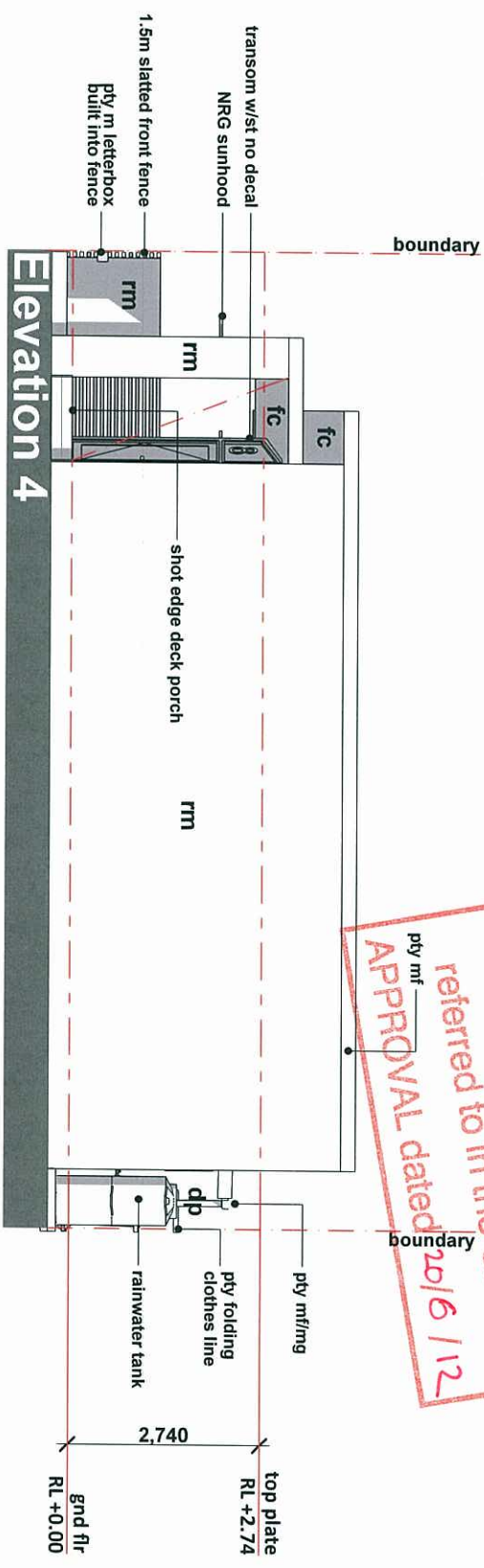
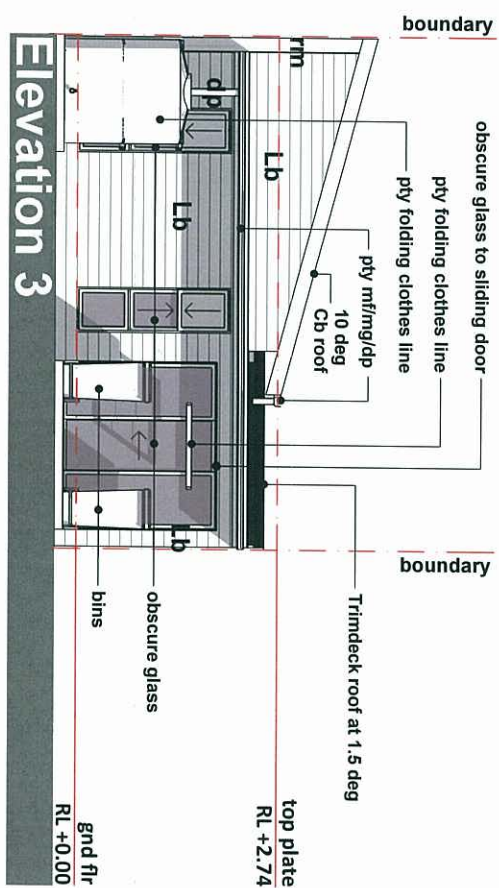
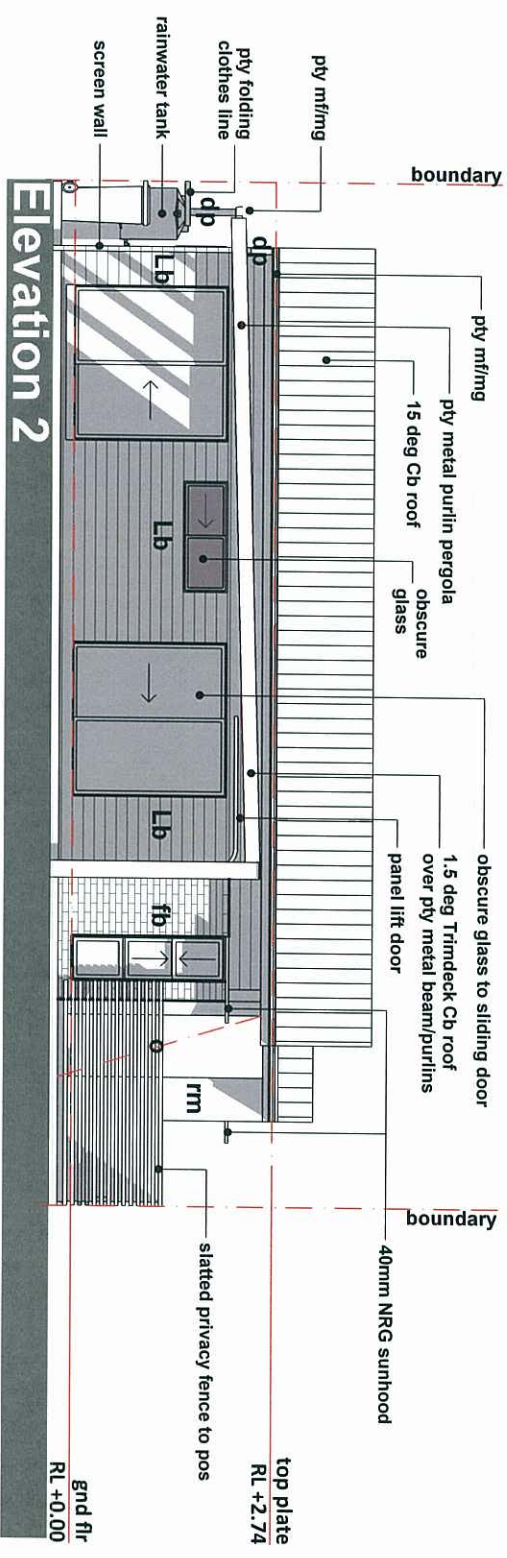
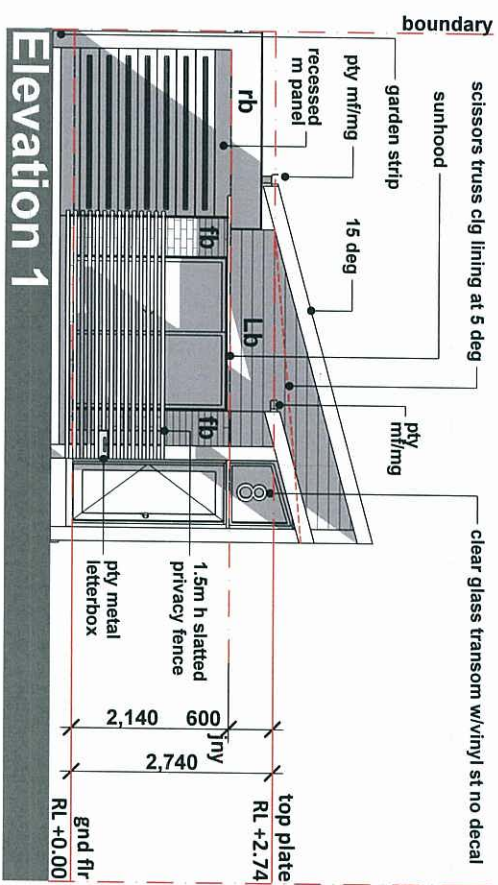
Client
Urban Land Development Authority

Project Name
Single Storey Urban Lot - 7m x 14m

Status: DD	Date: 3 Nov 2011
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title: Floor Plans	
Project No.: 0714	ULD013
B	DD 02.01

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SHEDD

TYPE H1



PLANS AND DOCUMENTS
referred to in the ULDA
boundary

AMENDMENTS			
A	02.11.11	Client Review/Approval	ap AD
B	03.11.11	Design updates/corrections	ad AD

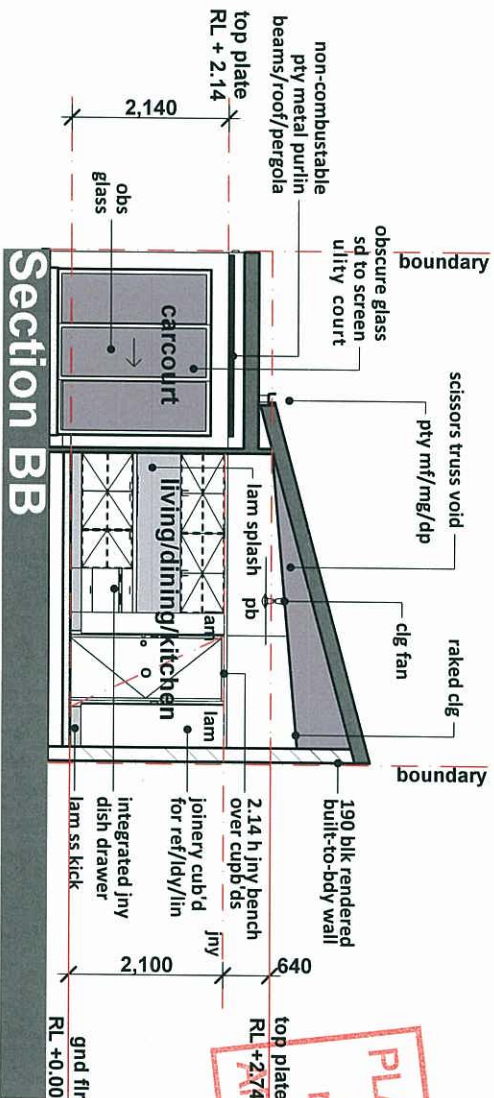
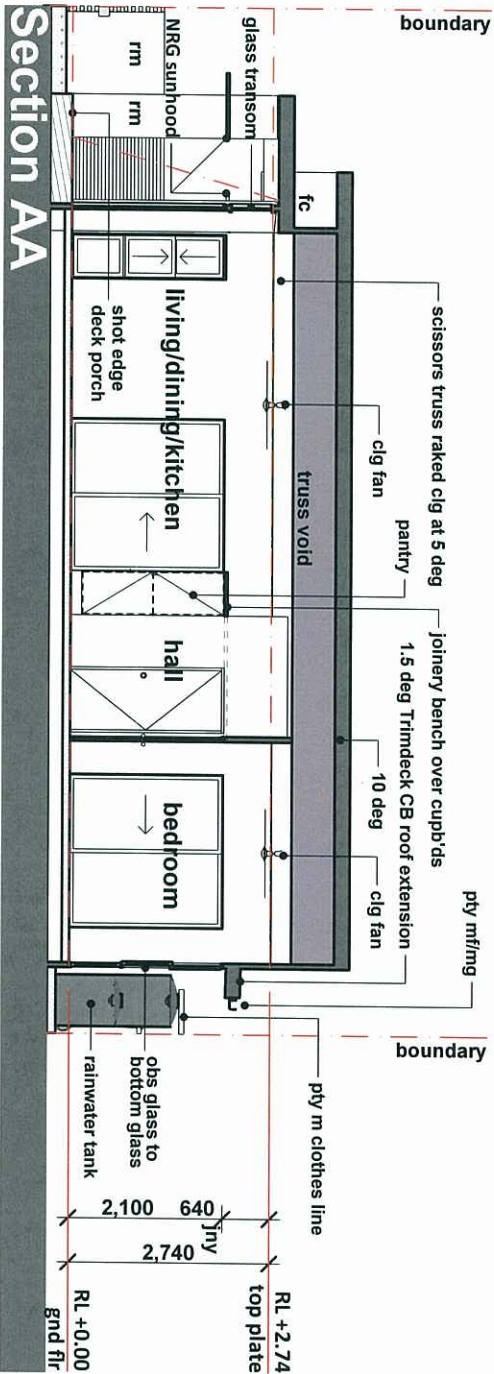
Client Urban Land Development Authority		
	Project Name Single Storey Urban Lot - 7m x 14m	Status DD Date: 3 Nov 2011
	Project No: UDD13 0714 B	Scale 1:100 @ A3 Drawing Title: Elevations Drawing No.: DD 03.01

TYPE H1



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referred to in the ULDA
APPROVAL dated 20/6/12

AMENDMENTS			
A	03.11.11	Client Review/Approval	ad AD

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Client
Urban Land Development Authority

Project Name
Single Storey Urban Lot - 7m x 14m

Status: DD
Scale: 1:100
Drawing Title: Sections

Project No.: 0714
ULD013
A DD 04.01

Date: 3 Nov 2011
Drawn by: ad

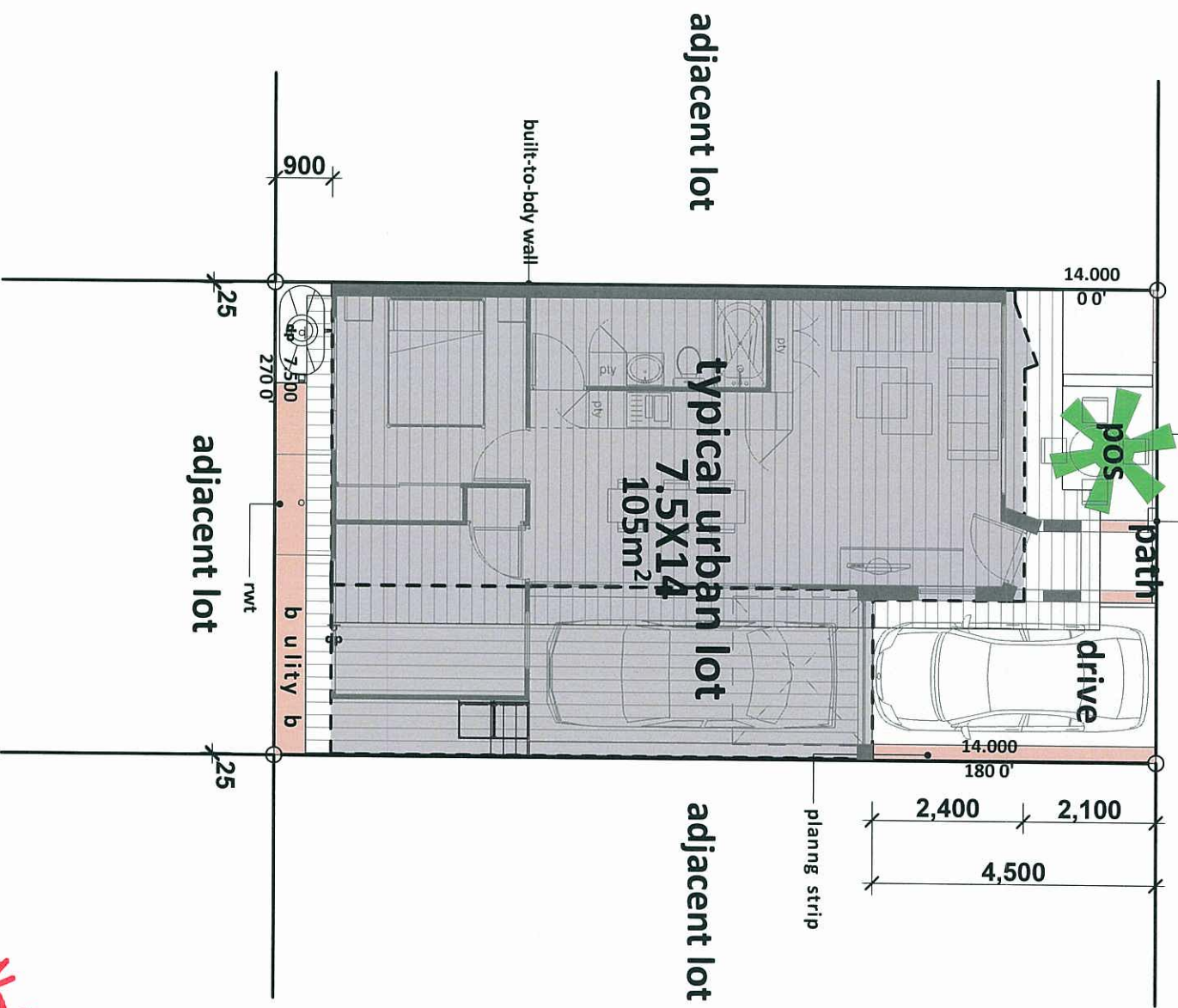
My Place

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TYPE H1

7.000
90 0'

pty metalleerbox
incorporated into fencing



Not part of this approval

A MENDED IN RE D
 19 JUN 2012
 By: KMcGill (name)
 of the ULDA

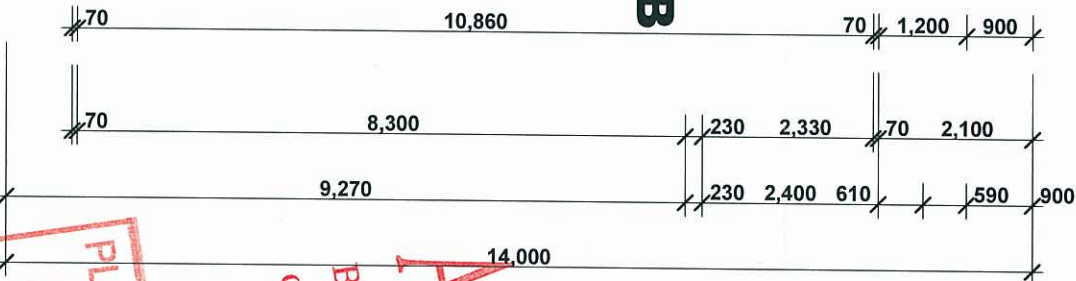
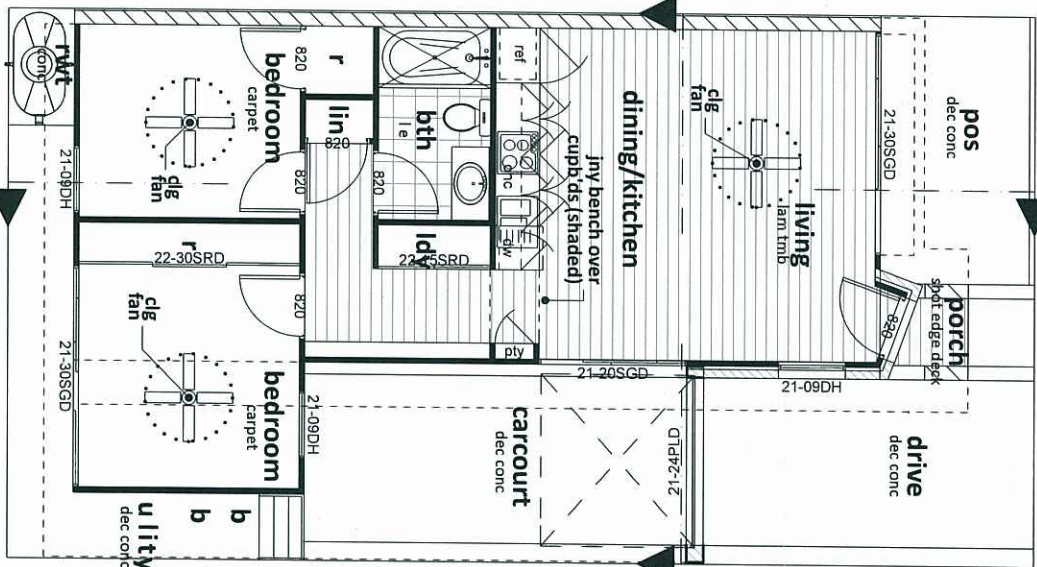
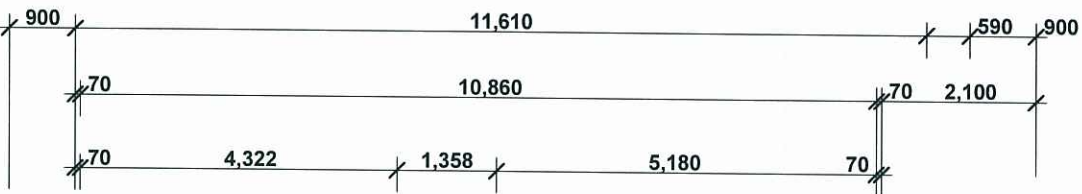
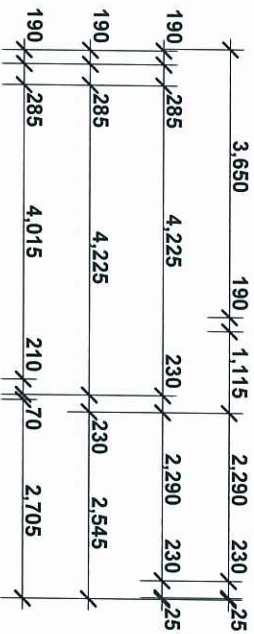
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6/12

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AMENDMENTS							
A		03.11.11		Client Review/Approval		ad AD	

TYPE H2

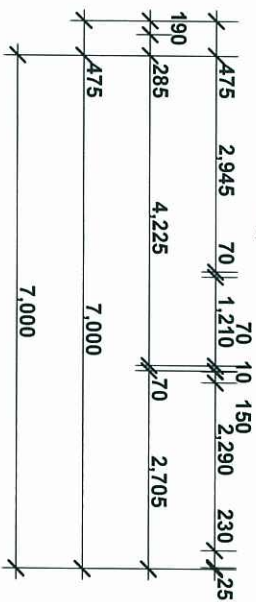


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PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6/12

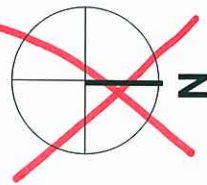
AMENDED IN RED
19 JUN 2012
By: K McGill (name)
of the ULDA



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DO NOT SCALE DRAWINGS

AMENDMENTS			
A	03.11.11	Client Review/Approval	ad AD
B	03.11.11	Corrections for client review	ad AD

Floor Areas	
internal area	58.5 m ²
sub-total	58.5 m ²
carcourt/ pergola	14.7 m ²
porch	1.5 m ²
POS	8.8 m ²
cover area	75%



Client
Urban Land Development Authority

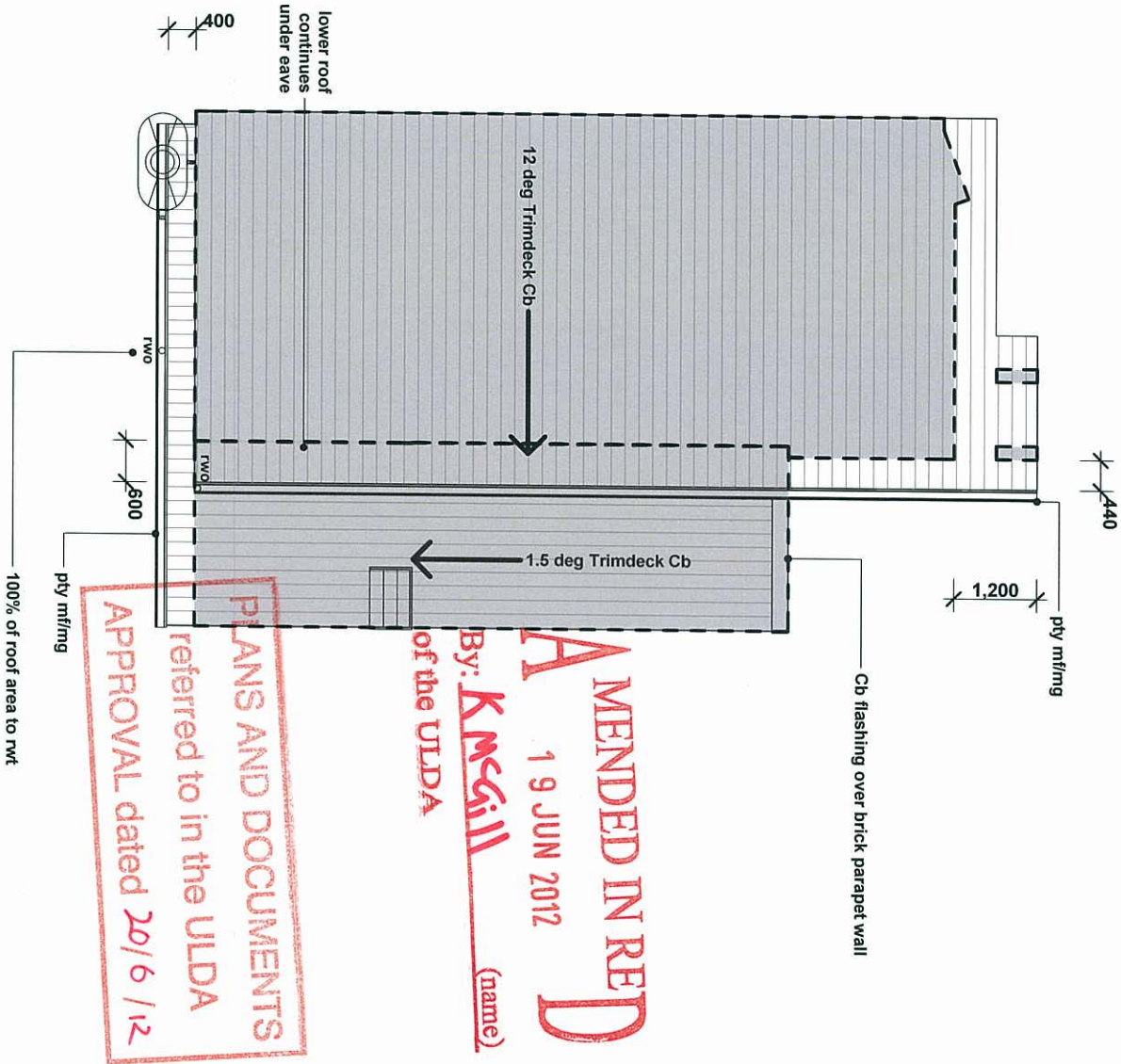
Status: DD	Date: 3 Nov 2011
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title:	
Floor Plans	
Project No: UL0013	Drawing No.: DD 02.01
7514	

My Place
Single Storey Urban Lot - 7.5m x 14m
degnerhart
SHEDD

TYPE H2

ac	air conditioner	mb	meter box
adcm	aust'n domesc constr'n manual	mf	selected pty metal fascia
ag	agricultural drain	mg	selected pty metal guer
aj	articulated joint	mpr	m u l -purpose room
al	selected finish aluminium	mw	microwave
as	australian standards	n	nominal
aw	top hung awning window	n	north
b	basin	nom	nominal
ba	building approval assessment	nty	pty greenboard cladding
bb	brick band	nrg	natural surface
bby	boundary	ns	natural surface
bfd	bi-fold door	nsi	natural surface level
bh	bulkhead	o	open
blk	blockwork	obs	obscure glazing
bm	basin mixer	oh	overhead and/or overhang
brk	brickwork	omp	outer most projecon
bs	bar sink	pb	painted brick
bs	basin spout	pc	parapet capping
bt	bath tub	pdr	powder room
bv	brick veneer	pf	painted finish
cb	Colorbond finished metal	pfc	parallel flange channel
ch	ceiling height	ph	pitching height
chs	circularhollowsecon	pld	auto panelli door
cl	centreline	pos	private open space
clg	ceiling	ps	plumbing stack
cp	control panel	pty	pantry
cpd	cupboard	pty	proprietary
csd	cavity sliding door	r	robe
ct	concretele roof	ra	return air vent
d	dryer	rb	rubbish bin
dc	drying court	rd	roller door
dn	down	ref	refrigerator
dp	down pipe	rh	rangehood
dw	dishwasher	rl	relave level
dwr	drawer	rm	rendered masonry
ej	expansion joint	rsr	riser
ens	ensuite	rwo + s	rain water outlet
ent	entry	rwt	rain water tank
ep	Energeex pillar	s	south
eq	equal	sa	smoke detector alarm
	face brick	sc	self closing
l	face block	sd	soap dish
fc	fibre cement	se	sewer
fc/p	fibre cement painted	sf	stone finish
fcu	fan coil unit	sgd	sliding glass door
fg	fixed glazing	shr	shower
fgr	floor	shs	squarehollowsecon
fmr	face masonry	sl	self locking
fml	fire resistance level	sm	shower mixer
fsl	floor surface level	smd	smoke detector
fw	floor waste	sp	survey plan
gar	garage	sr	shower rose
gl	glass louvre window	st	solar tube skylight/vent
gnd	ground	stc	sound transmission class
gnf	good neighbour style tmbr fence	sv	stone veneer
gp	gully pit yard drain	sw	sliding window or storm water
gpd	glass panel door	t	laundry tub
hc	hose cock	tc	texturecoang
hmprr	square arch hamper	tmbr	mber
hp	hotplates	tp	treated pine
ht	height	tr	towel rail / ring
hw	hard wood	trh	toilet roll holder
hws	hot water service	tv	mber veneer
hww	hot water unit	typ	typical
kd	kiln dried	ubo	under bench oven
ks	kitchen sink	uno	unless noted otherwise
lb	leer box	upvc	unplascised poly vinyl chloride
ld	leaf diverter	wb	weatherboard
ldng	landing	wc	water closet/toilet
ldy	laundry	wir	walk in robe
lin	linen	wm	washing machine
		wo	wall oven

Legend

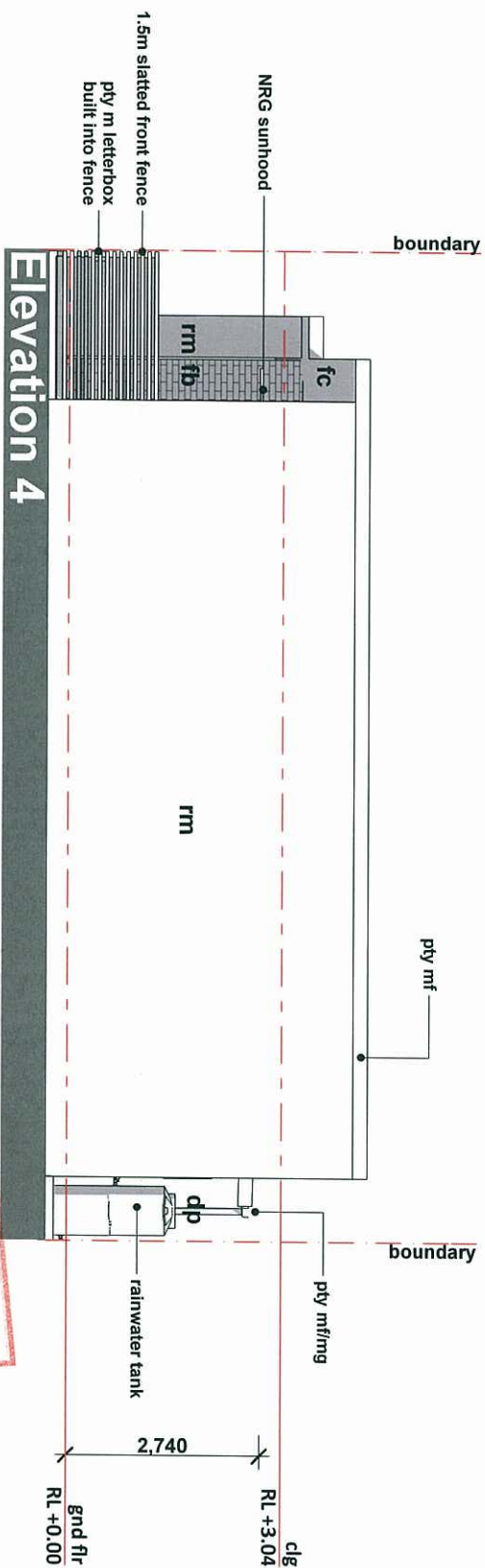
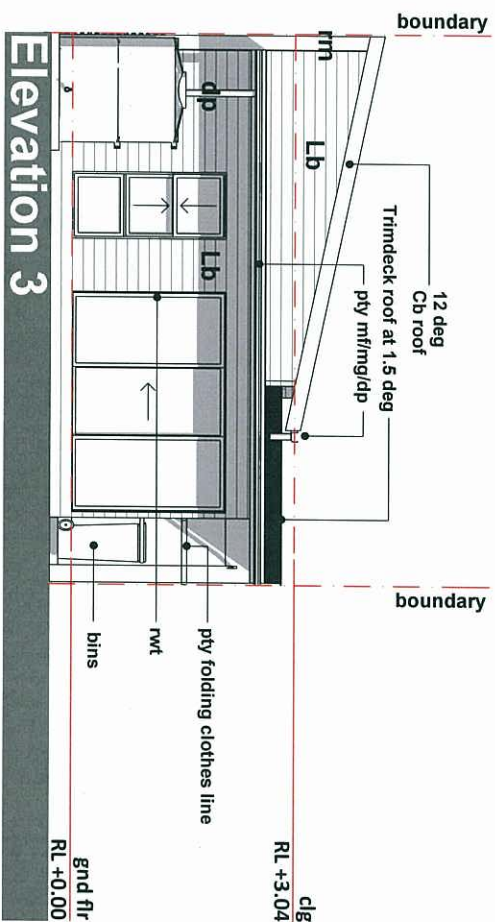
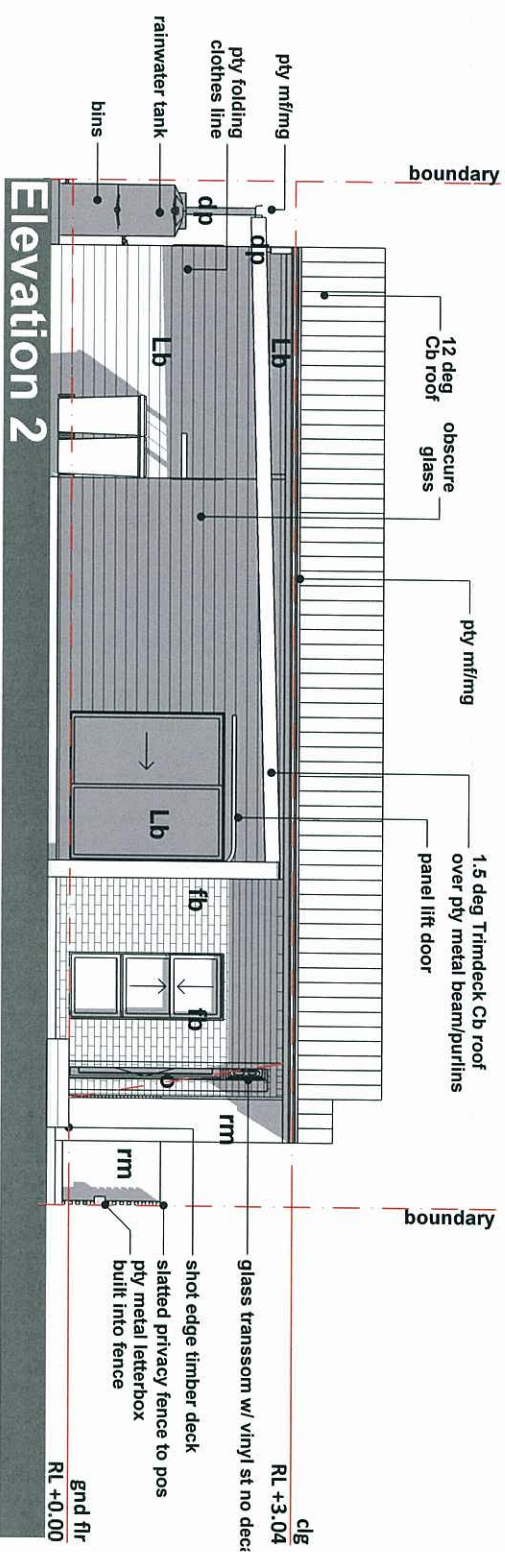
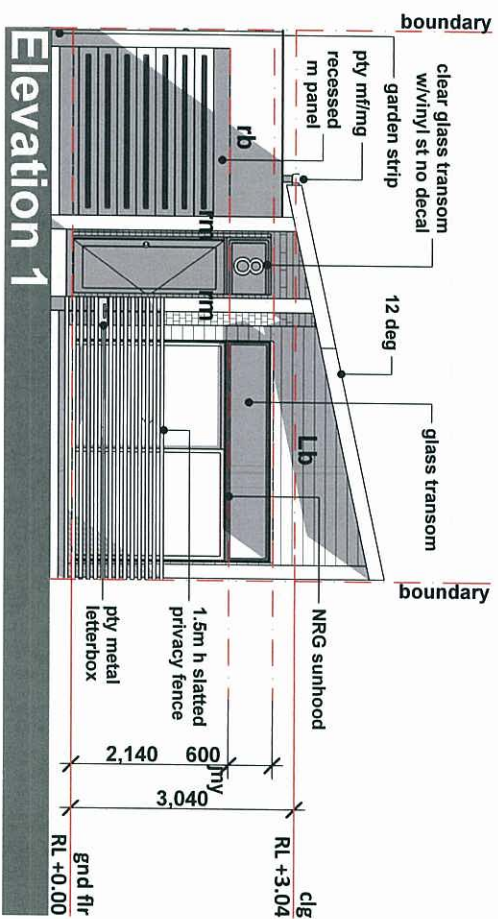


Not part of this approval

TYPE H2

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AMENDMENTS			
A	03.11.11	Client Review/Approval	ad /AD
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Client Urban Land Development Authority			
Project Name Single Storey Urban Lot - 7.5m x 14m			
Status DD	Date: 3 Nov 2011	Scale: 1:100 @ A3	Drawn by: ad
Drawing Title: Roof Plan & Legend	Project No: 7514	ULD013	Drawing No.: DD 02.02

degenhart SHEDD



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A	03.11.11	Client Review/Approval	ad	AD					
B	03.11.11	Corrections for client review	ad	AD					
C	03.11.11	Corrections for client review	ad	AD					

TYPE H2

