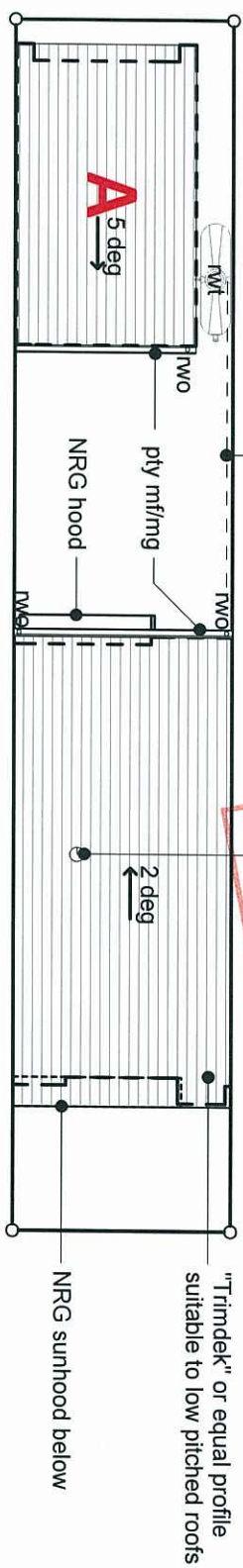


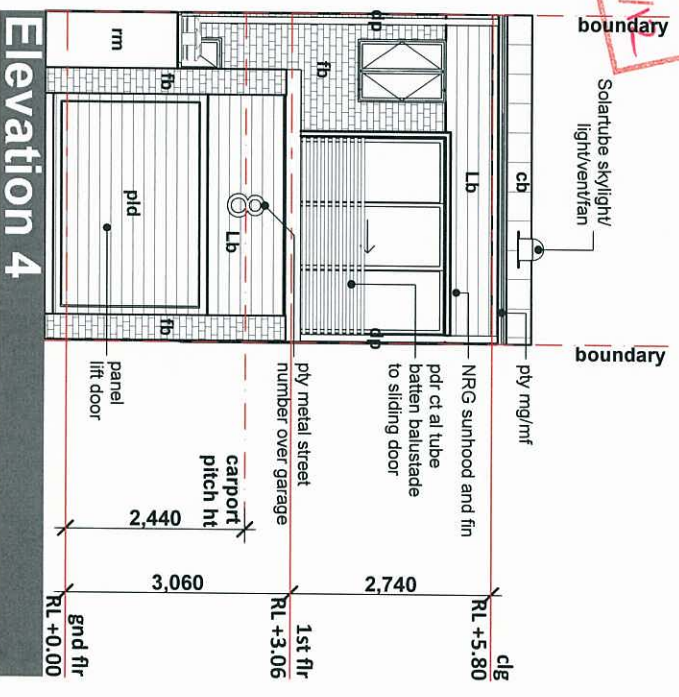
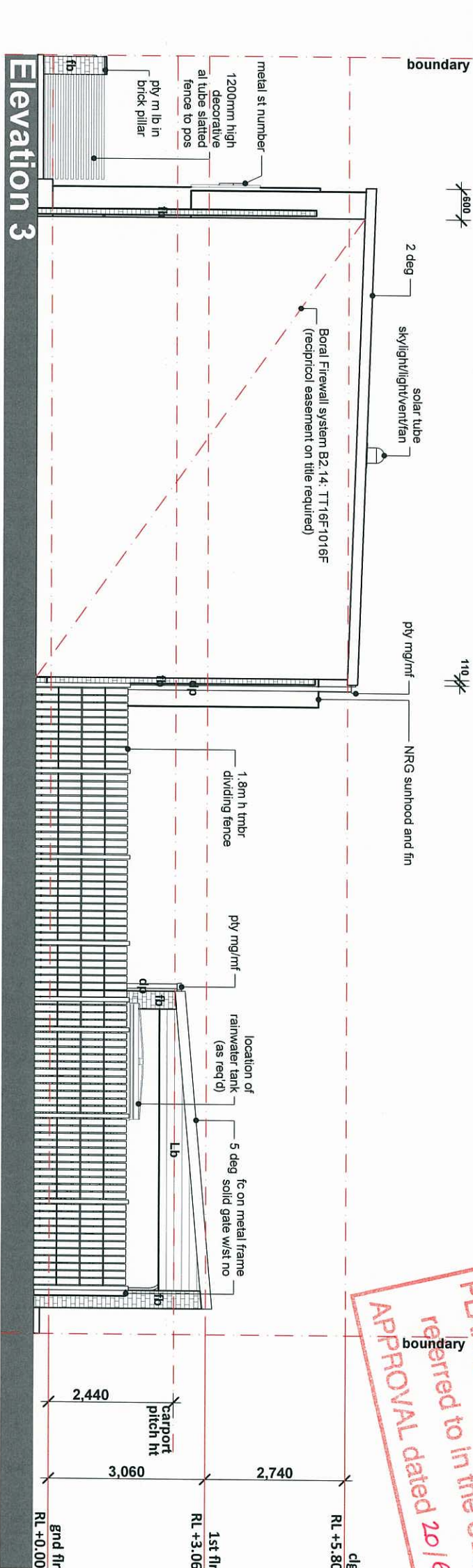
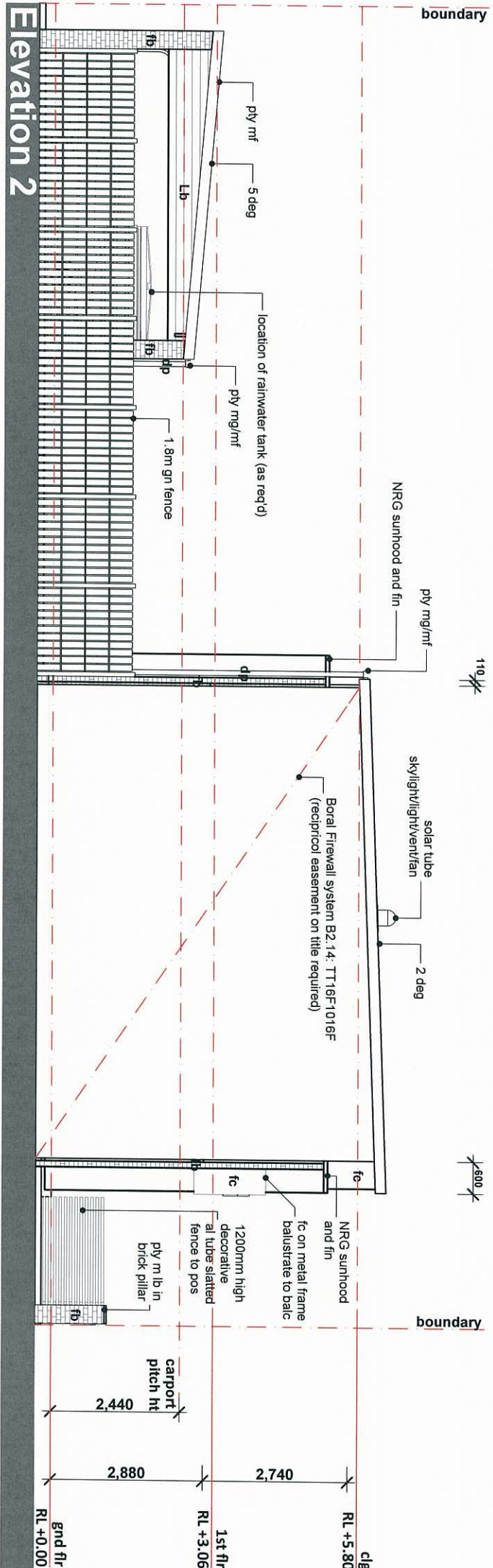
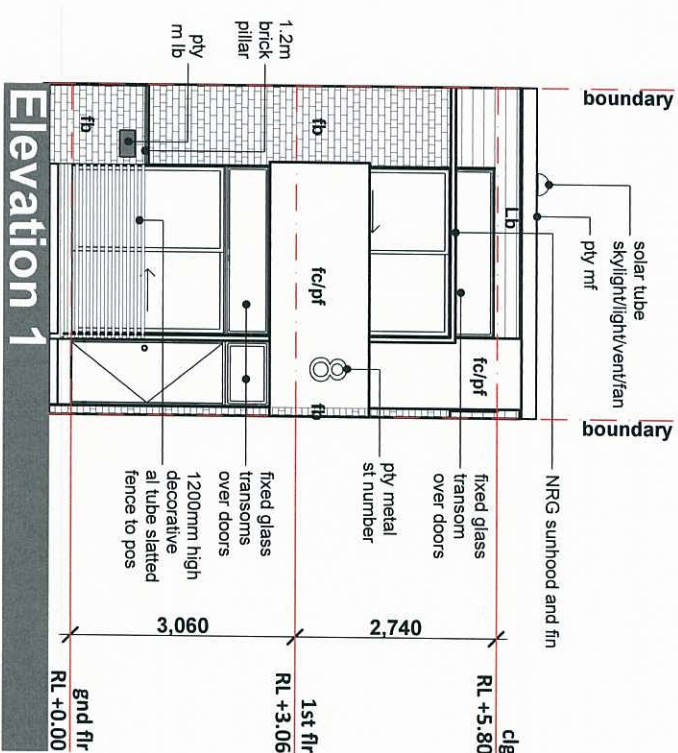
ac	air conditioner	mb	meter box
adcm	aust'n domestic constr'n manual	mf	selected ply metal fascia
ag	agricultural drain	mg	selected ply metal gutter
aj	articulated joint	mpr	multi-purpose room
al	selected finish aluminium	mw	microwave
as	Australian standards	n	nominal
aw	top hung awning window	n	north
b	basin	nom	nominal
ba	building approval assessment	nrng	ply greenboard cladding
bb	brick band	ns	natural surface
bby	boundary	nsi	natural surface level
bfd	bi-fold door	o	open
bh	bulkhead	obs	obscure glazing
blk	blockwork	oh	overhead and/or overhang
bm	basin mixer	omp	outer most projection
brk	brickwork	pb	painted brick
bs	bar sink	pc	parapet capping
bs	basin spout	pdr	powder room
bt	bath tub	pf	painted finish
bv	brick veneer	pfc	parallel flange channel
cb	Colorbond finished metal	ph	pitching height
ch	ceiling height	pid	auto panel lift door
chs	circular hollow section	pos	private open space
cl	centreline	ps	plumbing stack
clg	ceiling	pty	pantry
cp	control panel	pty	proprietary
cpd	cupboard	r	robe
csd	cavity sliding door	ra	return air vent
ct	concrete tile roof	rb	rubish bin
ct	concrete tile roof	rd	roller door
dc	drying court	ref	refrigerator
dn	down	rh	rangehood
dp	down pipe	rl	relative level
dw	dishwasher	rm	rendered masonry
dwr	drawer	rsr	riser
ej	expansion joint	rwo + s	rain water outlet
ens	ensuite	rwt	rain water tank
ent	entry	s	south
ep	Energex pillar	sa	smoke detector alarm
eq	equal	sc	self closing
fb	face brick	sd	soap dish
fbl	face block	se	sewer
fc	fibre cement	sf	stone finish
fc/p	fibre cement painted	sgd	sliding glass door
fcu	fan coil unit	shr	shower
fgr	fixed glazing	shs	square hollow section
ftr	floor	sl	self locking
ftr	face masonry	sm	shower mixer
ftr	fire resistance level	smd	smoke detector
fsl	floor surface level	sp	survey plan
fw	floor waste	sr	shower rose
gar	garage	st	solar tube skylight/vent
gl	glass louvre window	stc	sound transmission class
gnd	ground	sv	stone veneer
gnf	good neighbour style tmbr fence	sw	sliding window or storm water
gp	gully pit yard drain	t	laundry tub
gpd	glass panel door	tc	texture coating
hc	hose cock	tmbr	timber
hmptr	square arch hamper	tp	treated pine
hp	hotplates	tr	towel rail / ring
ht	height	trh	toilet roll holder
hw	hard wood	tv	timber veneer
hws	hot water service	typ	typical
hwu	hot water unit	ubo	under bench oven
ks	kiin dried	uno	unless noted otherwise
lb	letterbox	upvc	unplasticised poly vinyl chloride
ld	leaf diverter	wb	weatherboard
ldng	landing	wc	water closet/toilet
ldy	laundry	wir	walk in robe
lin	linen	wm	washing machine
		wo	wall oven

Legend



PLANS DOCUMENTS
solar tube
referred to in the USA
APPROVAL dated 20/6/12

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C	22.11.11	Kitchen/Bed 2 Adjustments	ad	AD																													
D	23.11.11	Sewery/rainwater tank added	ad	AD																													
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G	16.12.11	General Amendments	tb	AD																													
H	22.12.11	General Amendments	tb	AD																													
 urban land development authority																																	
Client Urban Land Development Authority Project Name 4.5m Terrace		<i>My Place</i> Status: DD Scale: 1:50 @ A3 Drawing Title: Roof Plan & Legend Project No.: ULD016 Drawing No.: DD 02.02 H																															



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6/22

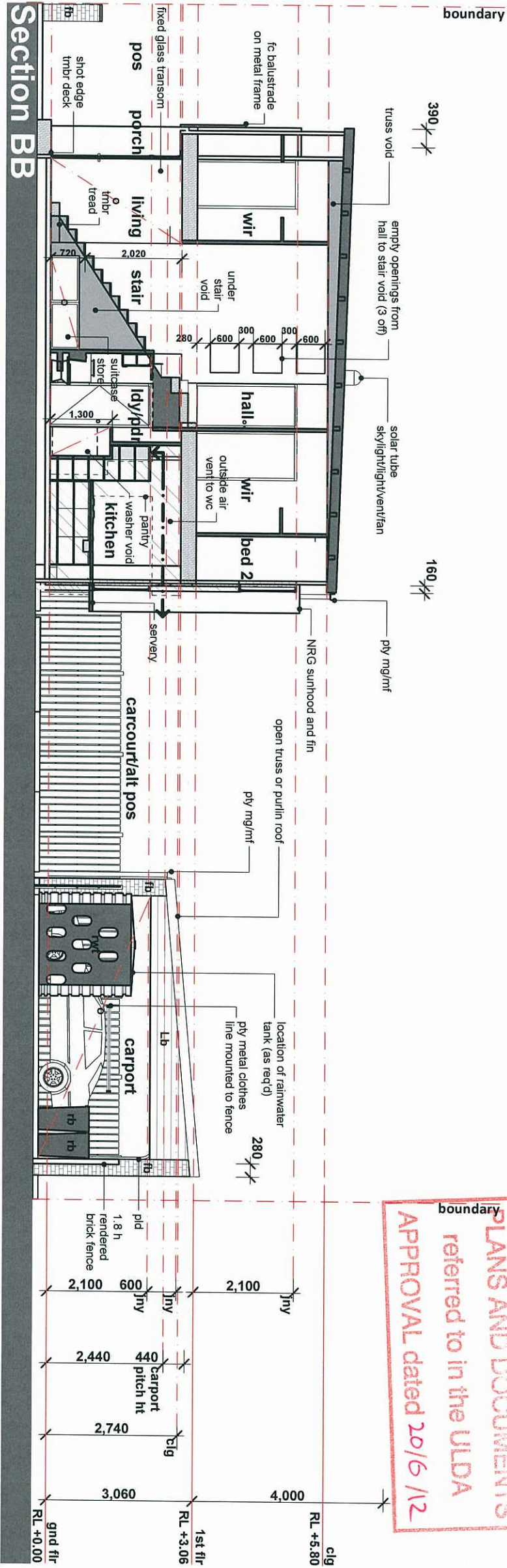
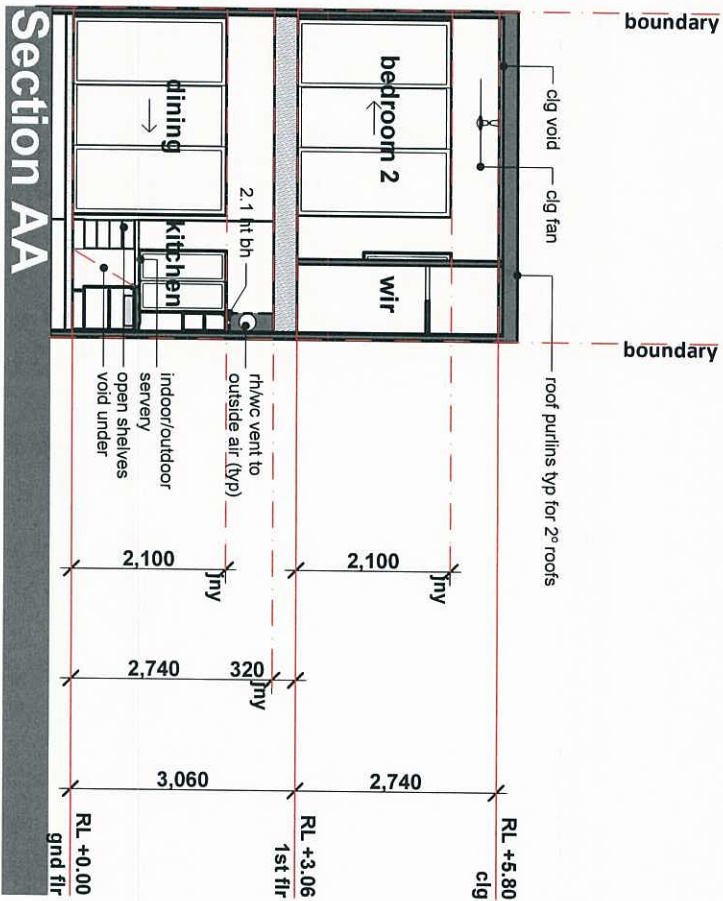
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The Builder is responsible for the site verification of all dimensions. Figured dimensions take precedence over scaled values. DO NOT SCALE DRAWINGS.			
AMMENDMENTS			
C	22.11.11	KitchenBed 2 Adjustments	ad AD
D	23.11.11	Servey/rainwater tank added	ad AD
E	25.11.11	Dwelling area increased	ad AD
F	06.12.11	LaneWAY frontage amended	ad AD
G	16.12.11	General Amendments	tb AD
H	22.12.11	General Amendments	tb AD

Client	Urban Land Development Authority
Project Name	4.5m Terrace

Statu@D	Date: 22.12.11
Scale: 100 @ A3	Drawn by: tb + ap
Drawing Title:	Elevations
Project No:	ULD016
Drawing No.:	DD 03.01 H



degarhant
SHEDD



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Figured dimensions take precedence over scaled values.

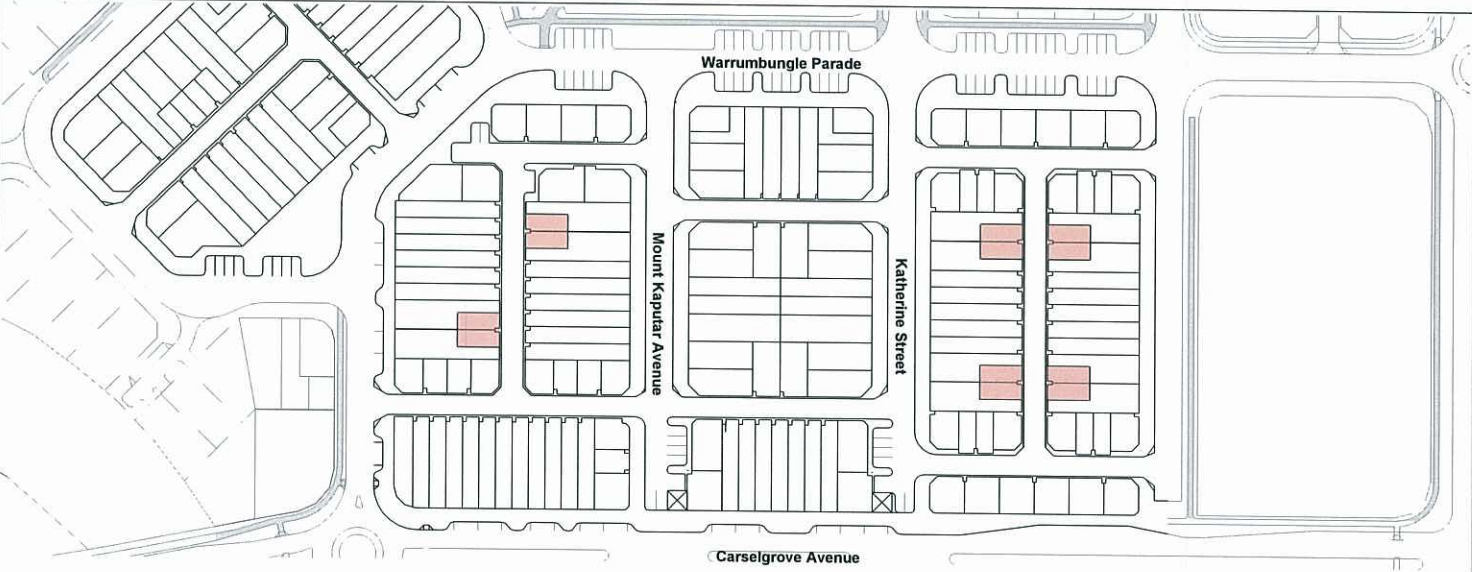
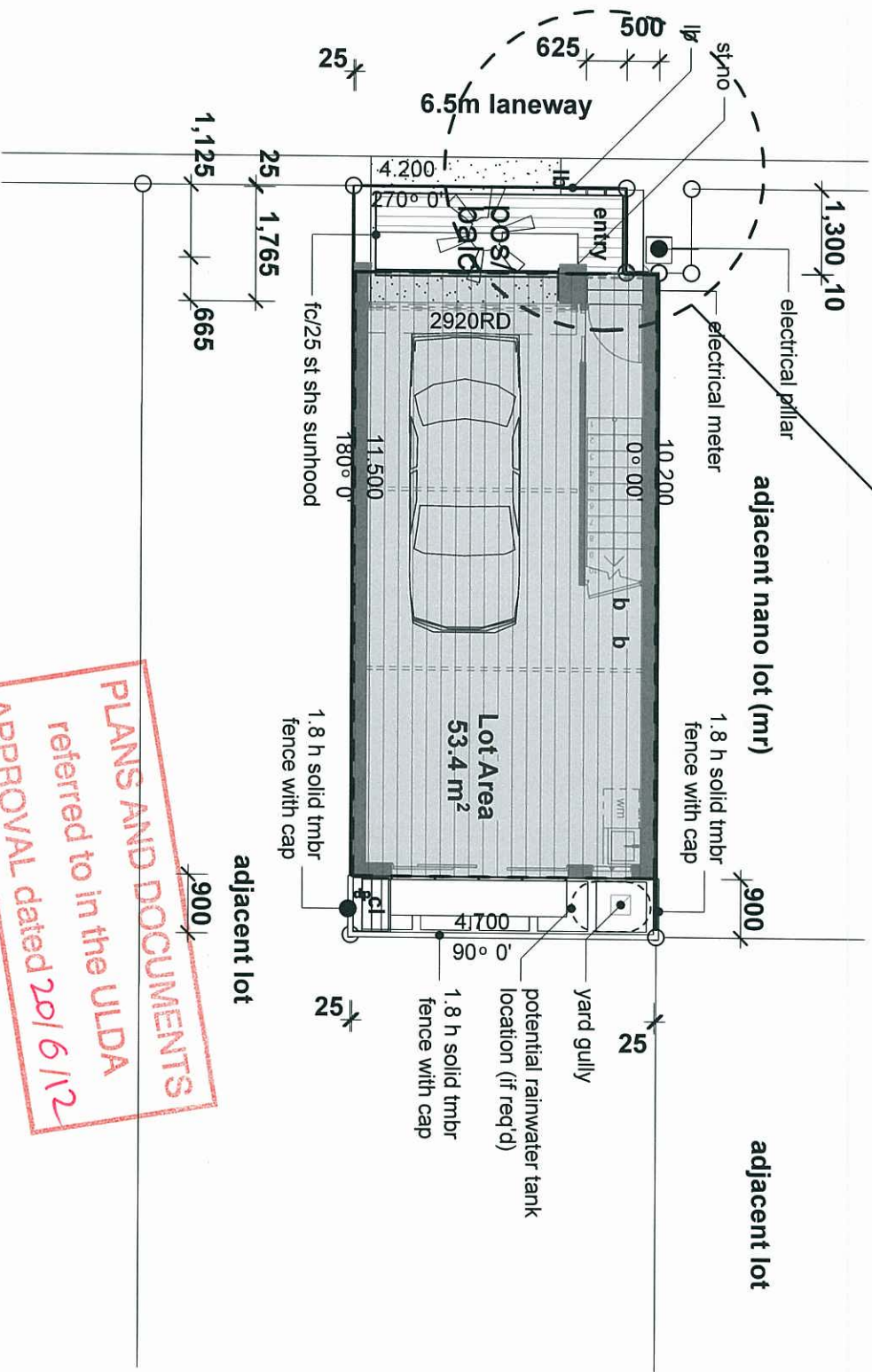
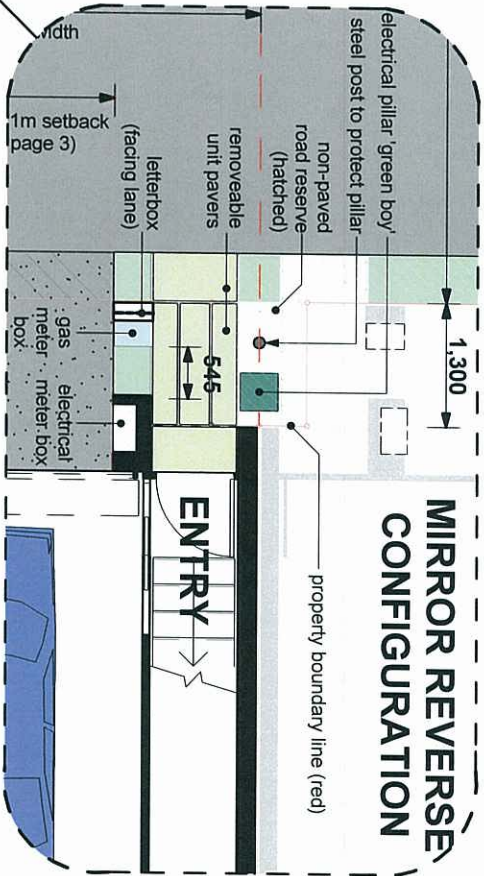
DO NOT SCALE DRAWINGS.

The Builder is responsible for the site verification of all dimensions.

AMENDMENTS			
C	22.11.11	KitchenBed 2 Adjustments	ad AD
D	23.11.11	Servey/rainwater tank added	ad AD
E	25.11.11	Dwelling area increased	ad AD
F	06.12.11	Lane way frontage amended	ad AD
G	16.12.11	General Amendments	tb AD
H	22.12.11	General Amendments	tb AD



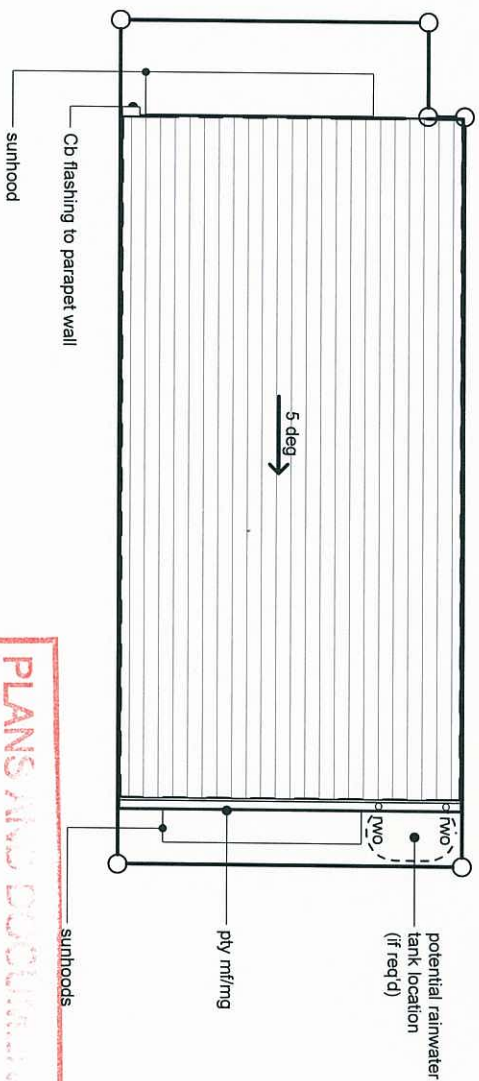
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Project Name		4.5m Terrace	
Drawing Title:		Sections	
Project No:		ULD016	
Drawing No.:		DD 04.01 H	



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AMENDMENTS			
A	27.01.12	Issued for Builders Pricing	ap AD
B	02.02.12	Shed and Bath Amendments	tb AD
C	25.02.12	New design/service pillar	tb AD
D	18.03.12	Garage/openings/kitchen	ad AD
BUILDING AREAS		Nano Loft 1 01	
COMPLIANCE AREA CALCULATIONS			
grd flr		5.1 m²	36.3 m²
1st flr		43.2 m²	1.3 m²
pos		5.0 m²	5.0 m²
total		48.3 m²	41.8 m²
TOTALS			
Int'l + ext'l		90.1 m²	
gross floor area (gfa)		48.3 m²	
private open space (pos)		5.0 m²	
cover area (roof area)		48.2 m²	
site cover based on a lot size of 53.4 m²		90%	
Client		Urban Land Development Authority	
Project Name		Nano Loft 1 01	
Status DD		Date: 18.03.12	
Scale: 1:100 @ A3		Drawn by: ad	
Drawing Title:		Site & Location Plan	
Project No:		Drawing No.:	
ULD027		DD 01.01 D	

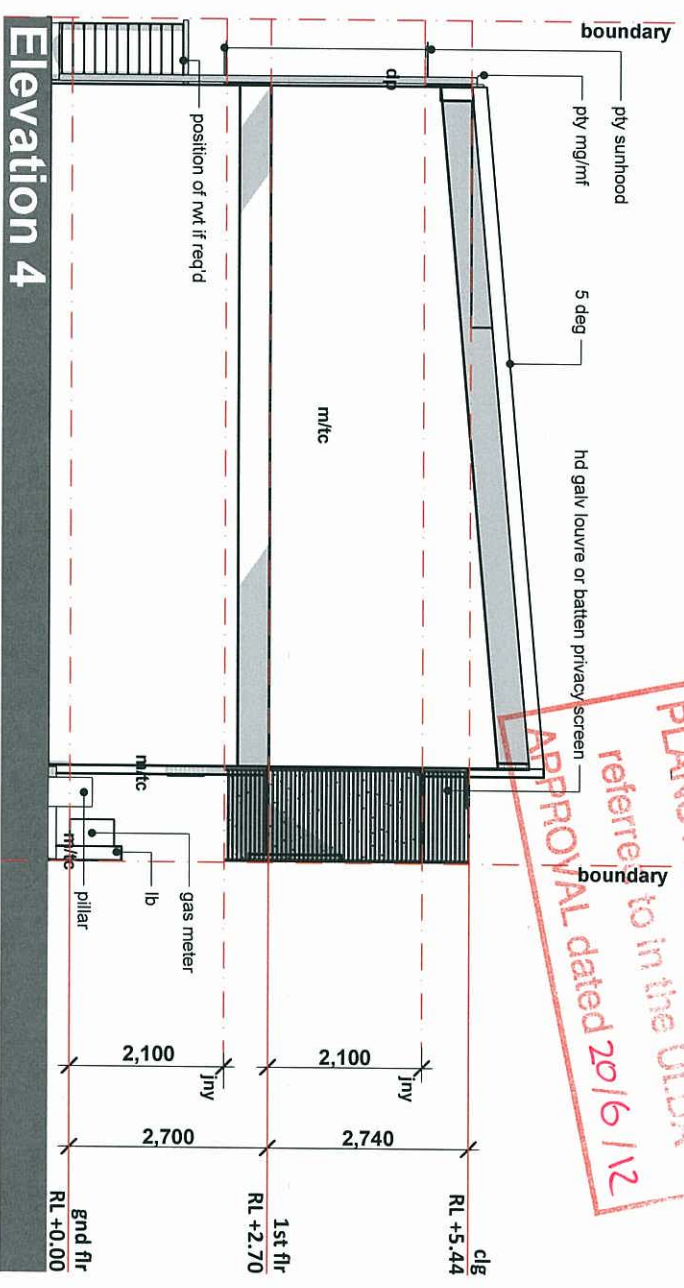
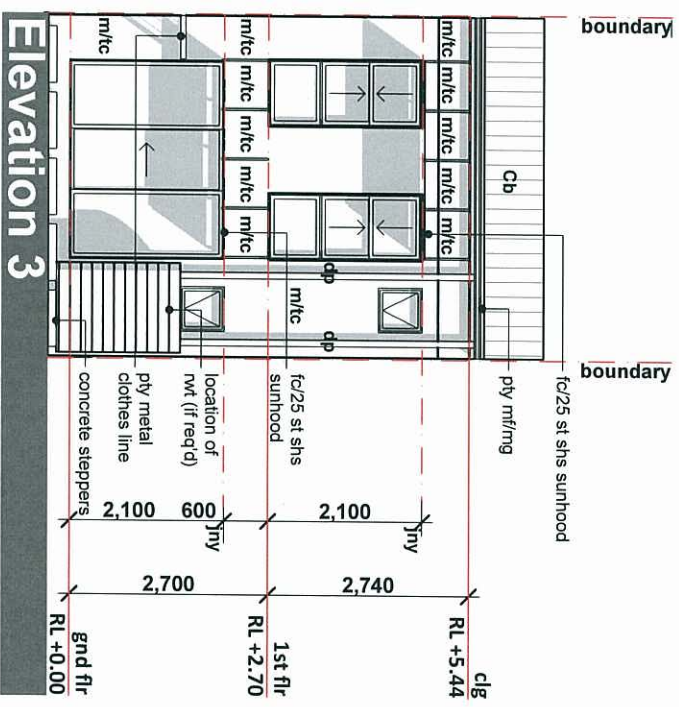
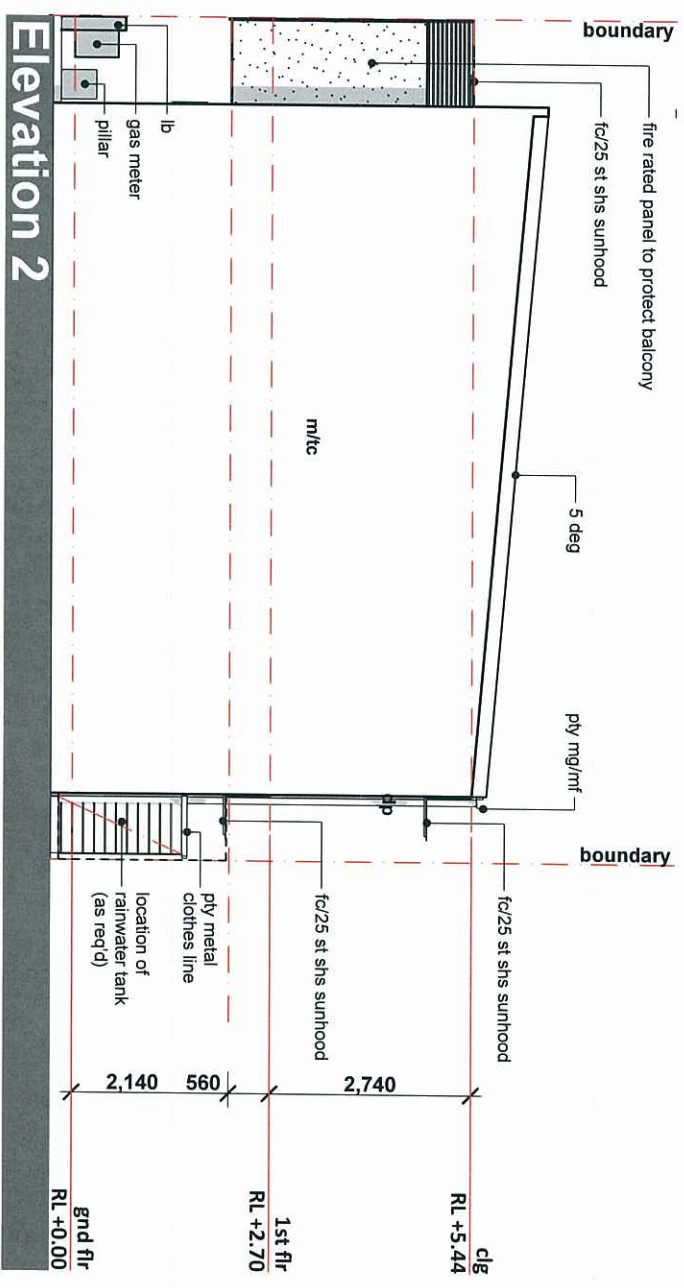
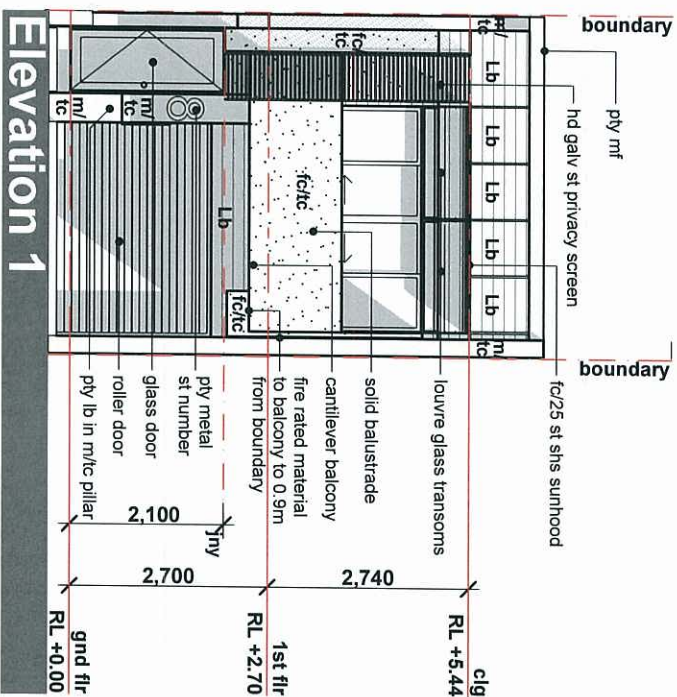
ac	air conditioner	ldy	laundry
adm	Aust'n domestic constr'n manual	lin	linen
ag	agricultural drain	m	masonry
agg	aggregate	mb	meter box
aj	articulated joint	mfb	selected ply metal fascia
al	selected finish aluminium	mg	selected ply metal gutter
AS	Australian Standards	mpr	multi-purpose room
aw	top hung awning window	mw	microwave
b	rubbish bin	n	nominal
ba	building approval assessment	N	North
bb	brick band	NRG	ply greenboard cladding
bby	boundary	ns	natural surface
bfd	b-fold door	nsi	natural surface level
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cp	control panel	pos	private open space
cpd	cupboard	ps	plumbing stack
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dc	drying court	rb	rendered brick
dec	decorative	rd	roller door
deg	degrees	ref	refrigerator
dn	down	rh	rangehood
dp	down pipe	rl	relative level
dwr	dishwasher	rsl	riser
ej	drawer	two	rain water outlet
ej	expansion joint	rw	rain water tank
ens	ensuite	S	South
ent	entry	sa	smoke alarm
ep	electrical pillar	sc	self-closing
eq	equal	sd	sliding door
exp	exposed	se	sewer
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fc/p	fibre cement painted	shs	square hollow section
fcu	fan coil unit	sl	self-locking
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fir	floor	SMD	smoke detector
fim	face masonry	sp	survey plan
fri	fire resistance level	spd	soap dish
fsl	floor surface level	sr	shower rose
fw	floor waste	sst	stainless steel
fw	galvanised	St	steel, street or store
galv	garage	Stc	Solartube skylight/lightvent/fan
ggl	glass louvre window	stc	sound transmission class
gnd	ground	sv	stone veneer
gnf	good neighbour style tmbr fence	sw	sliding window or storm water
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gpd	glass panel door	tbr	timber
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hmptr	square arch hamper	tp	treated pine
h	hoplathes	trg	towel ring
h	high	trh	toilet roll holder
ht	height	trl	towel rail
hw	hard wood	trv	timber veneer
hws	hot water service	typ	typical
hww	hot water unit	uno	under bench oven
jny	joinery	uno	unless noted otherwise
kd	kiln dried	upvc	unplasticised poly vinyl chloride
ks	kitchen sink	vb	vanity basin
lam	laminated	wb	weatherboard
lb	letterbox	wc	water closet (toilet)
ld	linea board	wir	walk in robe
ld	leaf diverter	wm	washing machine
ldg	stair landing	wo	wall oven

Legend

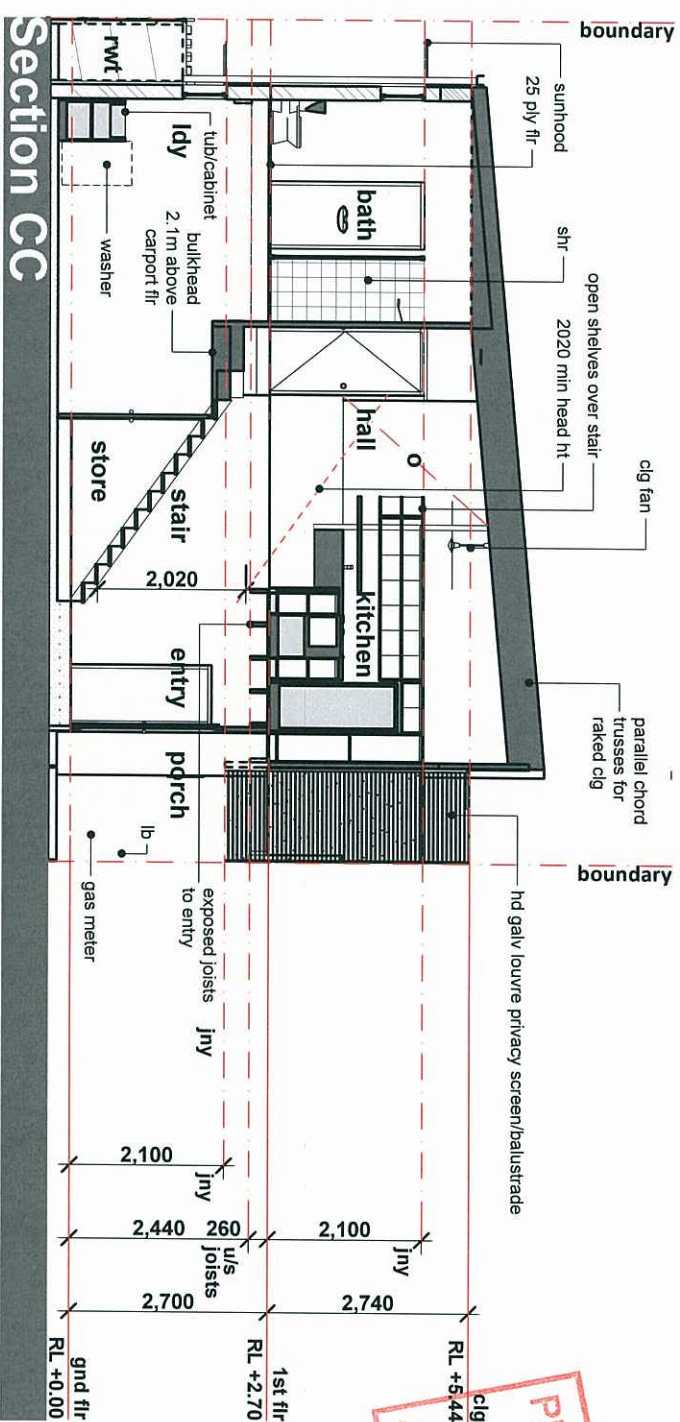
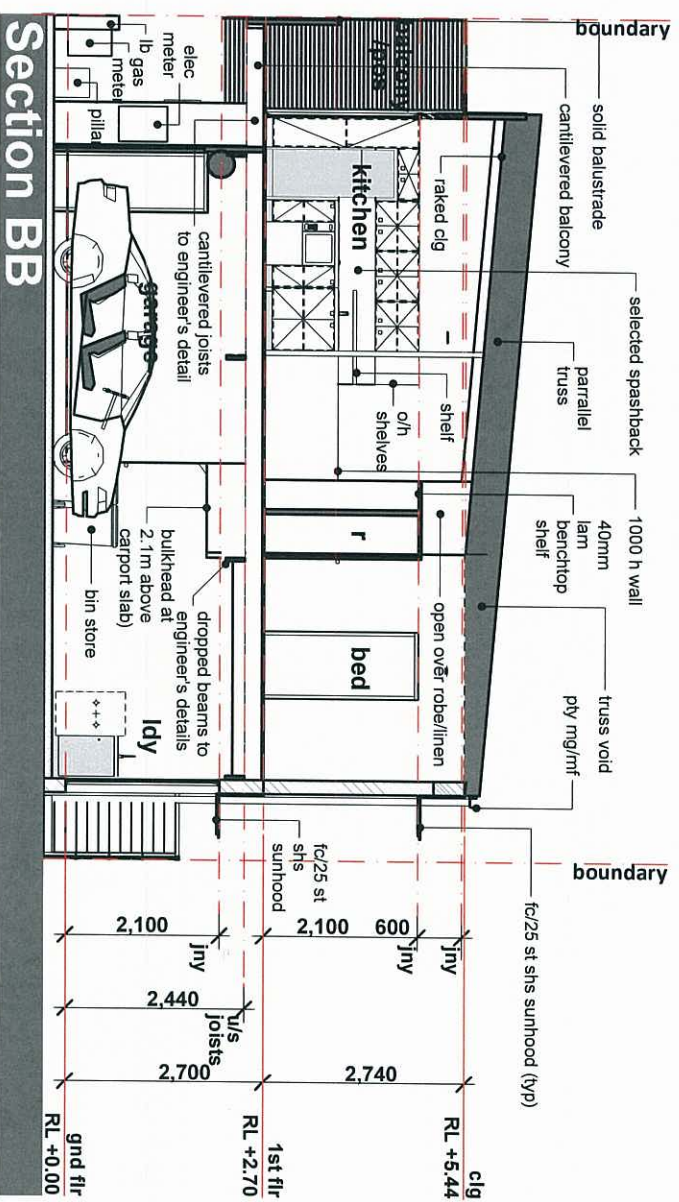
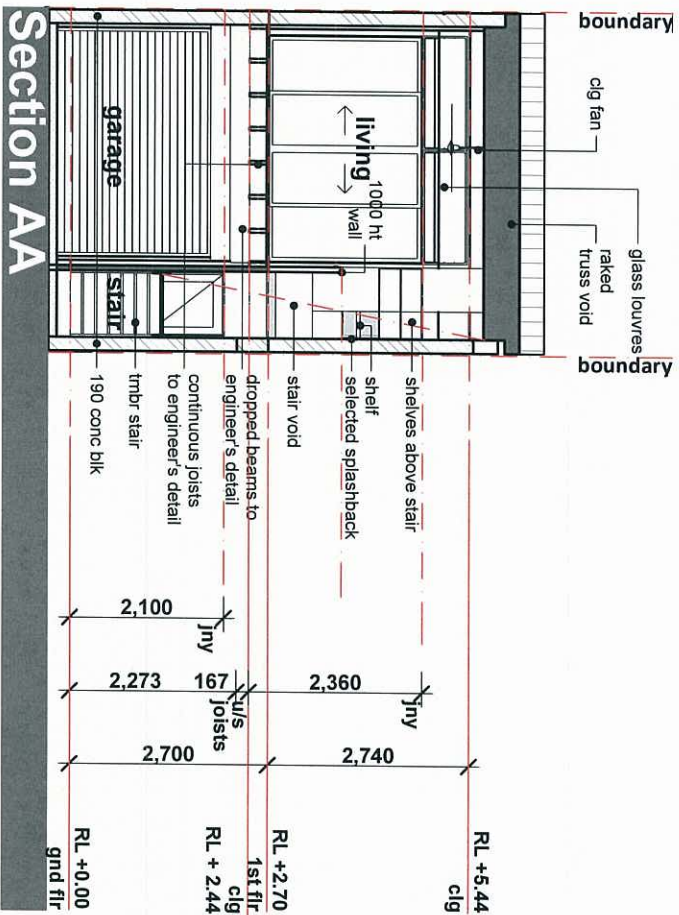


PLANS AND PROCEEDINGS referred to in the ULDA APPROVAL dated 20/6/12

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D	18.03.12	Garage/openings/kitchen	ad AD																				
 urban land development authority																							
Client Urban Land Development Authority Project Name Nano Loft 1 01		Status: DD Date: 18.03.12 Scale: 1:100 @3C/Drawn by: ad Drawing Title: Roof Plan & Legend Project No: ULD027 Drawing No.: DD 02.02 D																					



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PLANS AND DOCUMENTS
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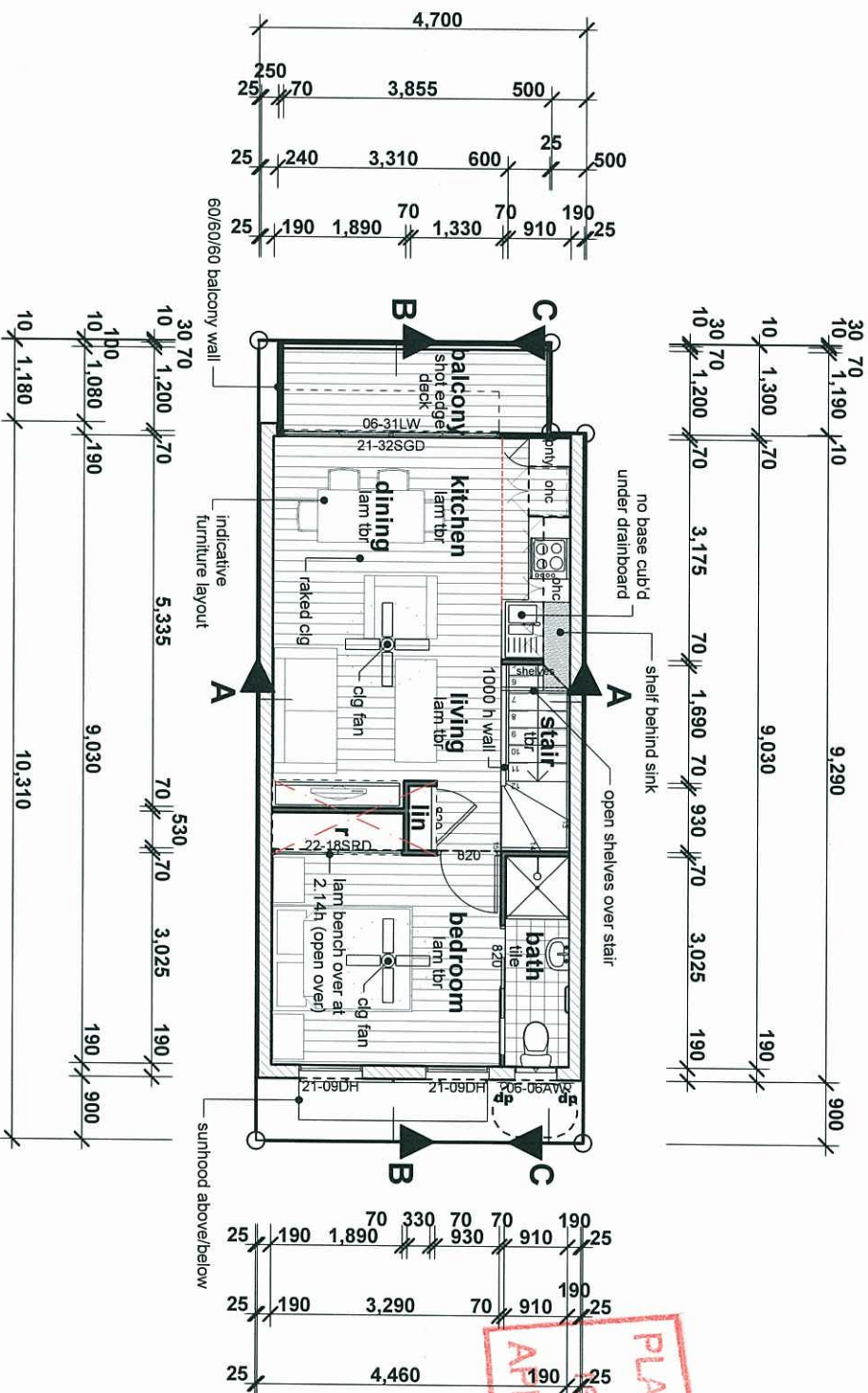
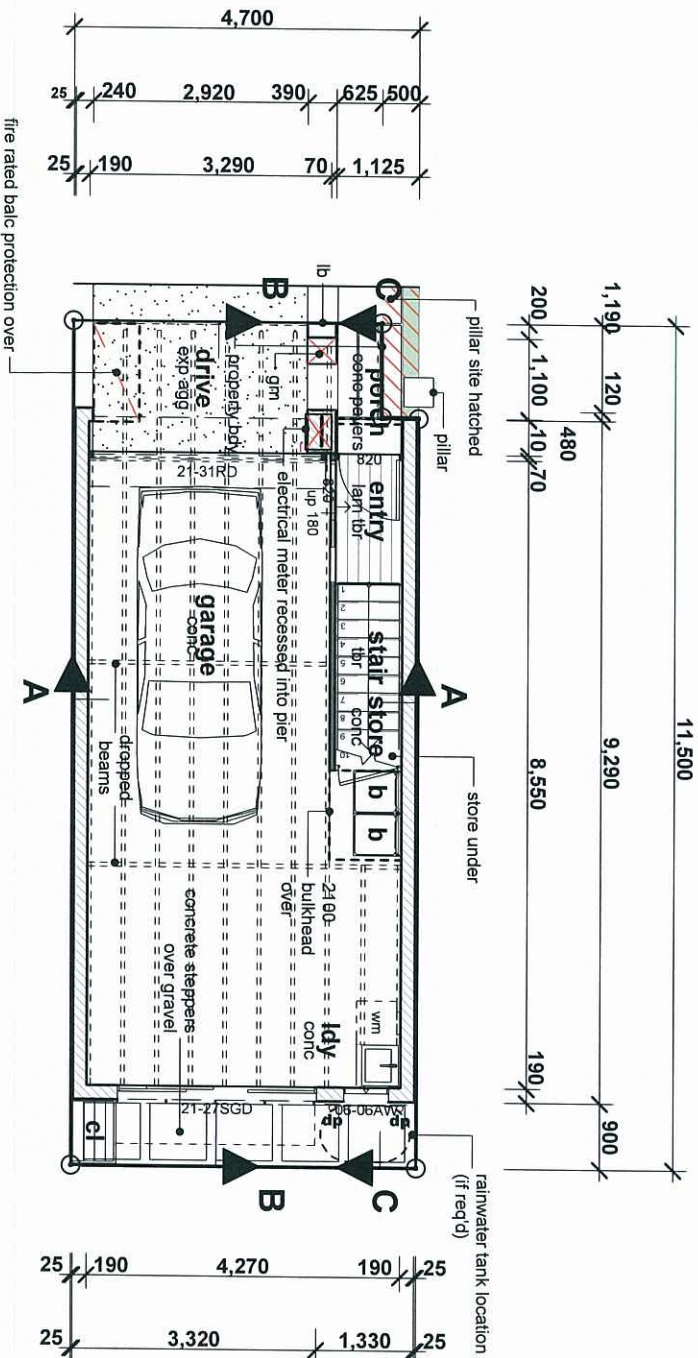
referred to in
20/6/12

APPROVAL

AMENDMENTS			
AD	ad	27.01.12	Issued for Builders Pricing
AD	ad	02.02.12	Staff and Bath Amendments
AD	th	02.02.12	New design/service pillar
AD	ad	25.03.12	Garage/openings/kitchen



Client Urban Land Development Authority	Status: DD	Date: 18.03.12
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	Drawing Title:	
Project Name Nano Loft 1 01	Sections	
Project No: ULD027	Drawing No.: DD 04.01 D	



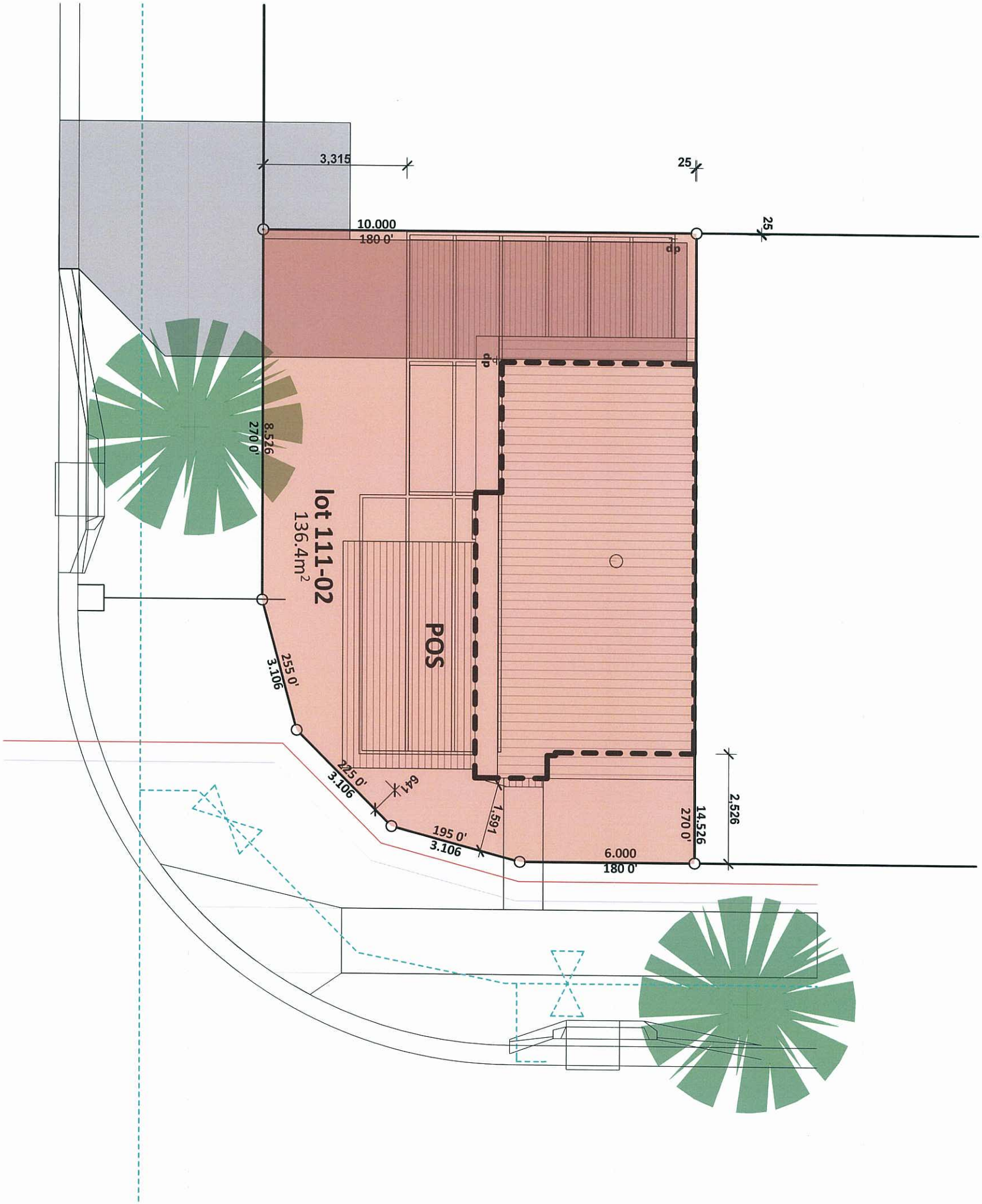
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B	02.02.12	Stair and Bath Amendments	tb	AD	
C	25.02.12	New design/service pillar	tb	AD	
D	18.03.12	Garage/openings/kitchen	ad	AD	

Client		Status DD		Date: 18.03.12	
Urban Land Development Authority		Scale: 1:100 @ A3		Drawn by: ad	
Project Name		Drawing Title:		Floor Plans	
Nano Loft 1 01		Project No:		Drawing No.:	
		ULD027		DD 02.01 D	



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6/12

AMENDED IN RED
19 JUN 2012
By: K McGill (name)
of the ULDA



Not part of this approval

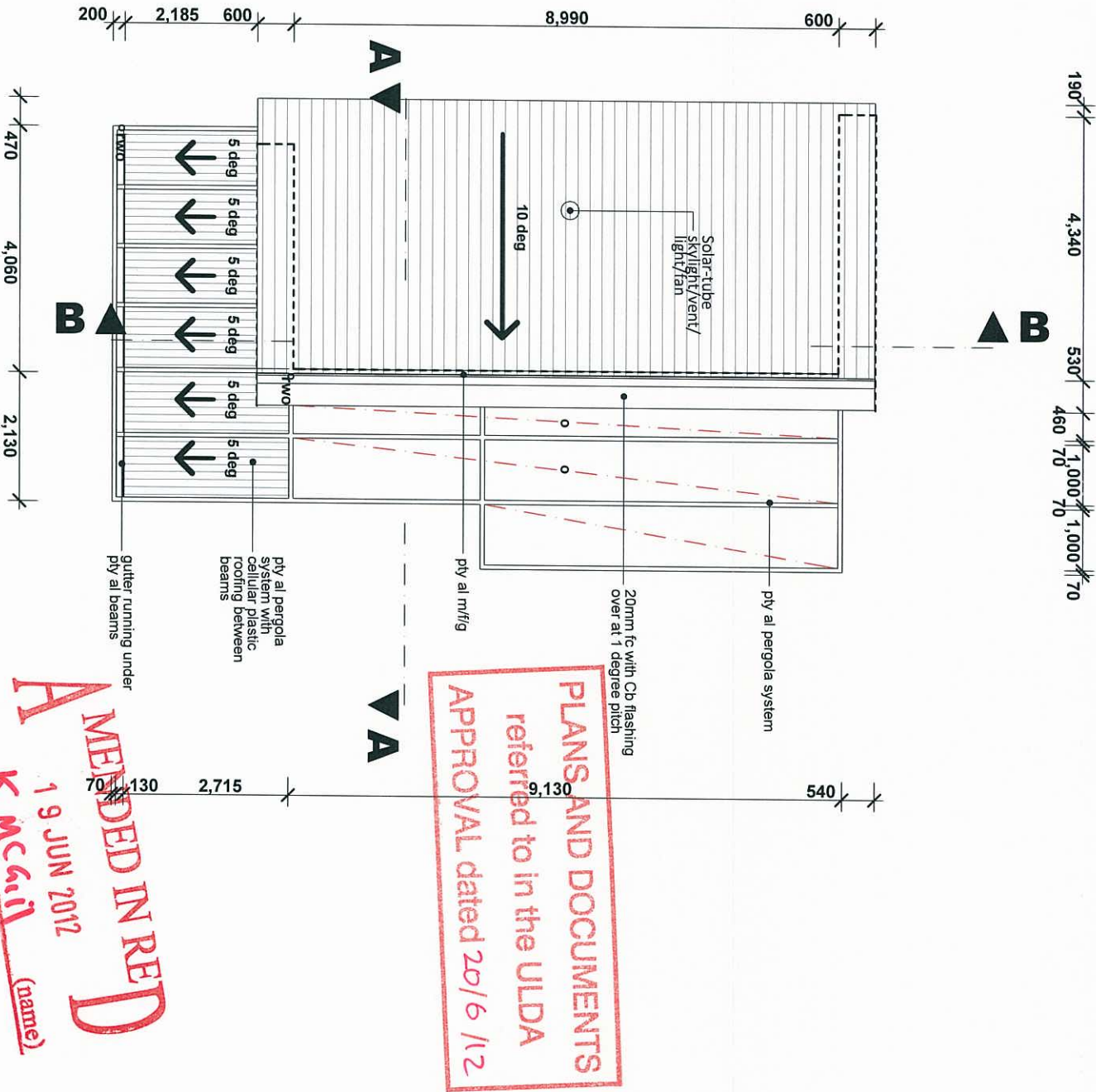
TYPE B

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AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Pricing	ad AD
 urban land development authority			
Ground Floor internal area 40.3 m² carport 19.9 m² pos 16.4 m² sub-total 60.1 m² First Floor internal area 39.4 m² balcony sub-total 44.6 m² GFA 79.7 m² cover area 56.7 m²			
 N			
<i>Hemphreys</i> <i>Design Collection</i> Client Urban Land Development Authority Project Name Lot 2 - Sprout Garden Terrace (B)			
Status: DD	Date: 16.09.11		
Scale: 1:100	@ A3	Drawn by: ad	
Drawing Title:	Site & Location Plan		
Project No: ULD09	Drawing No.:		
111-02	C	DD 01.01	

degenhart
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ac	air conditioner	mb	meter box
adcm	aust'n domestic constr'n manual	mf	selected pty metal fascia
ag	agricultural drain	mg	selected pty metal gutter
aj	articulated joint	mpr	multi-purpose room
al	selected finish aluminium	mw	microwave
as	australian standards	n	nominal
aw	top hung awning window	n	north
b	basin	nom	nominal
ba	building approval assessment	nrg	pty greenboard cladding
bb	brick band	ns	natural surface
bby	boundary	nsi	natural surface level
bfd	bi-fold door	o	open
bh	bulkhead	obs	obscure glazing
bik	blockwork	oh	overhead and/or overhang
bm	basin mixer	omp	outer most projection
bmk	brickwork	pb	painted brick
bs	bar sink	pc	parapet capping
bs	basin spout	pdr	powder room
bt	bath tub	pf	painted finish
bv	brick veneer	ptc	parallel flange channel
cb	Colorbond finished metal	ph	pitching height
ch	ceiling height	pld	auto panel lift door
chs	circular hollow section	pos	private open space
cl	centreline	ps	plumbing stack
clg	ceiling	pty	pantry
cp	control panel	pty	proprietary
cpd	cupboard	r	robe
csd	cavity sliding door	ra	return air vent
ct	concrete tile roof	rb	rubbish bin
d	dryer	rd	roller door
dc	drying court	ref	refrigerator
dn	down	rh	rangehood
dp	down pipe	rl	relative level
dww	dishwasher	rm	rendered masonry
dwr	drawer	rsr	riser
ej	expansion joint	rwo + s	rain water outlet
ens	ensuite	rwt	rain water tank
ent	entry	s	south
ep	Energex pillar	sa	smoke detector alarm
eq	equal	sc	self closing
fb	face brick	sd	soap dish
fbl	face block	se	sewer
fc	fibre cement	sf	stone finish
fc/p	fibre cement painted	sgd	sliding glass door
fcu	fan coil unit	shr	shower
fg	fixed glazing	shs	square hollow section
flr	floor	sl	self locking
fm	face masonry	sm	shower mixer
fri	fire resistance level	smd	smoke detector
fsl	floor surface level	sp	survey plan
fw	floor waste	sr	shower rose
gar	garage	st	solar tube skylight/vent
gl	glass louvre window	stc	sound transmission class
gnd	ground	sv	stone veneer
gnf	good neighbour style tmbr fence	sw	sliding window or storm water
gp	gully pit yard drain	t	laundry tub
gpd	glass panel door	tc	texture coating
hc	hose cock	tmbr	timber
hmpr	square arch hamper	tp	treated pine
hp	hotplates	tr	towel rail / ring
ht	height	trh	toilet roll holder
hw	hard wood	tv	timber veneer
hws	hot water service	typ	typical
hwu	hot water unit	ubo	under bench oven
kd	kiln dried	uno	unless noted otherwise
ks	kitchen sink	upvc	unplasticised poly vinyl chloride
lb	letterbox	wb	weatherboard
ld	leaf diverter	wc	water closet/toilet
ldng	landing	wir	walk in robe
ldy	laundry	wm	washing machine
lin	linen	wo	wall oven

Legend



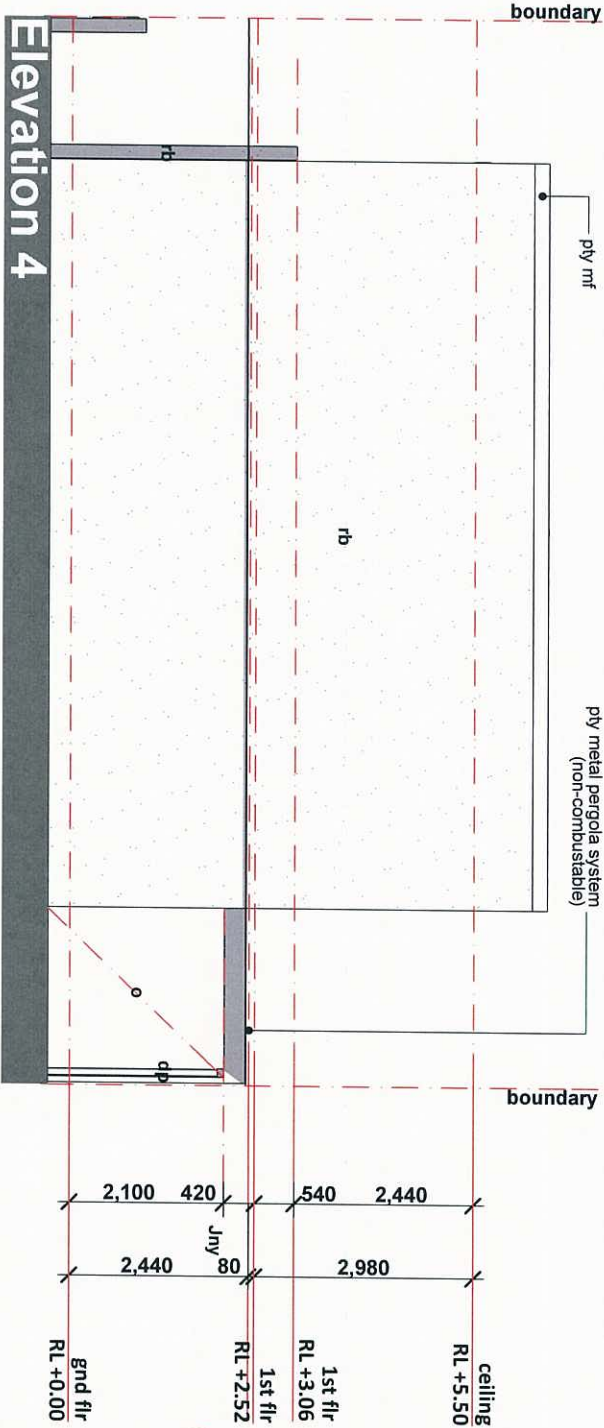
TYPE B

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AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Pricing	ad AD

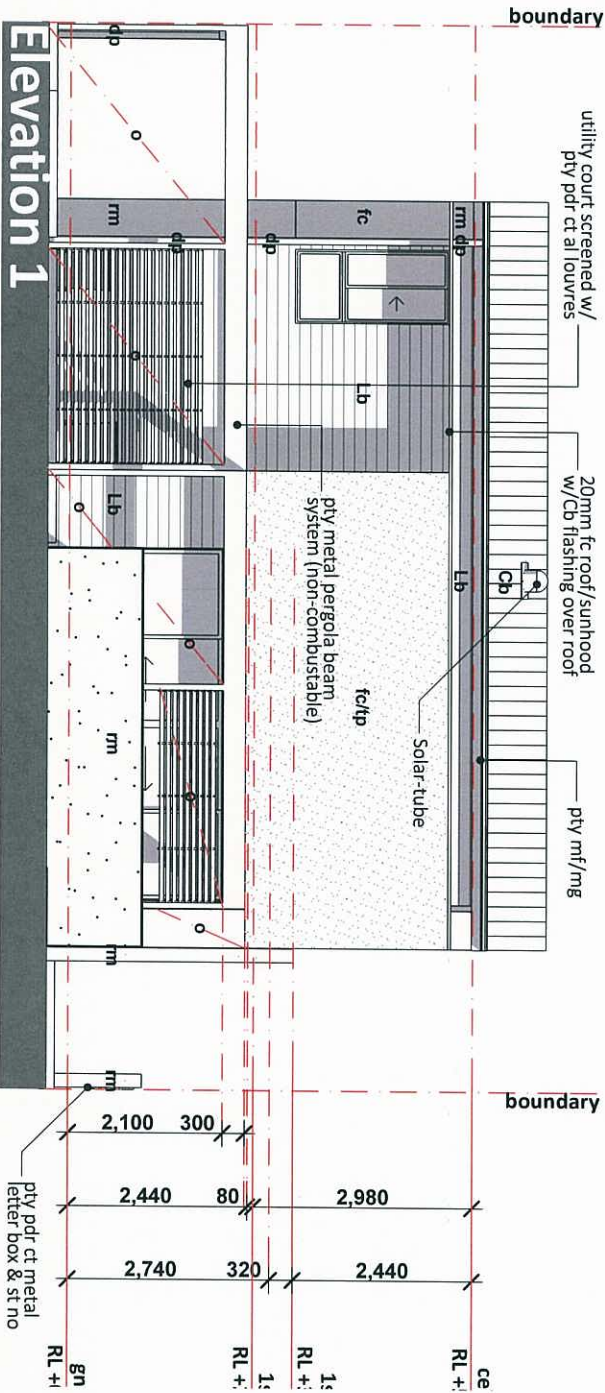
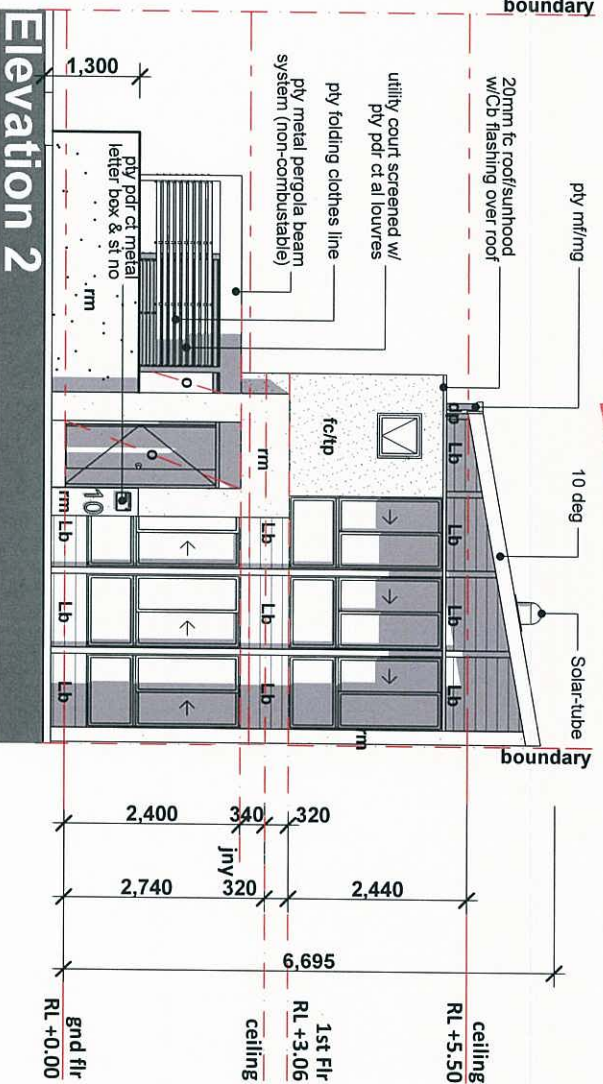
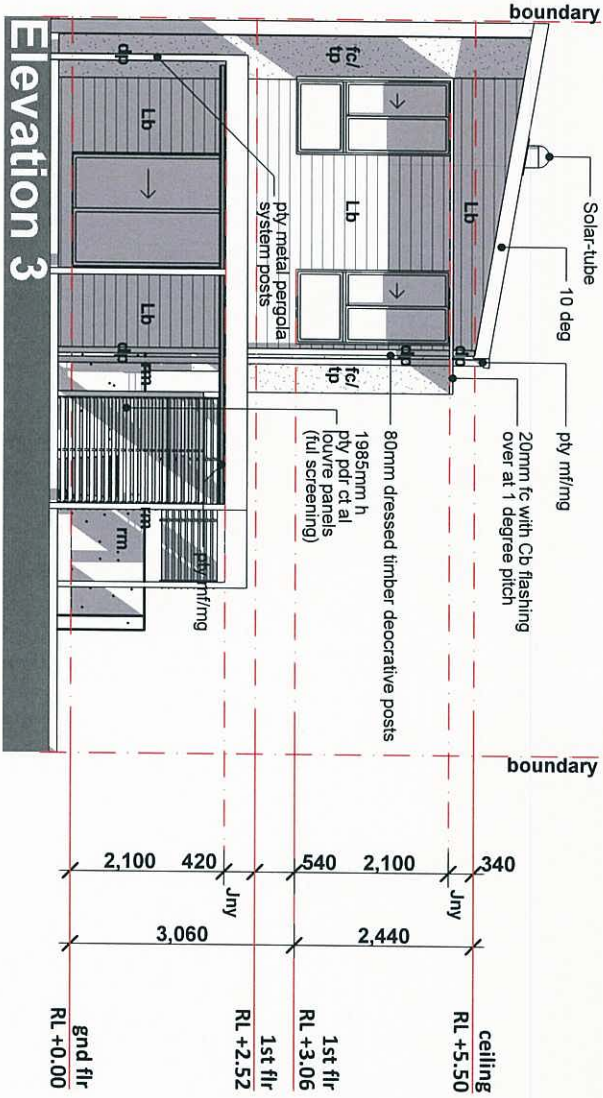


urban land development authority

Client	Henegrean Design Collection	Status: DD	Date: 16.09.11
Client	Urban Land Development Authority	Scale: 1:100	@ A3
Project Name	Lot 2 - Sprout Garden Terrace (B)	Drawing Title:	Roof Plan & Legend
Project No.	ULD009	Drawing No.:	DD 02.02



PLEASE READ DOCUMENTS
referred to in the UDA
APPROVAL dated 20/6/12



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AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Pricing	ad AD



Honeybeam Design Collection

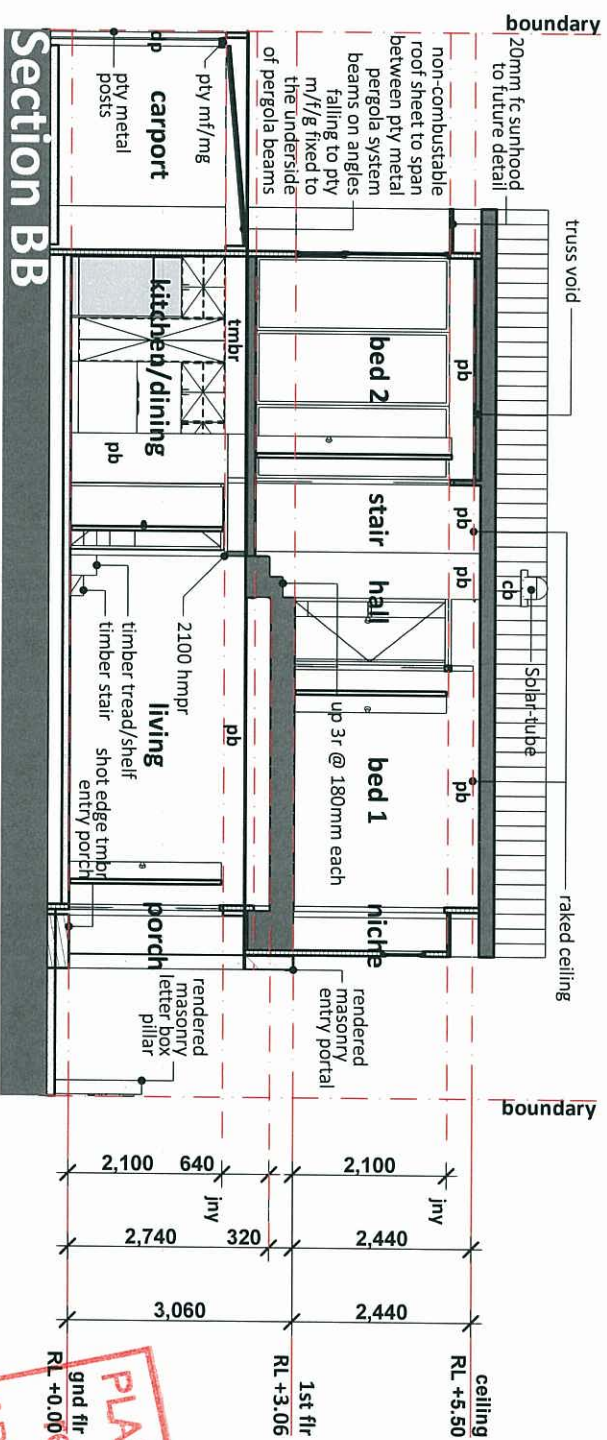
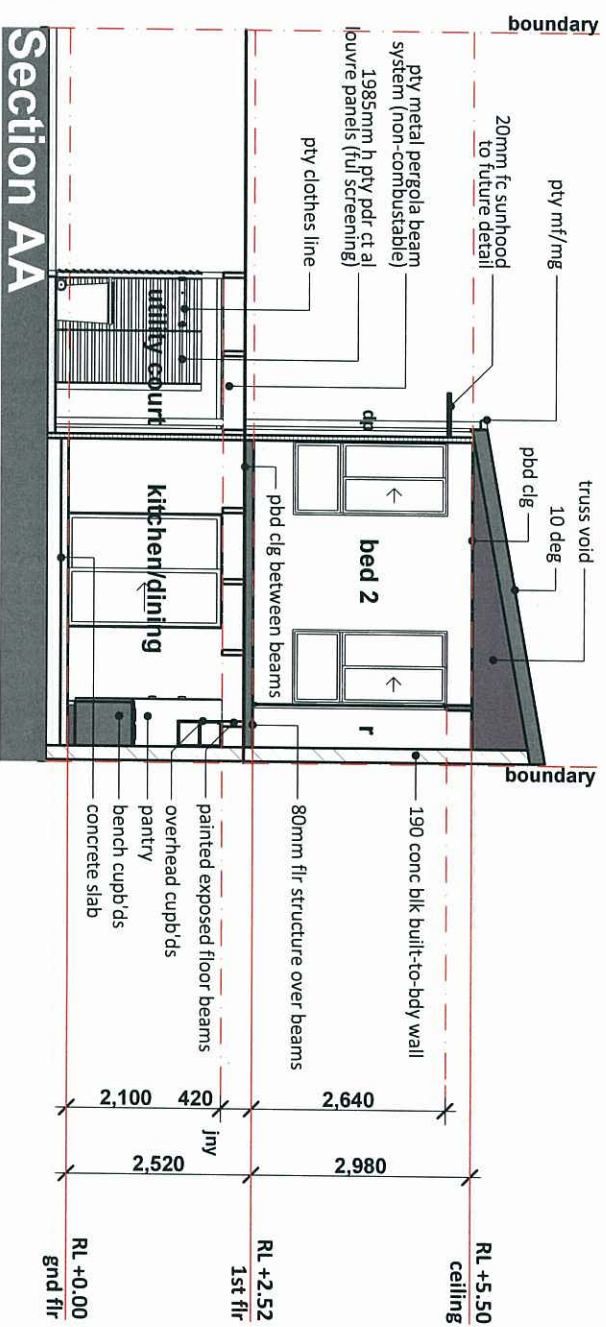
Client
Urban Land Development Authority

Project Name
Lot 2 - Sprout Garden Terrace (B)

Status: DD	Date: 16.09.11
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title: Elevations	
Project No.: ULD009	Drawing No.: DD 03.01

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TYPE B



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AMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Preparing	AD



Hemgrew Design Collection		Status: DD	Date: 16.09.11
Client	Urban Land Development Authority	Scale: 1:100 @ A3	Drawn by: ad
Sections		Drawing Title:	
Project Name	Lot 2 - Sprout Garden Terrace (B)	Project No.: ULD009	Drawing No.: DD 04.01

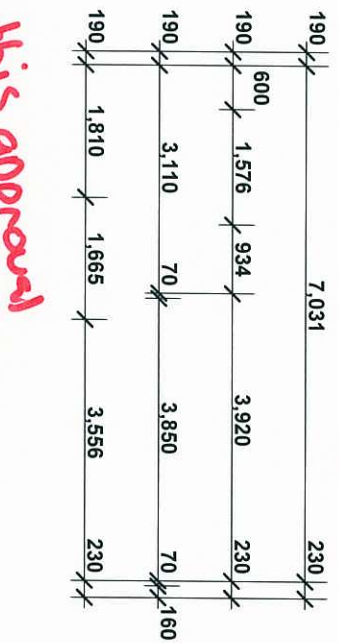
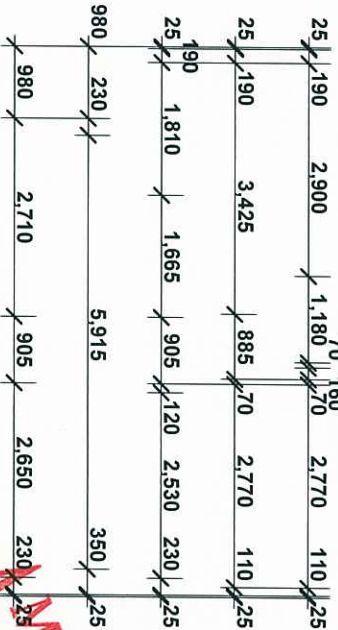
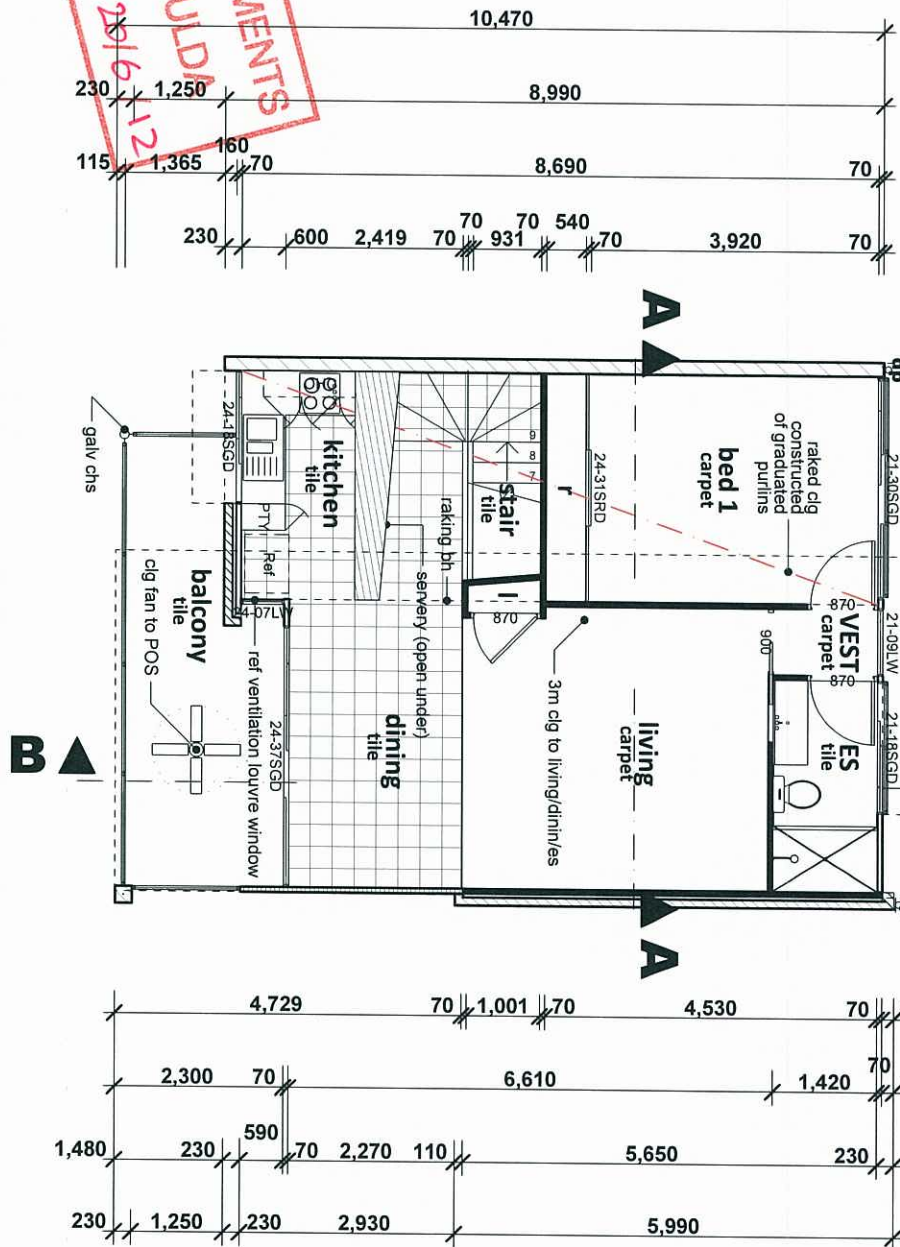
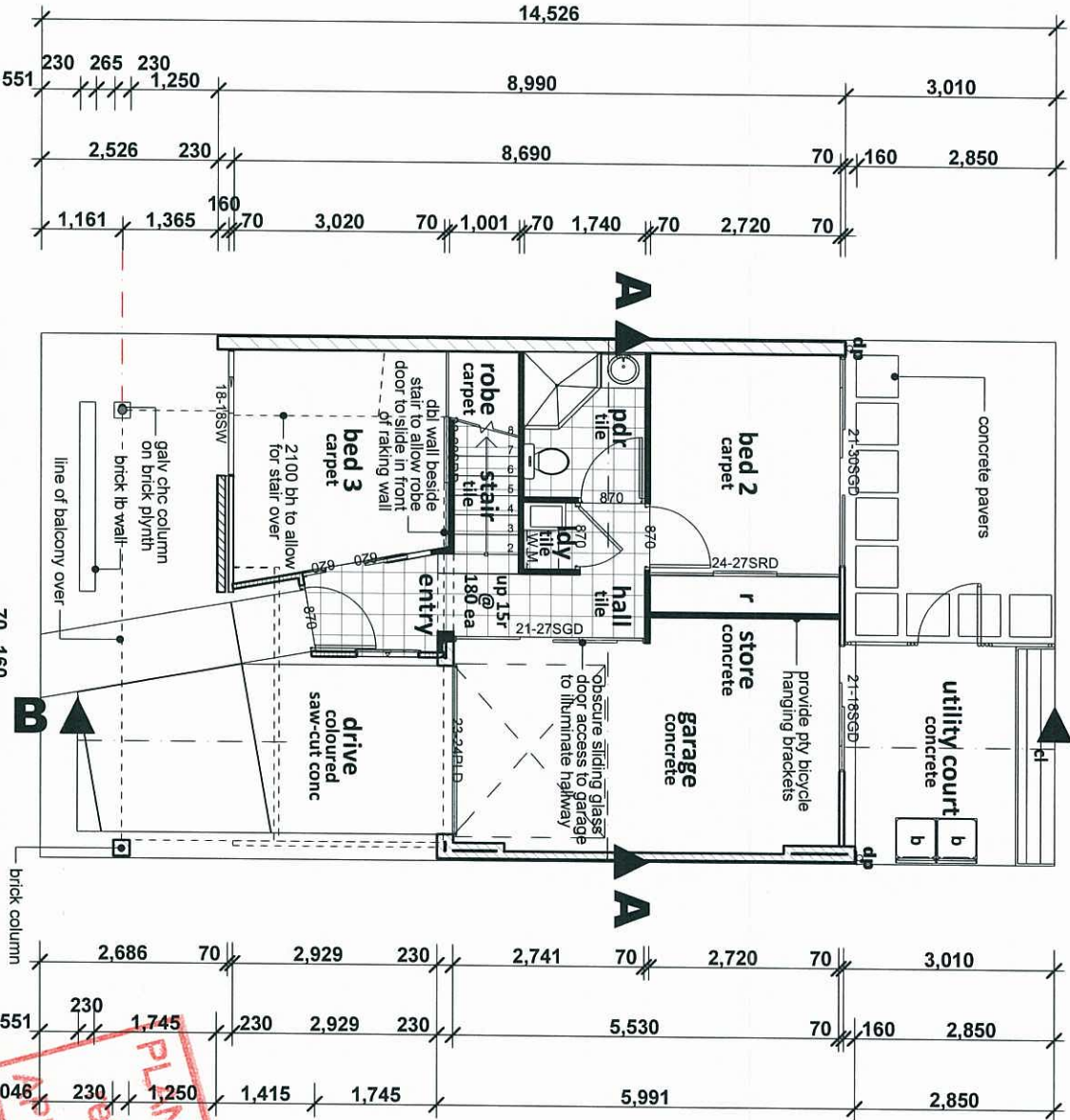
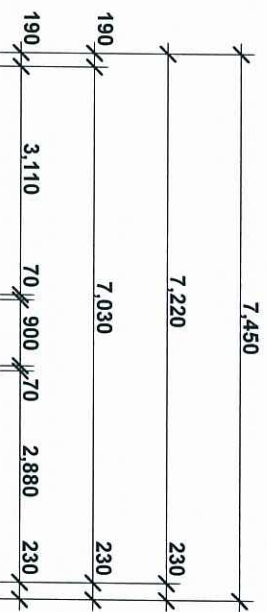
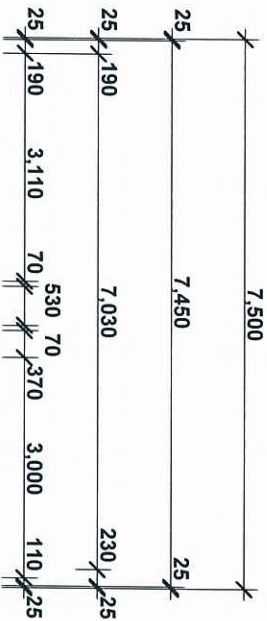
Status: DD	Date: 16.09.11
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title:	
Sections	
Project No.: ULD009	Drawing No.: DD 04.01
111-02 C	

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CHEN

TYPE B



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SHEDD



PLANS AND DOCUMENTS
referred to in the ULD/
APPROVAL dated 20/6/12

AMENDED IN RED
19 JUN 2012
(name)

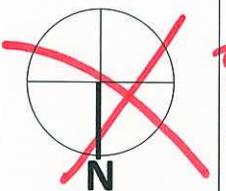
not part of this approval

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AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Pricing	ad AD



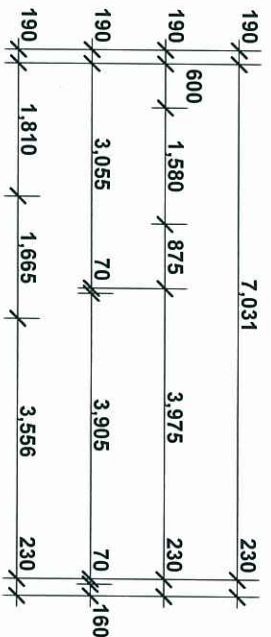
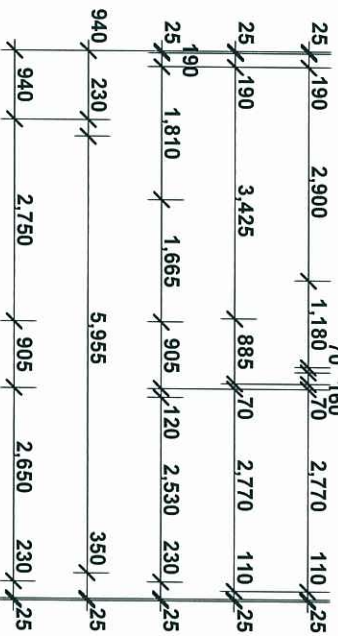
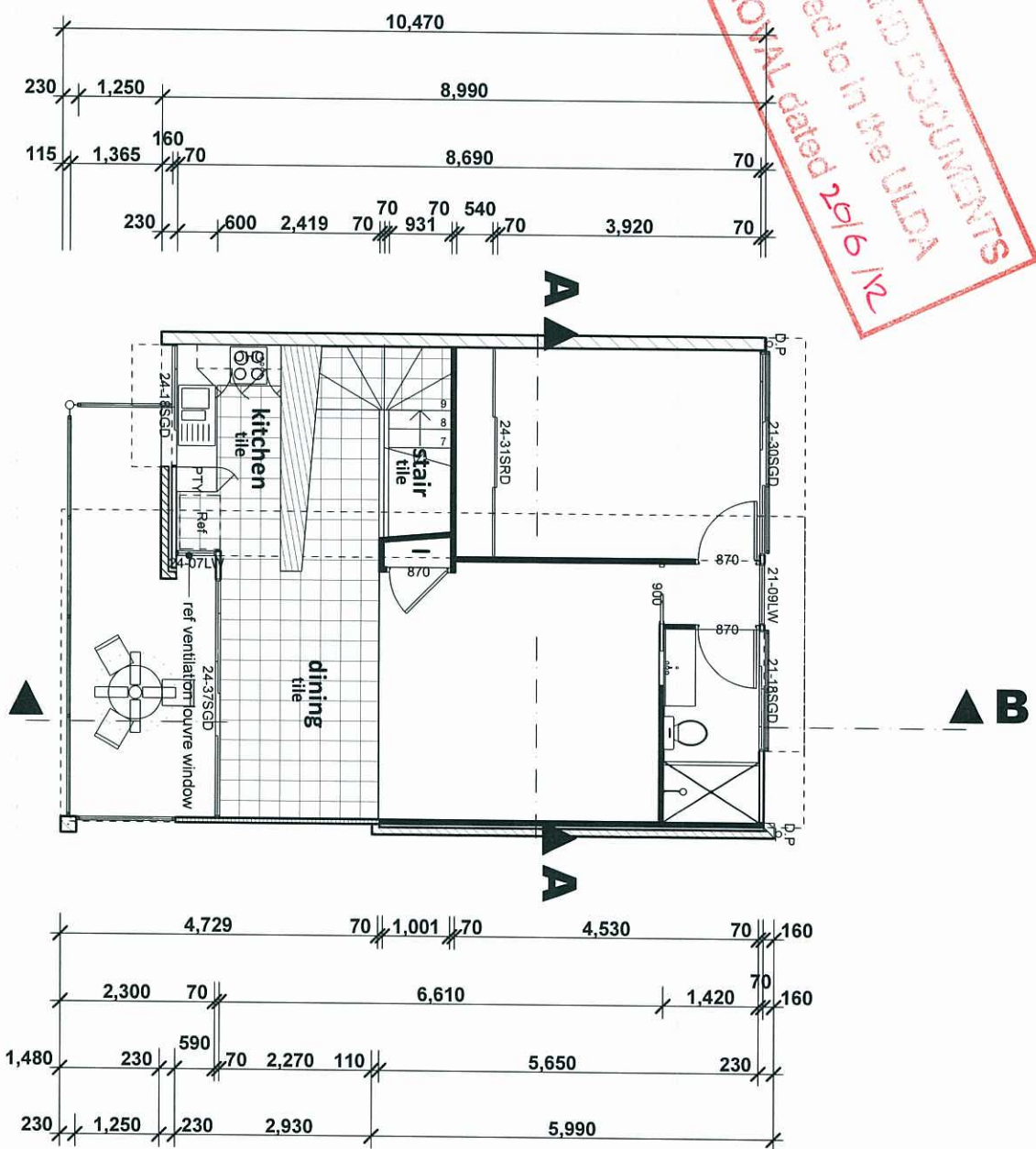
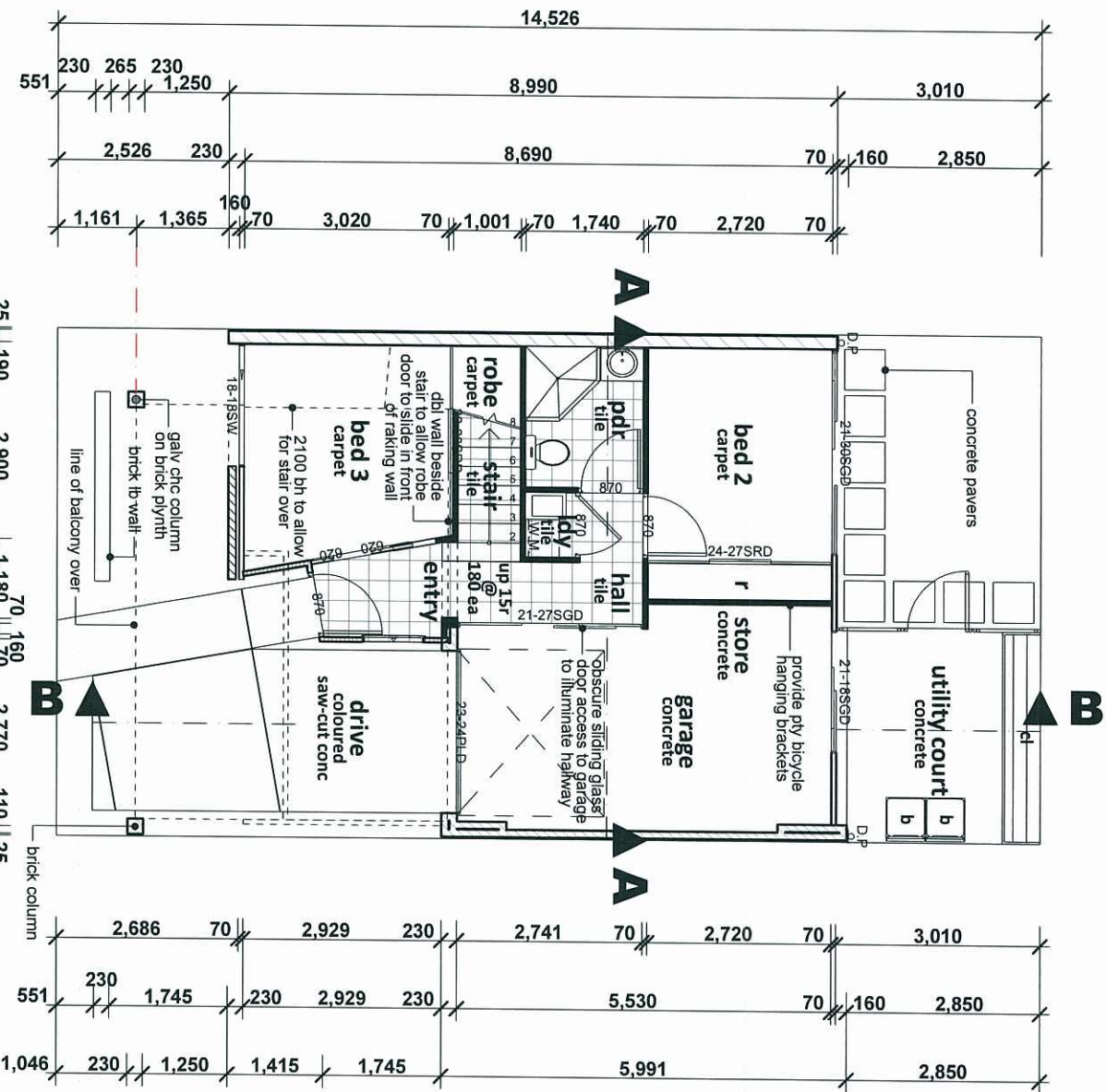
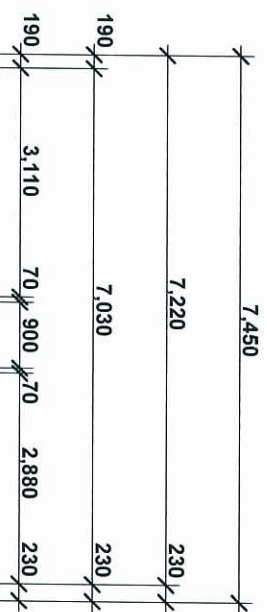
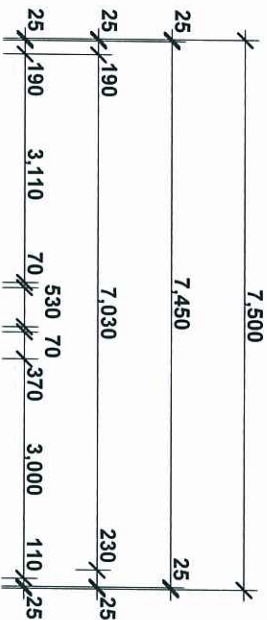
Ground Floor		First Floor	
internal area	35.8 m ²	internal area	63.7 m ²
garage	20.8 m ²	balcony	11.8 m ²
sub-total	56.6 m ²	sub-total	75.5 m ²
GFA cover area			99.7 m ²
			68.6 m ²



Hemphrey Design Collection		Status: DD	Date: 16.09.11
Client	Urban Land Development Authority	Scale: 1:100	@ A3
Project Name	Lot 3 - Stem Outlook Terrace (C)	Drawing Title:	Floor Plans
		Project No:	ULD009
		Project No:	111-03 C
		Drawing No.:	DD 02.01

degenhart
SHEDD

TYPE C1



AMENDED IN RED
19 JUN 2012
BY: **KMcKILL** (name)
of the ULDA

Not part of this approval

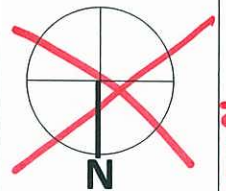
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 26/6/12

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AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
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Ground Floor	
internal area	35.8 m ²
garage	20.8 m ²
POS	11.8 m ²
sub-total	56.6 m ²
First Floor	
internal area	63.7 m ²
balcony	11.8 m ²
sub-total	75.5 m ²
GFA	99.7 m ²
cover area	68.6 m ²



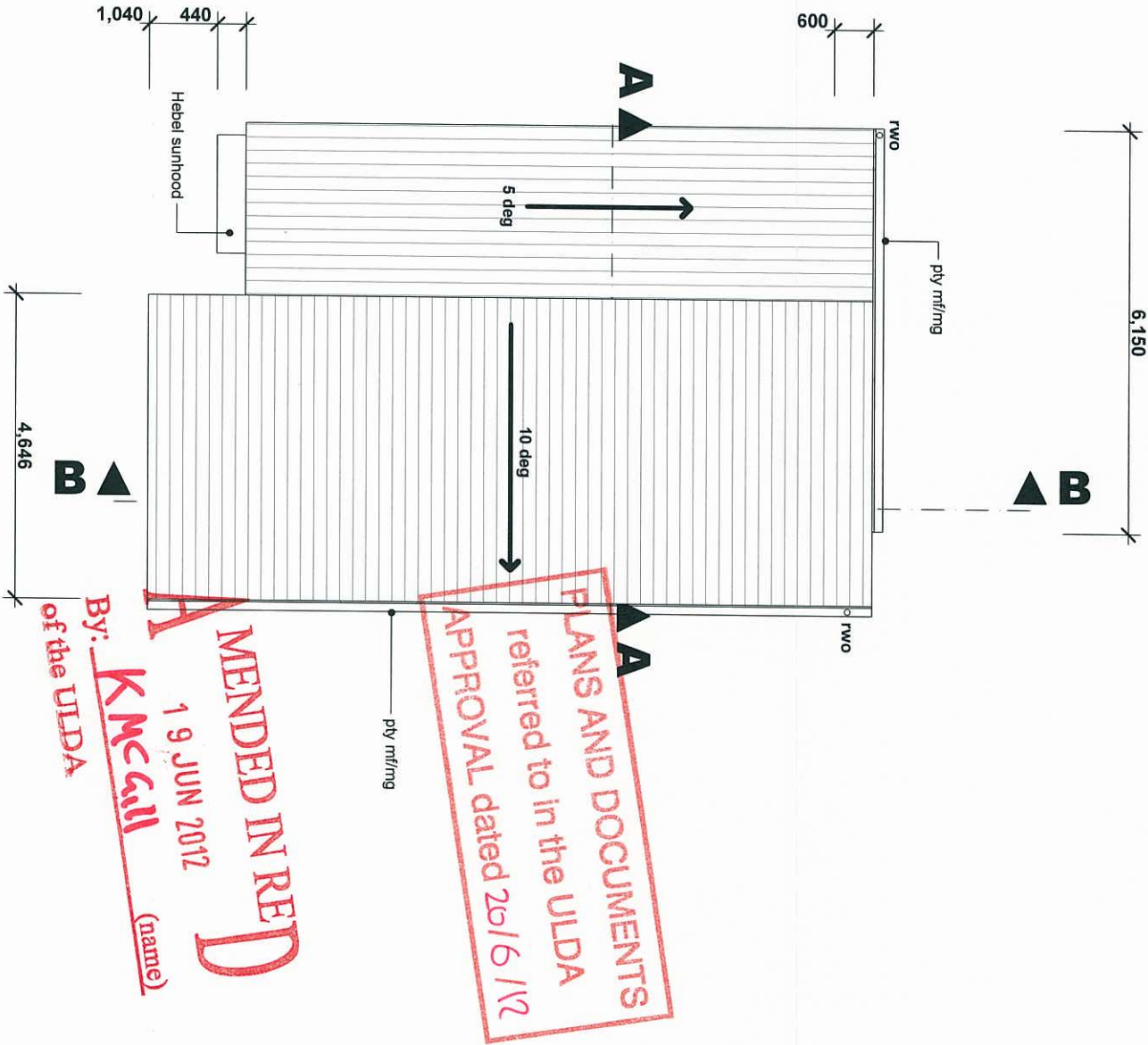
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Client	Urban Land Development Authority
Project Name	
Status: DD	Date: 16.09.11
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title:	
Floor Plans	
Project No.: UDD09	Drawing No.: 111-04 C DD 02.01

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SHEDD

TYPE C2

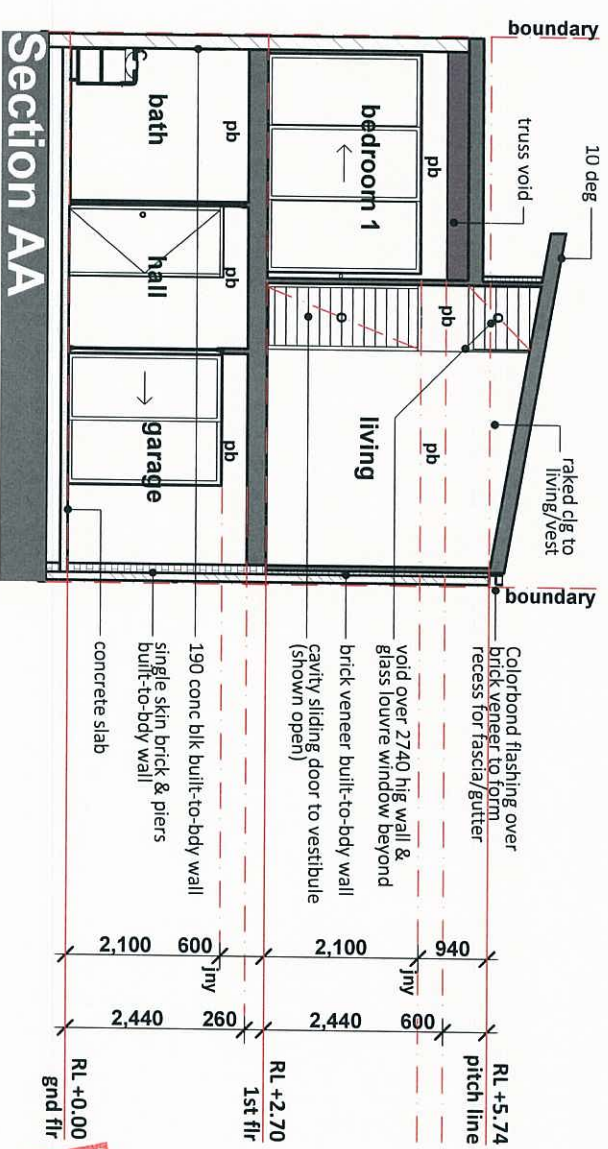
ac	air conditioner	mb	meter box
adcm	aust'n domestic constr'n manual	mf	selected pty metal fascia
ag	agricultural drain	mg	selected pty metal gutter
aj	articulated joint	mpr	multi-purpose room
al	selected finish aluminium	mw	microwave
as	australian standards	n	nominal
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brk	brickwork	pb	painted brick
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dp	down pipe	rl	relative level
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fbl	face block	se	sewer
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hw	hard wood	tv	timber veneer
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hwu	hot water unit	uno	under bench oven
kd	kiln dried	upvc	unplasticised poly vinyl chloride
ks	kitchen sink	wb	weatherboard
lb	letterbox	wc	water closet/toilet
ld	leaf diverter	wir	walk in robe
ldng	landing	wm	washing machine
ldy	laundry	wo	wall oven
lin	linen		

Legend

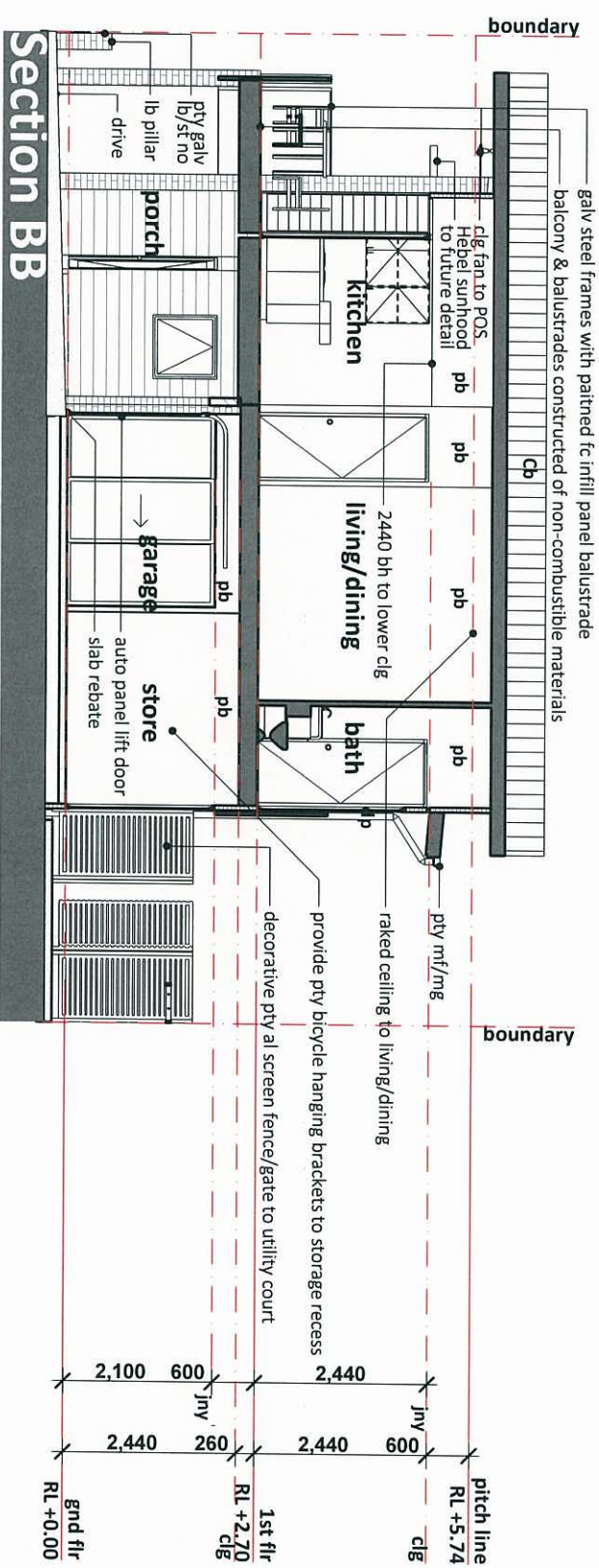


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AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Pricing	ad AD
			
			
Client		Status: DD	
Urban Land Development Authority		Scale: 1:100 @ A3	
Project Name		Drawing Title:	
		Roof Plan & Legend	
Project No.: 111-04		Drawing No.: DD 02.02	
C		DD 02.02	

TYPE C2



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6/12



AMMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD
B	13.09.11	Preliminary DA Information	ap AD
C	16.09.11	Issued for Builder's Pricing	ad AD



Hemgton Design Collection

Client
Urban Land Development Authority

Project Name
Lot 4 - Stem Outlook Terrace (C)

Status: DD	Date: 16.09.11
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title:	
Sections	
Project No: ULD009	Drawing No.:
111-04 C	DD 04.01

TYPE C2

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