

NOTES

General

1. Maximum building height is 2 storeys.

Orientation

2. Dwelling entrances are to be clearly defined and articulated to address the Primary Street Frontage.
3. Garages are to be located on southern or western boundary of lot where possible to maximise the solar access from the north-easterly direction.

Setbacks

4. Setbacks are as per the Building Setback Table unless otherwise specified.
5. Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres. Where Built to boundary walls are not adopted, side setbacks shall be in accordance with the Building Setback Table.
6. Built to boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres unless where located on a terrace or urban allotment.
7. Boundary setbacks are measured to the walls of the structure.
8. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
9. First floor on single and multi-family lots must be built to meet the minimum first floor setbacks.
10. Laneway garage is to be setback 1.0m.
11. For Urban Allotment typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.
12. For lots 95-107 the laneway setback, from property boundary to building line is 1.6m to accommodate service alignments and requirements.

Car Parking & Driveways

13. No vehicular access to Bedford Road
14. Minimum of 1 covered on-site car parking space is to be provided for each dwelling.**
15. Garages are to be recessed behind the main building line except where on laneways.
16. For Conventional allotments (not Laneway Allotments) the following applies:
- Double garages will not be permitted on single storey dwellings on a lot less than 12.5m wide
 - Double garages will not be permitted on any lot less than 10.0m wide
 - Double garages may be permitted on a lot greater than 10.0m in width and less than 12.5m in width where the: - The garage is setback at least 1m behind the main face, excluding balconies, of the dwelling AND - The garage doors are articulated, comprise a mix of materials and colours, or are staggered
 - The maximum width of a driveway: - Serving a double garage shall be: 4.8m at the lot boundary - Serving a single garage shall be 3.0m at the lot boundary

- On lots with a frontage of less than 12.5 metres: - The maximum width of a garage shall be no more than 40% of the lot frontage
 - double width garages are not permitted unless complying with note 16, bullet point 3.
17. A maximum of one driveway per dwelling is permitted.
18. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars
19. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0 metres
20. Garages served off a Laneway must be built to meet the minimum 1.0 metre recess behind the main building line
- ** On site car parking to be in accordance with the ULDA guideline no.7: Low Rise Buildings**

Site Cover and Amenity

21. Site cover of each lot is not to exceed 60% at ground level and 50% at the second level. Urban, terrace and loft allotments should not exceed 85% of the lot area at ground level.
22. Private open space (POS) at ground level must not be less than 12m² and minimum dimension of 2.4m and with a maximum gradient not exceeding 1 in 10. Private amenity space for apartments/ units above ground level must not be less than 5m² which may be in the form of a balcony with a minimum dimension of 1.2m. Urban loft dwellings may have a minimum POS area of 5m².
23. Second storey verandas and windows are screened or obscured when overlooking a side or rear boundary or where within 9 metres of another residence or overlooking Private Open Space.

Fencing & Landscaping

24. Private Open Space on each lot is generally located for access to northern, north-easterly or eastern sunlight where possible.
25. Fencing of primary frontage is to be **50%** transparent with a maximum height of 1.5m; OR solid fencing with a maximum height of 1.2m;
26. Fencing of Lots adjoining Bedford Road are to be partially transparent with a maximum height of 1.5m; **OR** solid fencing with a maximum height of 1.2m; **AND** shall provide pedestrian gate/ access to public pathways on Bedford Road.
27. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).
- *****

Buildings

28. Buildings with a width of more than 10 metres that are visible from a street or a park should be articulated to reduce the mass of the building by:
- windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - shadow lines created on the building through minor changes in the facade (100 millimetres minimum)

Infrastructure Contributions

29. Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with Mackay Regional Council's Planning Scheme Infrastructure Charges Policy. The payment will be made to the ULDA prior to survey plan endorsement.

30. Specified below are the approved house plan options for the lots < 250m2

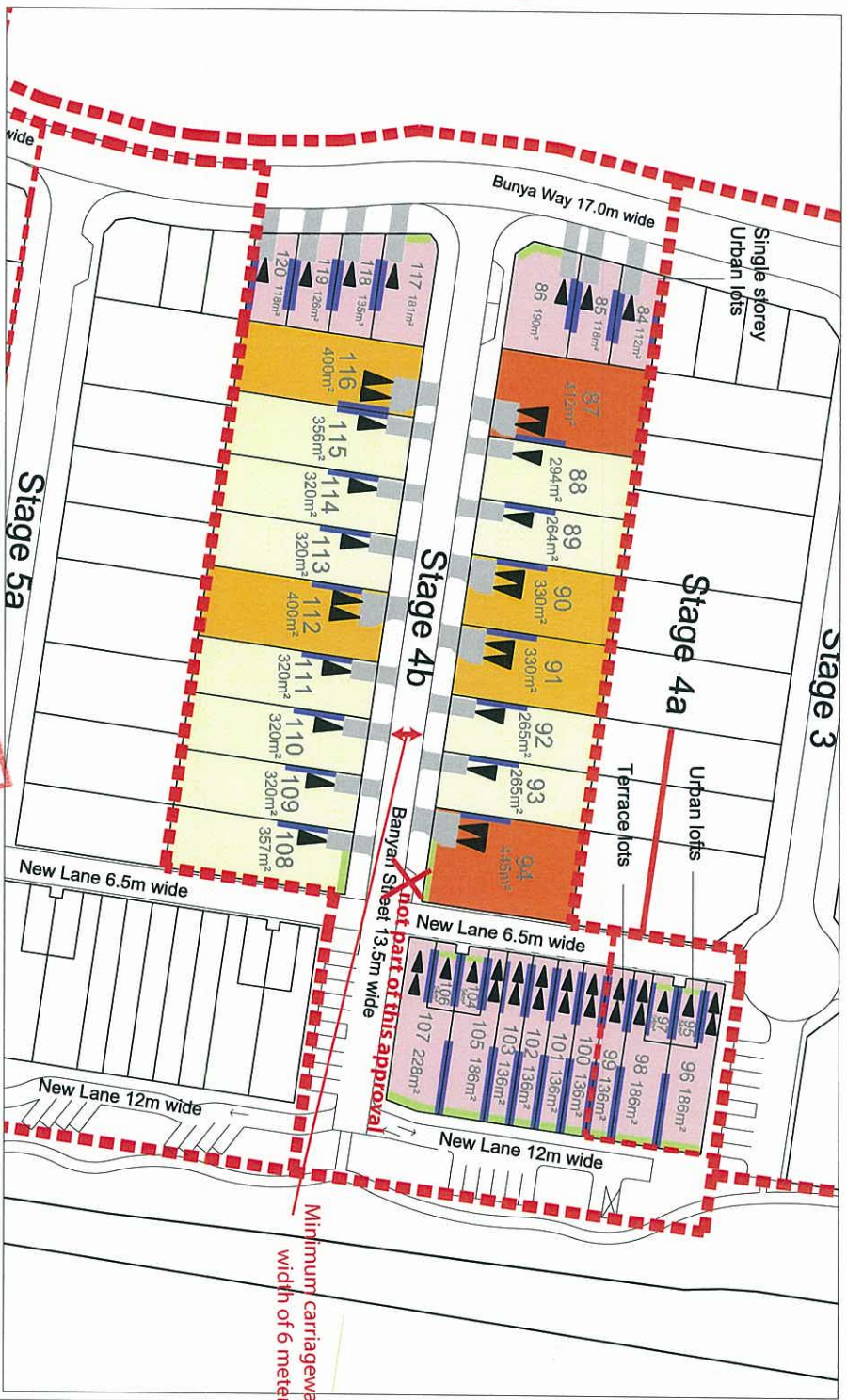
Lots 96, 98-103, 105, 107: 4.5m Terrace
Lots 85, 97, 104, 106: Nano Loft 1 01
Lots 84-85 & 118-120: Type C1, Type C2, Type E1, Type E2, Type E3, Type H1, Type H2
Lots 86 & 117: Type B, Type H1, Type H2

These house plans can be mirrored where the driveway location and built-to-boundary walls are consistent with the approved POD.

31. Houses on lots less than 250m2 to include the following:

- a) All balustrades that are visible from the street are to be 50% visually permeable
- b) Landscaping at the front of each lot/ dwelling is to be provided at a minimum depth of 500mm along the front boundary and is to reinforce the dwelling entry and positively contribute to the streetscape.
- c) Windows to be provided with adequate sun shading and weather protection.

******* Where adjoining a residential boundary, any side boundary fences are to extend from the rear boundary to align with the front facade of the dwelling but shall not extend beyond the front boundary building setback. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.



LEGEND

- Covered carparking
- Position indicative only
- Driveway location
- Position indicative only

- Possible built to boundary wall

- Primary Frontage & Address

BUILDING SETBACK TABLE

Width of lot frontage															
Villa Allotments		Villa Allotments		Courtyard Allotments		Traditional Allotments		Multi-Family Allotments		Terrace Allotments (1) Double storey		Urban Allotments (2) Single storey		Lot's Allotments (3) Double storey	
10m-12.4m		12.5m-14.9m		15m-19.9m		20m+		-		4.5m-10m		4.5m-10m		4.7m	
Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	NA	NA	2.4*	2.4	NA	NA
Side															
- build to boundary	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	NA	0.0	NA	NA	NA
- not build to boundary line	0.9	0.9	1.0	1.0	1.0	1.5	1.2	2.0	1.2	2.0	NA	0.9	NA	NA	NA
Rear	0.9	1.0	0.9	1.0	0.9	1.0	1.0	2.0	1.0	2.0	NA	0.9	1.0	NA	NA
Secondary frontage															
1.5															

* 4.5m to garage or carport door

(1) For additional indicative detail on the Urban Allotment Product refer to the "My Place drawings - ULD016: DD04.01 from Degenhart Shedd Architects"

(2) For additional indicative detail on the Urban Allotment Product refer to the "My Place drawings - ULD018: DD 00.01 from Degenhart Shedd Architects"

(3) For additional indicative detail on the Urban Loft Product refer to the "My Place drawings - ULD027: DD 00.01D from Degenhart Shedd Architects"



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PROJECT
STAGE 4
ANDERGROVE UDA
MACKAY

CLIENT
URBAN LAND
DEVELOPMENT
AUTHORITY

NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1	PRIE LOT RECONFIGURATION	TV	TV	06.06.2010
2	PRIE LOT RECONFIGURATION	TV	TV	16.09.2010
3	PRIE LOT RECONFIGURATION	TV	TV	22.09.2010
4	PRIE LOT RECONFIGURATION	TV	TV	26.09.2010
5	PRIE LAYOUT CHANGE	JS	TS	22.12.2010
6	PRIE TEXT CHANGE	JS	TS	20.07.2011
7	PRIE TEXT CHANGE	JS	TS	02.08.2011
8	PRIE TEXT CHANGE	JS	TS	03.11.2011
9	PRIE TEXT CHANGE	JS	TS	07.11.2011
10	PRIE TEXT CHANGE	JS	TS	06.12.2011
11	PRIE TEXT CHANGE	JS	TS	07.12.2011
12	PRIE TEXT CHANGE	JS	TS	12.12.2011
13	PRIE LOT RECONFIGURATION	CA	CK	12.03.2012
14	PRIE LOT RECONFIGURATION	CA	CK	30.03.2012
15	PRIE LOT RECONFIGURATION	CA	CK	12.04.2012

DRAWING TITLE
PLAN OF DEVELOPMENT
FOR STAGE 4

DESIGN : CA
DOCUMENT : ULD23
PROJECT : ULD23
SCALE : 1:1000@A3



SHEET NUMBER ULD23_SK02
REVISION 15

NOTES

General

1. Maximum building height is 2 storeys.

Orientation

2. Dwelling entrances are to be clearly defined and articulated to address the Primary Street Frontage.
3. Garages are to be located on southern or western boundary of lot where possible to maximise the solar access from the north-easterly direction.

Setbacks

4. Setbacks are as per the Building Setback Table unless otherwise specified.
5. Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres. Where Built to Boundary walls are not adopted, side setbacks shall be in accordance with the Building Setback Table.
6. Built to boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres unless where located on a terrace or urban allotment.
7. Boundary setbacks are measured to the walls of the structure.
8. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
9. First floor on single and multi-family lots must be built to meet the minimum first floor setbacks.
10. Laneway garage is to be setback 1.0m.
11. For Urban Allotments typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.
12. For lots 132-144 the laneway setback, from property boundary to building line is 1.6m to accommodate service alignments and requirements.

Car Parking & Driveways

13. No vehicular access to Bedford Road
14. Minimum of 1 covered on-site car parking space is to be provided for each dwelling.***
15. Garages are to be recessed behind the main building line except where on laneways.
16. For Conventional allotments (not Laneway Allotments) the following applies:
- Double garages will not be permitted on single storey dwellings on a lot less than 12.5m wide
 - Double garages will not be permitted on any lot less than 10.0m wide
 - Double garages may be permitted on a lot greater than 10.0m in width and less than 12.5m in width where the:-
 - The garage is setback at least 1m behind the main face, excluding balconies, of the dwelling AND
 - The garage doors are articulated, comprise a mix of materials and colours, or are staggered
 - The maximum width of a driveway:
 - Serving a double garage shall be: 4.8m at the lot boundary
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20. Garages served off a Laneway must be built to meet the minimum 1.0 metre recess behind the main building line

*** On site car parking to be in accordance with the ULDA guideline no.7: Low Rise Buildings

Site Cover and Amenity

21. Site cover of each lot is not to exceed 60% at ground level and 50% at the second level. Urban, terrace and loft allotments should not exceed 55% of the lot area at ground level.
22. Private open space (POS) at ground level must not be less than 12m² and minimum dimension of 2.4m and with a maximum gradient not exceeding 1 in 10. Private amenity space for apartments/ units above ground level must not be less than 5m² which may be in the form of a balcony with a minimum dimension of 1.2m. Urban Loft dwellings may have a minimum POS area of 5m².
23. Second storey verandas and windows are screened or obscured when overlooking a side or rear boundary or where within 9 metres of another residence or overlooking Private Open Space.

Fencing & Landscaping

24. Private Open Space on each lot is generally located for access to northern, north-easterly or eastern sunlight where possible.
25. Fencing of primary frontage is to be **50%** transparent with a maximum height of 1.5m; OR solid fencing with a maximum height of 1.2m;
26. Fencing of Lots adjoining Bedford Road are to be partially transparent with a maximum height of 1.5m. **OR** solid fencing with a maximum height of 1.2m. **AND** shall provide pedestrian gate/ access to public pathways on Bedford Road.
27. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).

Buildings

28. Buildings with a width of more than 10 metres that are visible from a street or a park should be articulated to reduce the mass of the building by:
- windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - shadow lines created on the building through minor changes in the facade (100 millimetres minimum)

Infrastructure Contributions

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30. Specified below are the approved house plan options for the lots < 250m2

Lots 96, 98-103, 105, 107; 4.5m Terrace
Lots 85, 97, 104, 106; Nano Lot 1 01
Lots 84-85 & 118-120; Type C1, Type C2, Type E1, Type E2, Type E3, Type H1, Type H2
Lots 86 & 117; Type B, Type H1, Type H2

These house plans can be mirrored where the driveway location and built-to-boundary walls are consistent with the approved POD.

31. Houses on lots less than 250m2 to include the following:

- a) All balustrades that are visible from the street are to be 50% visually permeable
- b) Landscaping at the front of each lot/ dwelling is to be provided at a minimum depth of 500mm along the front boundary and is to reinforce the dwelling entry and positively contribute to the streetscape.
- c) Windows to be provided with adequate sun shading and weather protection.

*** Where adjoining a residential boundary, any side boundary fences are to extend from the rear boundary to align with the front facade of the dwelling but shall not extend beyond the front boundary building setback. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.



LEGEND

- Covered carparking
- Position indicative only
- Driveway location
- Position indicative only

Possible built to boundary wall

Primary Frontage & Address

BUILDING SETBACK TABLE

		Width of lot frontage											
Lots without lane	Villa Allotments	Villa Allotments		Courtyard Allotments		Traditional Allotments		Multi-Family Allotments		Terrace Allotments (n)		Urban Allotments (n)	
		Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front (Primary)	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4
Side		0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0
- built to boundary		0.0	0.9	1.0	1.0	1.0	1.5	1.2	2.0	1.2	2.0	0.9	0.9
- not built to boundary line		0.9	1.0	0.9	1.0	0.9	1.0	1.0	2.0	1.0	2.0	0.9	1.0
Rear		0.9	1.0	0.9	1.0	0.9	1.0	1.0	2.0	1.0	2.0	0.9	1.0
Secondary frontage													
Park													
- side / rear of lot													
Lots with lane													
Primary frontage													
Side / rear to lane													
Side / rear to park													
Secondary frontage													

* 4.5m to garage or carport door

(1) For additional indicative detail on the laneway Terrace Product refer to the "My Place drawings - ULD016F DD04.01 from Degenhart Shedd Architects"

(2) For additional indicative detail on the Urban Allotment Product refer to the "My Place drawings - 0714 B DD 00.01 from Degenhart Shedd Architects"

(3) For additional indicative detail on the Urban Loft Product refer to the "My Place drawings - ULD077 DD 00.01D from Degenhart Shedd Architects"



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PROJECT
STAGE 5
ANDERGROVE UDA
MACKAY

CLIENT
URBAN LAND
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AUTHORITY

NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1	PNE LOT RECONFIGURATION	TW	TW	08.09.2010
2	PNE LOT RECONFIGURATION	TW	TW	16.09.2010
3	PNE ROAD DESIGN	TW	TW	22.09.2010
4	PNE MOVED BUILT TO BGV WALL LINE	TW	TW	28.09.2010
5	PNE LAYOUT CHANGE	DS	TS	12.12.2010
6	PNE TEXT CHANGE	DS	TS	20.02.2011
7	PNE TEXT CHANGE	DS	JH	02.03.2011
8	PNE TEXT CHANGE	DS	TS	03.11.2011
9	PNE TEXT CHANGE	DS	TS	02.12.2011
10	PNE TEXT CHANGE	DS	TS	02.12.2011
11	PNE TEXT CHANGE	DS	TS	07.12.2011
12	PNE TEXT CHANGE	DS	TS	12.12.2011
13	PNE LOT RECONFIGURATION	DS	CK	12.03.2012
14	PNE LOT RECONFIGURATION	DS	CK	30.03.2012
15	PNE LOT RECONFIGURATION	DS	CK	17.04.2012

DRAWING TITLE
PLAN OF DEVELOPMENT
FOR STAGE 5

DESIGN : CA
DOCUMENT : ULD23
PROJECT : ULD23
SCALE : 1:1000@A3

SHEET NUMBER
ULD23_SK02

REVISION
15



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PROJECT
STAGE 4
ANDERGROVE UDA
MACKAY

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NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1	PRIE LOT RECONFIGURATION	TW	TW	06.09.2010
2	PRIE LOT RECONFIGURATION	TW	TW	16.09.2010
3	PRIE ROAD DESIGN	TW	TW	22.09.2010
4	PRIE LAYOUT CHANGES	JG	TW	04.01.2011
5	PRIE LAYOUT CHANGES	JG	TS	02.12.2011
6	PRIE LOT RECONFIGURATION	CA	CK	08.03.2012
7	PRIE LOT RECONFIGURATION	CA	CK	30.03.2012
8	PRIE LOT RECONFIGURATION	CA	CK	12.04.2012

PRIE: Preliminary | CA: Council Approval | T: Titleholder | CK: Construction

DRAWING TITLE
LOT RECONFIGURATION
LAYOUT FOR STAGE 4

DESIGN : CA
DOCUMENT : ULD11
PROJECT : ULD11
SCALE : 1:1000@A3



SHEET NUMBER
ULD23_SK01

REVISION
8



Development Statistics		
Area	Stage 4a	Stage 4b
Additional Road Reserve	224m ²	4,562m ²
Open Space	-	3,972m ²
Area of lots	620m ²	7,834m ²
Total Area	844m ²	16,368m ²
Lot Mix and Yield		
Traditional (20m frontage)	0	0
Courtyard (15m frontage)	0	2
Villa (12.5 - 14.9m frontage)	0	4
Villa (10m - 12.4m frontage)	0	11
Terrace/Urban/Loft (4.5 -9.9m frontage)	5	15
Total	5 dw	32 dw
Roads		
17m wide (7.5m pavement)	74m	0
13.5m wide (6m pavement)	164m	0
6.5m laneway (5.5m pavement)	38m	22m
Bedford Road laneway and Parking	70m	0

Inset: Showing Stage 4 open space allocation (not to scale)





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PROJECT
STAGE 5
ANDERGROVE UDA
MACKAY
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NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1. PRE	LOT RECONFIGURATION	TW	TW	09.09.2010
2. PRE	LOT RECONFIGURATION	TW	TW	16.09.2010
3. PRE	ROAD DESIGN	TW	TW	22.09.2010
4. PRE	LAYOUT CHANGES	JG	TW	04.10.2011
5. PRE	STAGE BOUNDARY EDIT	DE	TW	02.09.2011
6. PRE	TEXT CHANGES	JG	JN	02.12.2011
7. PRE	LOT RECONFIGURATION	CA	CK	12.03.2012
8. PRE	LOT RECONFIGURATION	CA	CK	30.03.2012
		CA	CK	12.04.2012

DRAWING TITLE
LOT RECONFIGURATION
LAYOUT FOR STAGE 5

DESIGN : CA
DOCUMENT : ULD23
PROJECT : ULD23
SCALE : 1:1000@A3

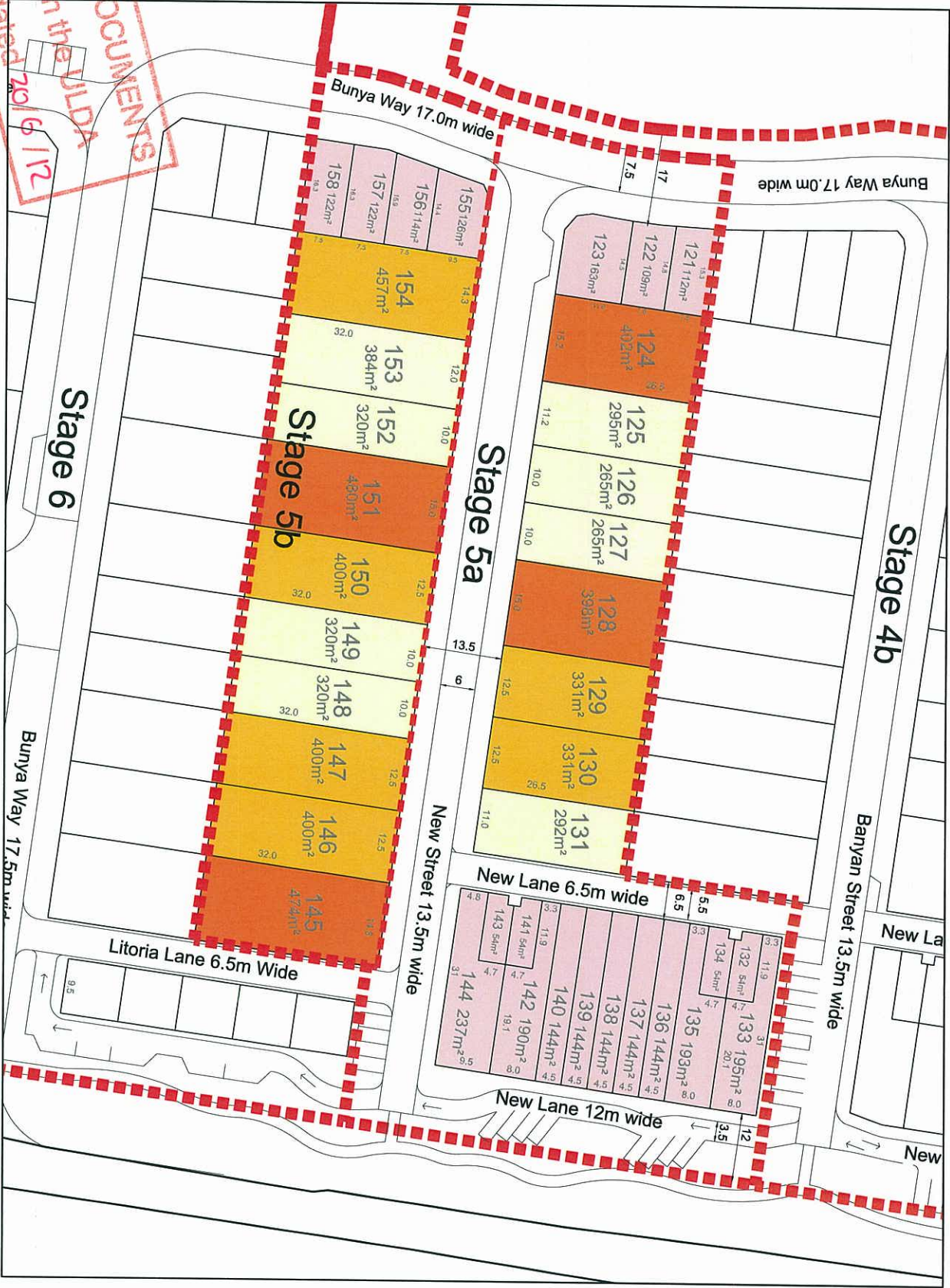


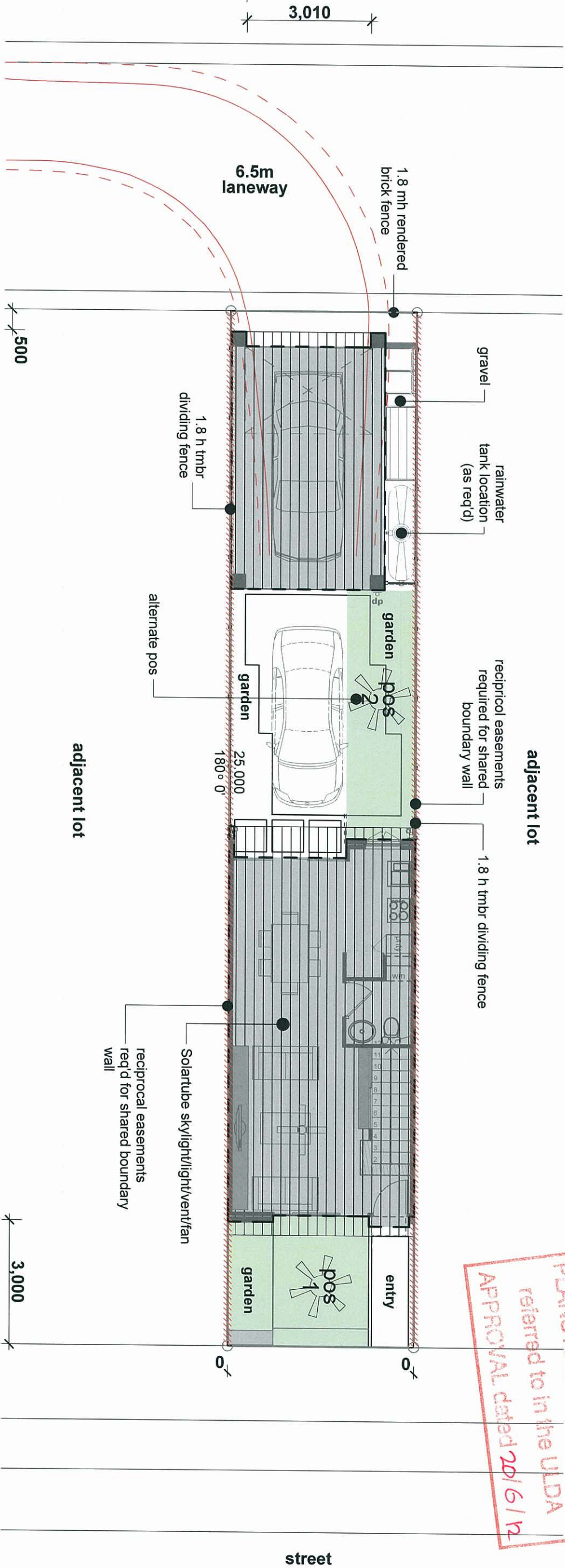
SHEET NUMBER
ULD23_SK01

REVISION
9

Development Statistics		
Area	Stage 5a	Stage 5b
Additional Road Reserve	3,680m ²	403m ²
Open Space	-	-
Area of Lots	4,801m ²	4,436m ²
Total Area	8,481m ²	4,839ha
Lot Mix and Yield		
Traditional (20m frontage)	0	0
Courtyard (15m frontage)	2	2
Villa (12.5 - 14.9m frontage)	2	4
Villa (10m - 12.4m frontage)	4	4
Terrace/Urban/Loft (4.5 - 9.9m)	16	4
Total	24 dw	14 dw
Roads		
17m wide (7.5m pavement)	24m	22m
13.5m wide (6m pavement)	164m	-
6.5m Laneway (5.5m pavement)	60m	-
Bedford rd Laneway and Parking	61m	-

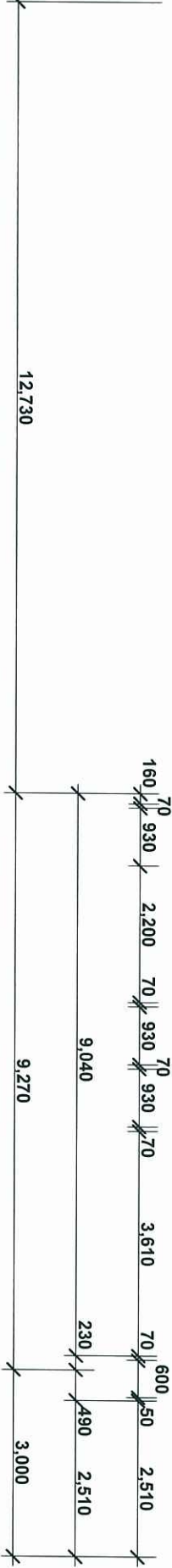
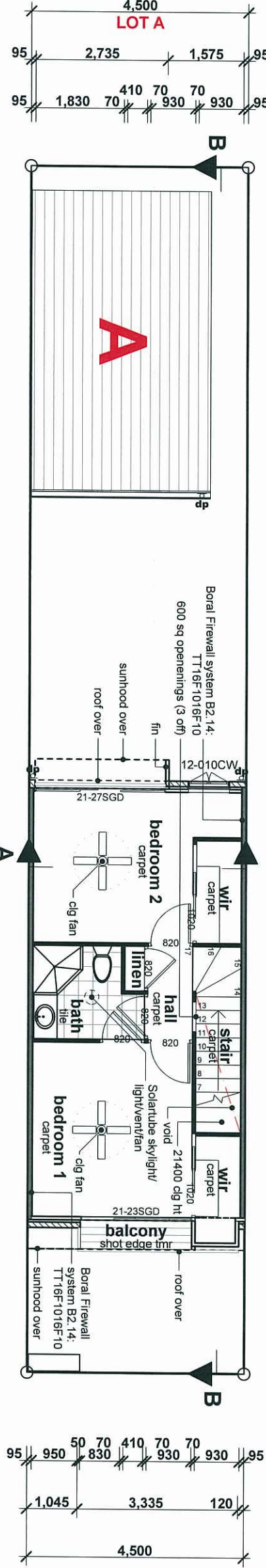
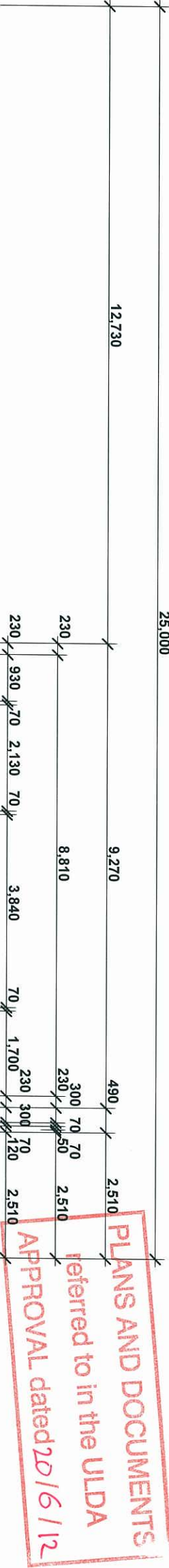
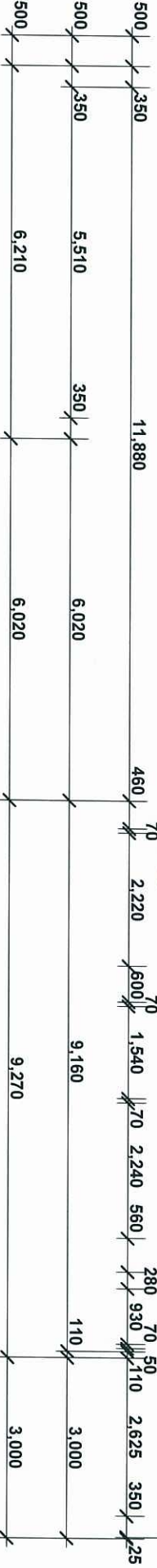
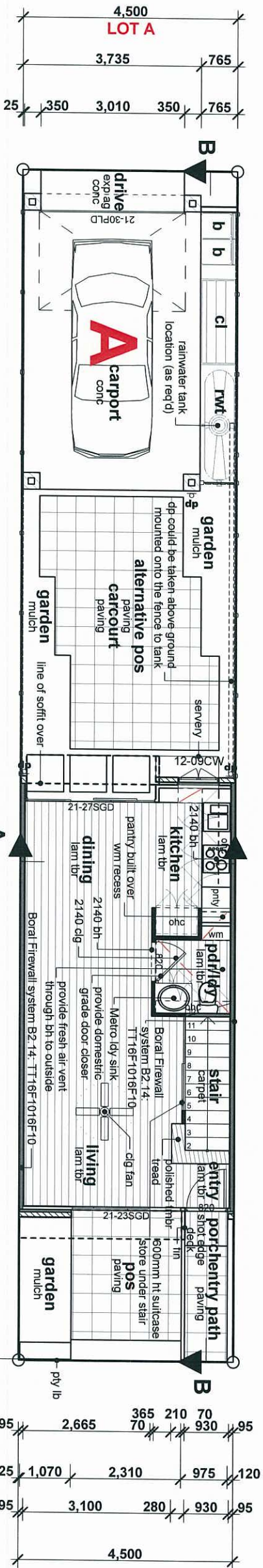
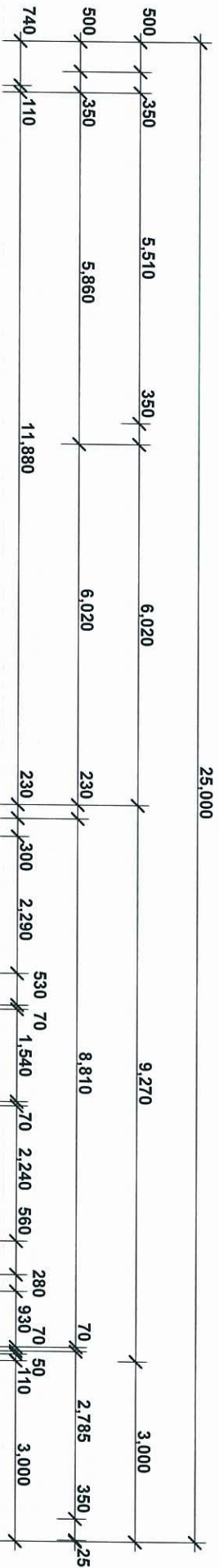
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 20/6/12





PLANS AND DOCUMENTS
referred to in the ULDA
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The Builder is responsible for the site verification of all dimensions. Figures dimensions take precedence over scaled values.			
DO NOT SCALE DRAWINGS.			
AMENDMENTS			
C	22.11.11	Kitchen/Bed 2 Adjustments	ad AD
D	23.11.11	Severy/rainwater tank added	ad AD
E	25.11.11	Dwelling area increased	ad AD
F	06.12.11	Laneway/roftage amended	ad AD
G	16.12.11	General Amendments	tb AD
H	22.12.11	General Amendments	tb AD
COMPLIANCE AREA CALCULATIONS			
gross floor area (gfa)		81.2 m ²	
private open space (pos 1)		10.6 m ²	
alternative private open space (pos 2)		10.1 m ²	
cover area (roof area)		66.7 m ²	
site cover based on a lot size of 112.5m ²		59%	
Client Urban Land Development Authority		My Place	
Project Name 4.5m Terrace		Site & Location Plan	
Drawing Title ULD016		Drawing No.: DD 01.01 H	
Status Scale: 1:100		Date: 22.12.11	
Drawing Title Site & Location Plan		Drawn by: tb + ap	



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int'l gnd flr 39.9m² 1st flr 41.3m² porch 0.7m² balcony 1.5m² total 81.2m² ext'l carport 22.0m² total 24.2m² total int'l + ext'l 105.4m² LOT A LOT A							
Client Urban Land Development Authority 4.5m Terrace  Project Name ULD016 Drawing Title: Floor Plans Project No: DD 02.01 H Stand/D Scale: 1:100 @ A3 Date: 22.12.11 Drawing No: tb + ap							