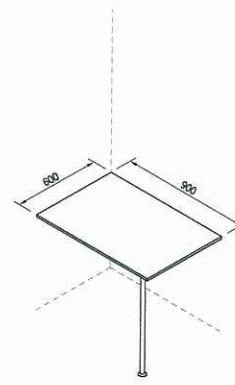
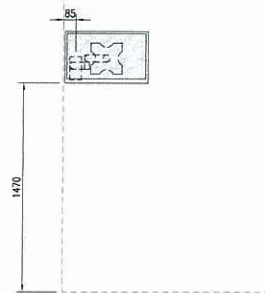
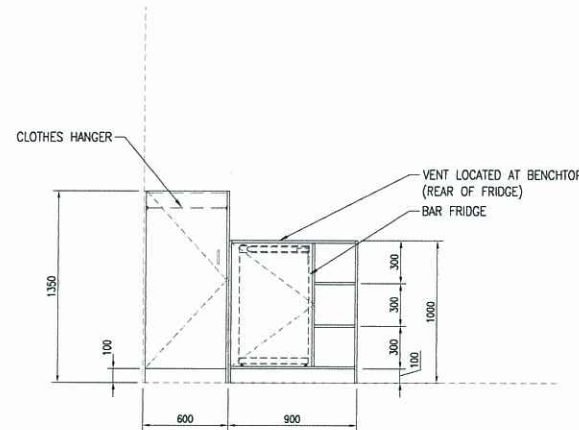
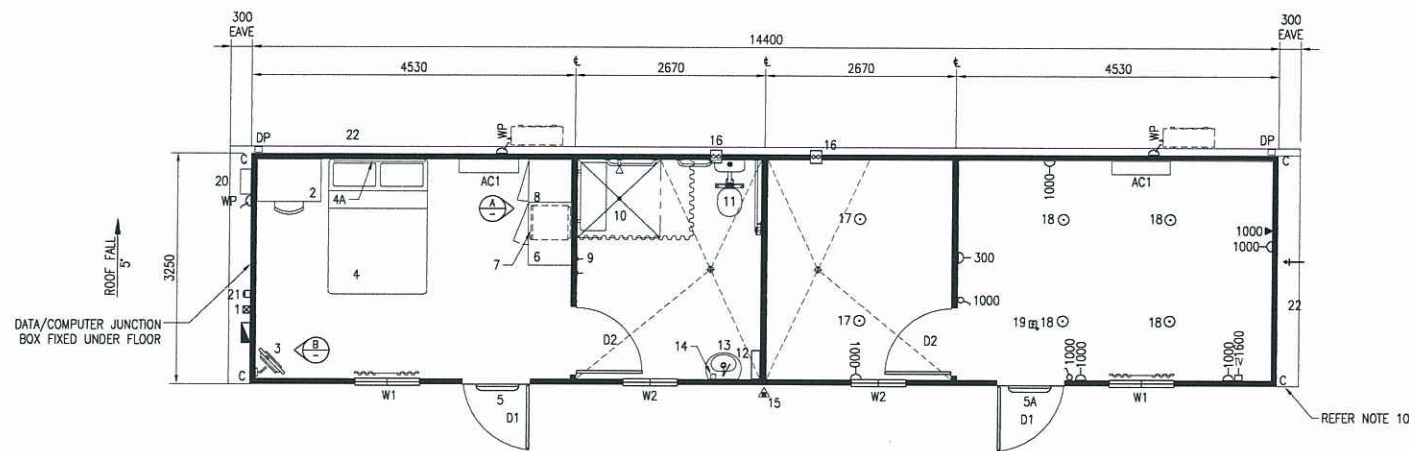


FINISHES SCHEDULE		
CHASSIS	200UB18 @ 2000mm CRS	SUBFRAME BLACK
FLOORING		
FLOORING	15mm T&G F11 PLYWOOD	—
FLOOR COVERING	PLANET SUPREME CARPET, DIRECT STICK	COALCLIFFE
SUBFLOOR INSUL.	R1.5 GLASSWOOL W/ STEEL PAN EXCEPT UNDER BATHROOM AREA	—
ABLUTION AREAS:		
FLOOR COVERING	2.0mm SLIP-RESISTANT VINYL WITH 100mm RADIUS COVING UP WALLS	T.B.A
WALLS		
WALL STUDS	75mm STEEL FRAME @ 400 CRS	—
EXTERNAL WALL TYPE 1:		
PART EASYLAP/PART CUSTOM ORB (REFER TO SHEET 2, ELEVATIONS)	8.5mm EASYLAP PANEL (PAINTED)	—
EXT. LINING	CCS CUSTOM ORB PROFILE	—
INSUL. EXT. WALLS		
INSUL. INT. WALLS	R2.0 G'WOOL 75mm ACOUSTITHERM	—
INT. LINING	3.6mm PREFINISHED PLYWOOD	WHITE SMOKE
SKIRTING	70mm PVC MOULD, 2 PART	BLACK
INT. CORNERS	SOFT LEGGED TEE	WHITE SMOKE
CORNICE	70mm PVC MOULD, 2 PART	WHITE
ROOF/CEILING		
CEILING STUDS	75mm STEEL FRAME @ 400 CRS	—
ROOF SHEETING	SUPERDEK	SURFMIST
EXT FASCIA BARGE	CCS	REFER TO COLOUR SCHEDULE
EXT FASCIA EAVE	CCS	REFER TO COLOUR SCHEDULE
FASCIA GUTTER	CCS	REFER TO COLOUR SCHEDULE
DOWNPIPE	CCS	REFER TO COLOUR SCHEDULE
EAVE LINING	6mm VERSILUX ('H' MOULD)	WHITE
INSUL. CEILING	R4.0 GLASSWOOL 190mm BATTS	—
CEILING LINING	3.6mm PREFINISHED PLYWOOD	MIRAGE PEARL
INSULATION ROOF	R1.8 GLASSWOOL BLANKET 75mm OVER PURLINS	—
ELECTRICAL		
LOAD CENTRE	24 POLE WP LOCKABLE @1500 AFL	—
CABINETRY		
WARDROBE	MELAMINE	NEW GRAPHITE
WRITING DESK	MELAMINE	NEW GRAPHITE
FRIDGE CABINET	MELAMINE	NEW GRAPHITE



DETAIL A
SCALE 1:25

DETAIL B
SCALE 1:25

DETAIL C
SCALE 1:25

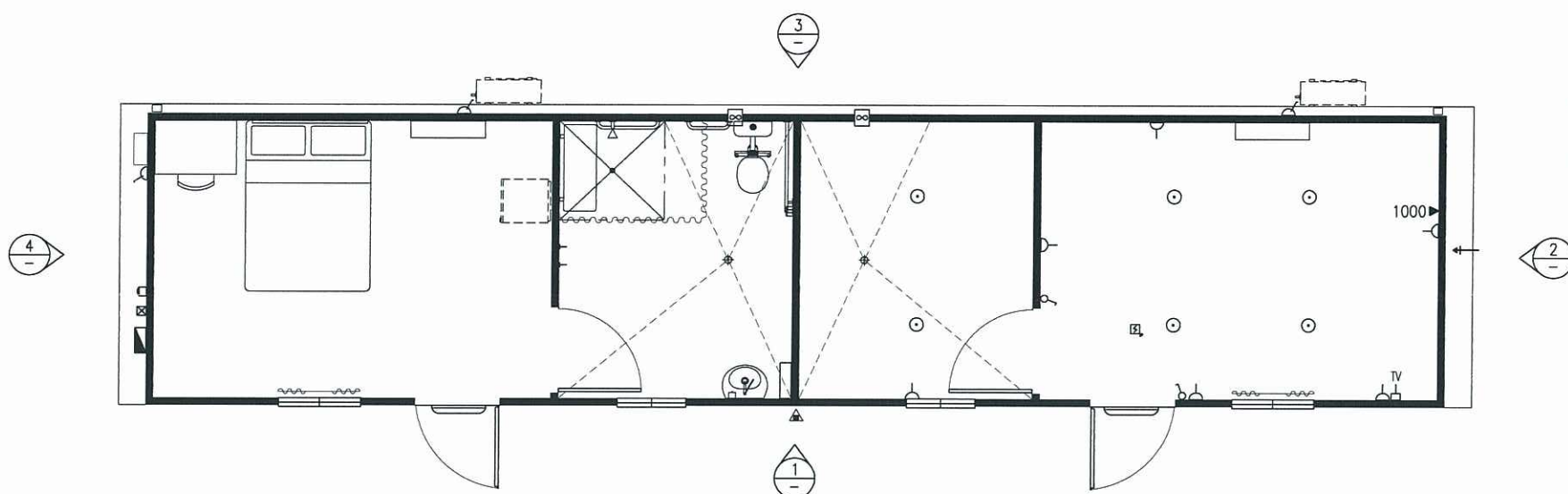
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13 AUG 2012
BY: _____

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12

BUILDING INFORMATION	
SERIAL NUMBER	T.B.A.
CEILING HEIGHT	2405mm
BUILDING HEIGHT	2930mm APPROX.
DESTINATION/STATE	T.B.A
ENGINEERING INFORMATION	
DESIGN WIND SPEED	B190
LIFTING CAPACITY	7.0t
DISTRIBUTED FLOOR LOAD	3.0kPa
CONCENTRATED FLOOR LOAD	2.7kN
DWG DISTRIBUTION	
CONT. PURCH. MANU. ELECT. PLUMB. Q/A.	— — — —
TRANS. SITE HIRE CONSU. SPARE SPARE	— — — —
APPROVED FOR MANUFACTURE ON BEHALF OF:	
NAME (PRINT):	_____
COMPANY POSITION:	_____
SIGNATURE:	_____
DATE:	_____

SYMBOL LEGEND		
NEW FLOORING	LIGHT SWITCH	TV TELEVISION OUTLET
NEW FLOORING	LIGHT SWITCH WP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 1 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 2 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 3 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 4 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 5 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 6 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 7 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 8 WIP	TP TELEPHONE OUTLET
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NEW FLOORING	LIGHT SW 99 WIP	TP TELEPHONE OUTLET
NEW FLOORING	LIGHT SW 100 WIP	TP TELEPHONE OUTLET

GENERAL NOTES		A/C'S, PLUMBING, FURNITURE & OTHER SCHEDULE		A/C'S, PLUMBING, FURNITURE & OTHER SCHEDULE		A/C'S, PLUMBING, FURNITURE & OTHER SCHEDULE		DOOR & WINDOW SCHEDULE			
1. PLEASE REFER TO AUSCO SALES QUOTATION FOR ENERGY, ENGINEERING & PLUMBING CERTIFICATION REQUIREMENTS.											
2. THE FURNITURE AND PLUMBING FIXTURES PLAN AND THE ELECTRICAL PLAN ARE SHOWN SEPARATE BUT ARE TYPICAL TO ALL ROOMS.											
3. NO PROVISION FOR PLUMBING HARNESS HAS BEEN ALLOWED.											
4. PROVIDE NOGGING FOR BEDHEAD AT 950mm AFFL.											
5. FLY LEAD CABLE TO BE INCLUDED WITH TV (COAX).											
6. AC BRACKET (2). FIT MOUNTING STRUT & PACK LEGS.											
7. AIR-CONDITIONER HEADS ARE TO BE INSTALLED BY AUSCO IN FACTORY, CONDENSERS ARE TO BE PACKED INTO THE BUILDING & INSTALLED ON SITE BY OTHERS.											
8. LIGHT SWITCH AND ELECTRICAL SOCKETS TO BE DISABLED COMPLIANT, REF: AS1428.1-2009 CLAUSE 14.											
9. BUILDING DESIGNED IN ACCORDANCE WITH AS1428.1-2009.											
10. INDICATES THE AUSCO TYPE 'C' WALL BRACING STRUCTURE.											
11. MANUFACTURED TO AUSCO BUILDING STANDARDS FOR DESIGN WIND SPEED B190.											

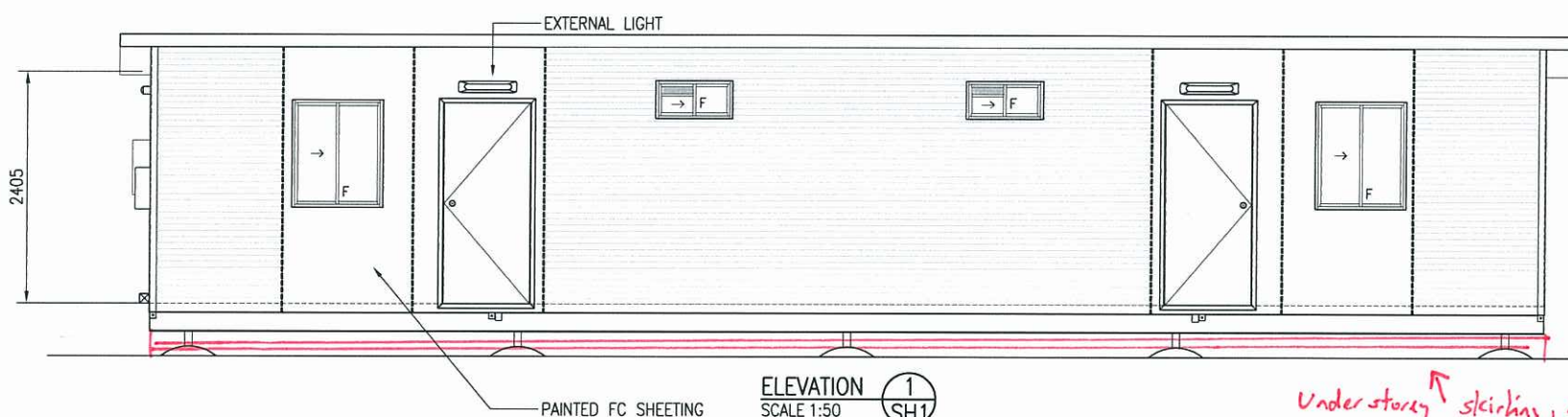


PLAN
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AMENDED IN RED
31 AUG 2012

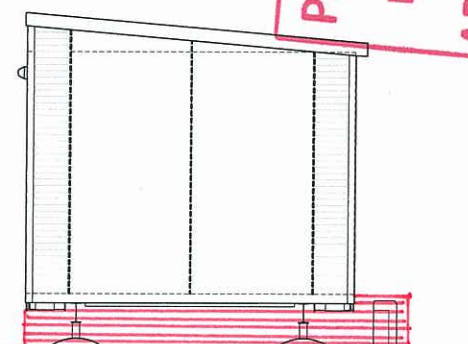
By: Matt Teon (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12

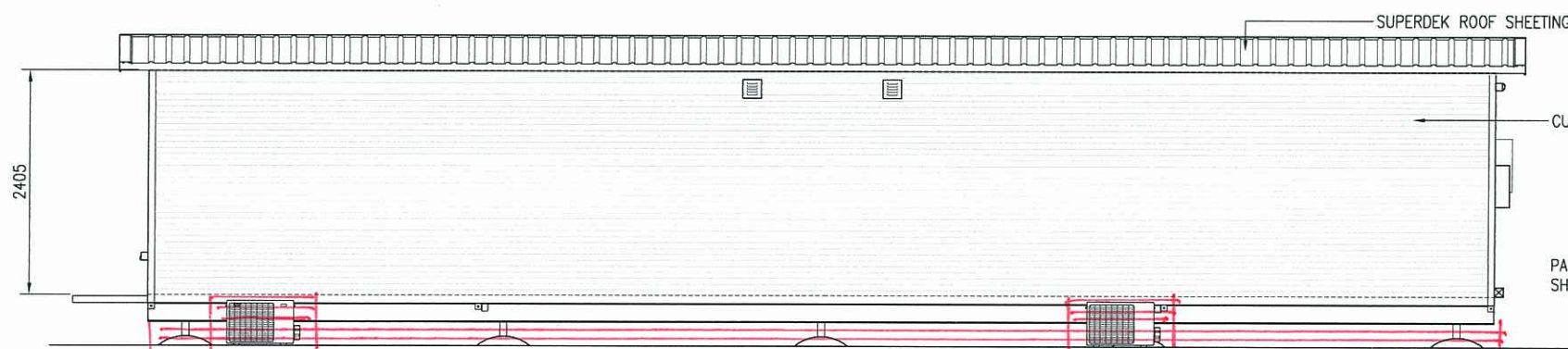


ELEVATION 1
SCALE 1:50
SH1

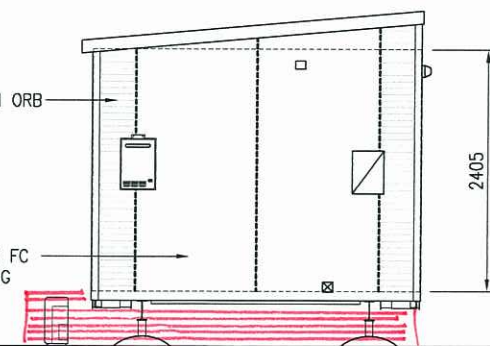
Understorey skirting, stairs to door
entrance + screens to outdoor Air Conditioning units.



ELEVATION 2
SCALE 1:50
SH1



ELEVATION 3
SCALE 1:50
SH1



ELEVATION 4
SCALE 1:50
SH1

GENERAL NOTES:
1. FOR FURTHER DETAILS REFER FLOOR
PLAN DRAWING

RECEIVED
13 AUG 2012
BY:

SYMBOL LEGEND

18W FLUORO	LIGHT SWITCH	TV TELEVISION OUTLET
36W FLUORO	LIGHT SWITCH WP	TP TELEPHONE OUTLET
2x36W FLUORO	LIGHT SW 2 WAY	DC DATA COM. OUTLET
4 DIFFUSED FLUORO	LIGHT SW DBL	DOWN WIRE
18W FLUORO WP	S/OUTLET 10amp	FIRE EXTINGUISHER
EXT 18W VANDALITE	S/OUTLET 10A DBL	WATER INLET
EXT 18W VANDALITE	S/OUTLET 15amp	WASTE OUTLET
8W BED LAMP	S/OUTLET 20amp	HOSE COCK
BULKHEAD LIGHT	ISOLATOR SWITCH	FLOOR WASTE
INCANDE LIGHT	SWITCHBOARD	COAT HOOK
WELL GLASS LHT	POWER ENTRY	DUAL COAT HOOKS
OSTER LIGHT	JUNCTION BOX	
EXIT LIGHT	SMOKE ALARM	
EMERG LIGHT	EXTRACTOR FAN	

Issue	Date	Description	By	Check
A	AS NOTED	ORIGINAL		

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ELEVATIONS

Project
14.4 x 3.25m
2 RM PWD ACCOMMODATION UNIT
Client
AUSCO STAYOVER
STAYOVER ON CAPRICORN

Drawn By G.M	Drawn Date FEB 12	Scale 1:50	Sheet A2
Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE	

Project No.	Order No.
Dwg No. 14552-003	Sheet 2 of 3
Issue A	



Any Fencing to street frontage is to be either 1.2m in height solid or 1.5m transparent to not obstruct surveillance between admin building and footpath.

REFER DWG NO'S LSK-03 & LSK-04 FOR FURTHER DETAILS & RELEVANT NOTATION.

A MENDED IN **RED**
 3 1 AUG 2012
 By: Math Teon (name)
 of the ULDA

Issue	Date	Description	By	Check
F	JUNE'12	General Amendments	NF	HJ
E	JUNE'12	General Amendments	TWR	HJ
A	AS NOTED	ORIGINAL	TWR	HJ

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LANDSCAPE DESIGN INTENT LANDSCAPE MASTER PLAN			
Project: Stayover on Capricorn			
Client: AUSCO Modular Pty Ltd			
Drawn By	Drawn Date	Scale	Sheet
TWR	JUNE	1:500	A1
Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE	
HJ	JUNE		
Project No.	Order No.		
AUS-12-170	-		
Dwg No.	Sheet	Issue	
LSK-02	03	F	



HJWEL JONES
 LANDSCAPE ARCHITECTS

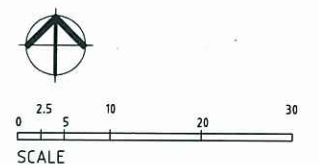
Unit 2 58 Perkins Street West (cnr Tenth Avenue) Railway Estate Qld 4810
 PO Box 1556 Aitkenvale Qld 4812
 T: 07 4771 2556 E: admin@hjla.com.au W: www.hjla.com.au



- (A) Buffer planting to road frontage to consist of mounding with a variety of ground covers, small and medium shrubs, and trees adjacent to the corner.
- (B) Buffer planting with a mixture of ground covers, shrubs and shade trees along fencing around the property boundary. Fencing as detailed.
- (C) Street trees with clear canopy underneath not to block visibility to be placed at 10-15m intervals.
- (D) Large shade trees with a mixture of ground covers, small and medium shrubs below, acting as a buffer between car parking and living areas.
- (E) Large trees with clear canopy underneath to provide additional shade to parking.
- (F) Large feature tree to provide visual interest and functional amenity, such as cooling down the space and creating shade.
- (G) Planting beds with ground covers and small shrubs lining the entrances to buildings to improve visual amenity.
- (H) Planting beds with ground covers and small to medium shrubs along the sides of buildings which face recreational facilities.
- (I) Planting beds with ground covers, small and medium shrubs, feature plants and trees to provide shade and amenity for open areas for recreational activities.

INSET A - Refer Dwg No. LSK-05.
INSET B - Refer Dwg No. LSK-06.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12



F JUNE'12 General Amendment's		NF	HJ
E JUNE'12 General Amendment's		TWR	HJ
A AS NOTED ORIGINAL		TWR	HJ
Issue	Date	Description	By / Check
FORM No. 02/02/2002			
LANDSCAPE DESIGN INTENT LANDSCAPE PLAN 1 of 2			
Project: Stayover on Capricorn			
Client: AUSCO Modular Pty Ltd			
Drawn By	Drawn Date	Scale	Sheet
TWR	JUNE	1:400	A1
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HJ	JUNE	DO NOT SCALE	
Project No.	Order No.		
AUS-12-170	-		
Dwg No.	Sheet	Issue	
LSK-03	04	F	



HJ JONES
LANDSCAPE ARCHITECTS

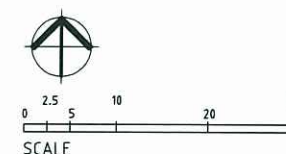
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- E** Large trees with clear canopy underneath to provide additional shade to parking.
- F** Large feature tree to provide visual interest and functional amenity, such as cooling down the space and creating shade.
- G** Planting beds with ground covers and small shrubs lining the entrances to buildings to improve visual amenity.
- H** Planting beds with ground covers and small to medium shrubs along the sides of buildings which face recreational facilities.
- I** Planting beds with ground covers, small and medium shrubs, feature plants and trees to provide shade and amenity for open areas for recreational activities.
- J** Nodal spaces with facilities to exercise and passive recreational opportunities.

INSET C - Refer Dwg No. LSK-07.

**PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12**

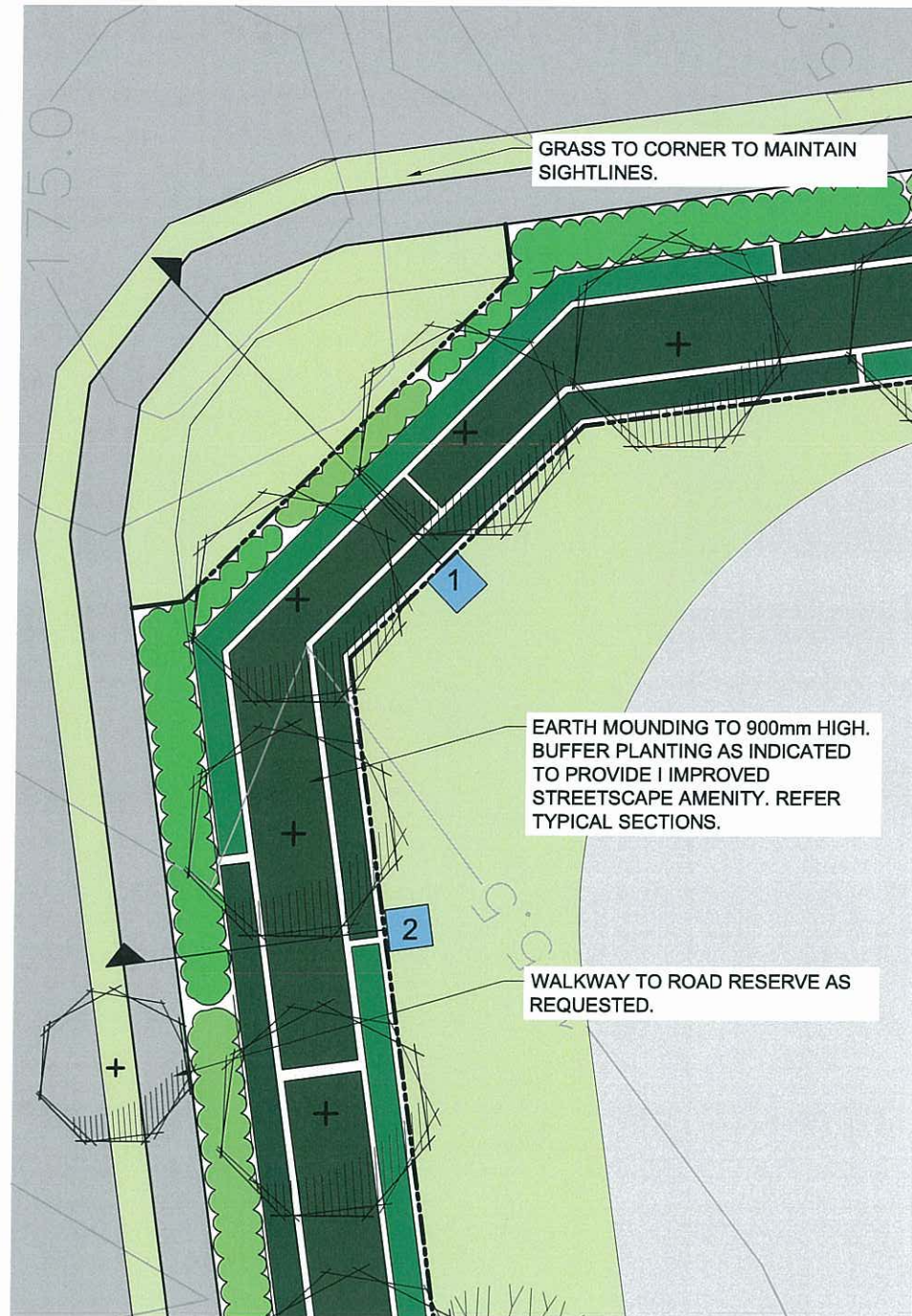


F JUNE'12 General Amendments		NF	HJ
E JUNE'12 General Amendments		TWR	HJ
A AS NOTED ORIGINAL		TWR	HJ
Issue	Date	Description	By
FORM No. 02000000			
LANDSCAPE DESIGN INTENT LANDSCAPE PLAN 2 of 2			
Stayover on Capricorn			
AUSCO Modular Pty Ltd			
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LSK-04	05	F	

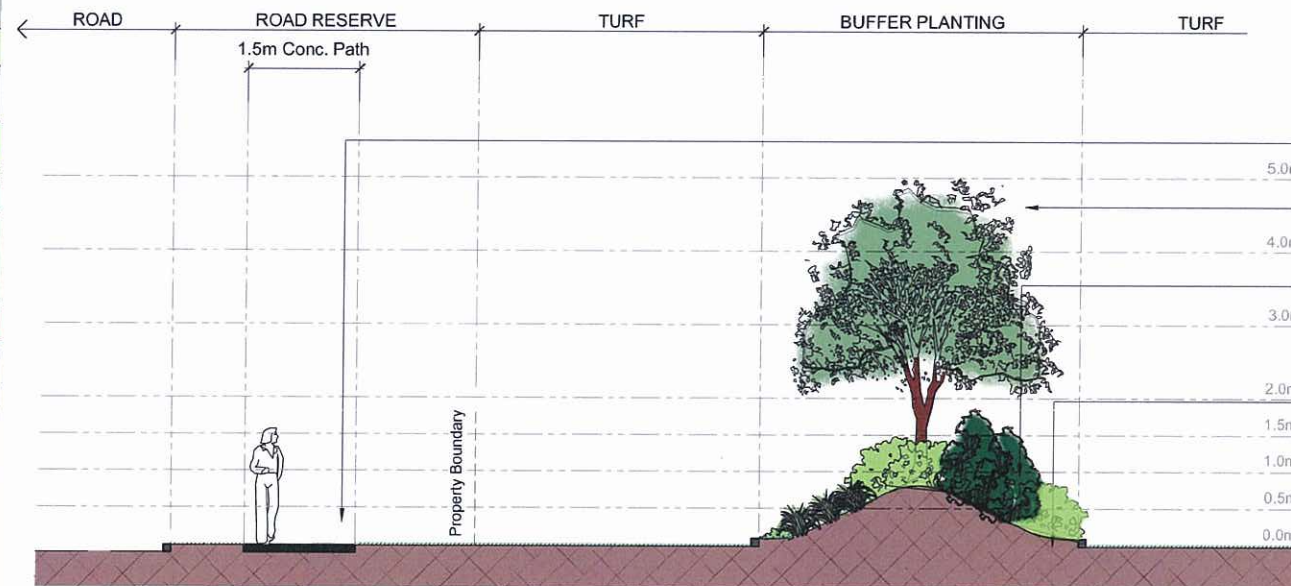


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LANDSCAPE ARCHITECTS

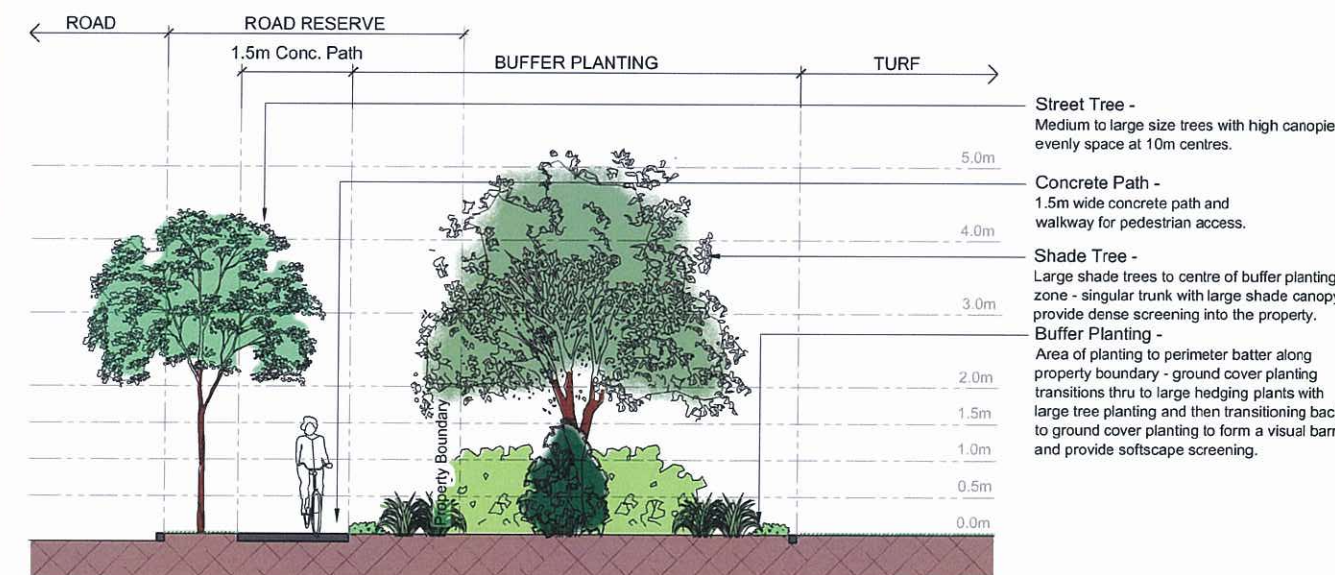
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INSET PLAN A (Refer to Landscape Design Intent Landscape Plan 1 of 2)



1 Inset A - Typical Section 1
Not To Scale



2 Inset A - Typical Section 2
Not To Scale

The Inset plan and sections indicate the proposed landscape treatment to the boundaries fronting the adjacent roads. As per ULDA's requirements, significant landscape treatment has been indicated along the property boundaries to provide an improved streetscape. Landscape works to the corner has been truncated to ensure sightlines are maintained.

Medium to large size trees with high canopies evenly space at 10m centres.
Concrete Path - 1.5m wide concrete path and walkway for pedestrian access.
Shade Tree - Large shade trees to centre of buffer planting zone - singular trunk with large shade canopy to provide dense screening into the property.
Buffer Planting - Area of planting to perimeter batter along property boundary - low shrub planting transitions to large hedging plants with large tree planting to form a visual barrier and provide softscape screening.
Perimeter Batter - Approximately 900mm high batter along property boundary for noise mitigation and enhance screening height whilst providing a green elevation to the fringes of the property.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12

Issue	Date	Description	By	Check
F	JUNE'12	General Amendments	NF	HJ
E	JUNE'12	General Amendments	TWR	HJ
A	AS NOTED	ORIGINAL	TWR	HJ

FORM No. 02/03/00

AUSCO
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LANDSCAPE DESIGN INTENT SUPPLEMENTARY LANDSCAPE PLAN 1 of 3

Stayover on Capricorn

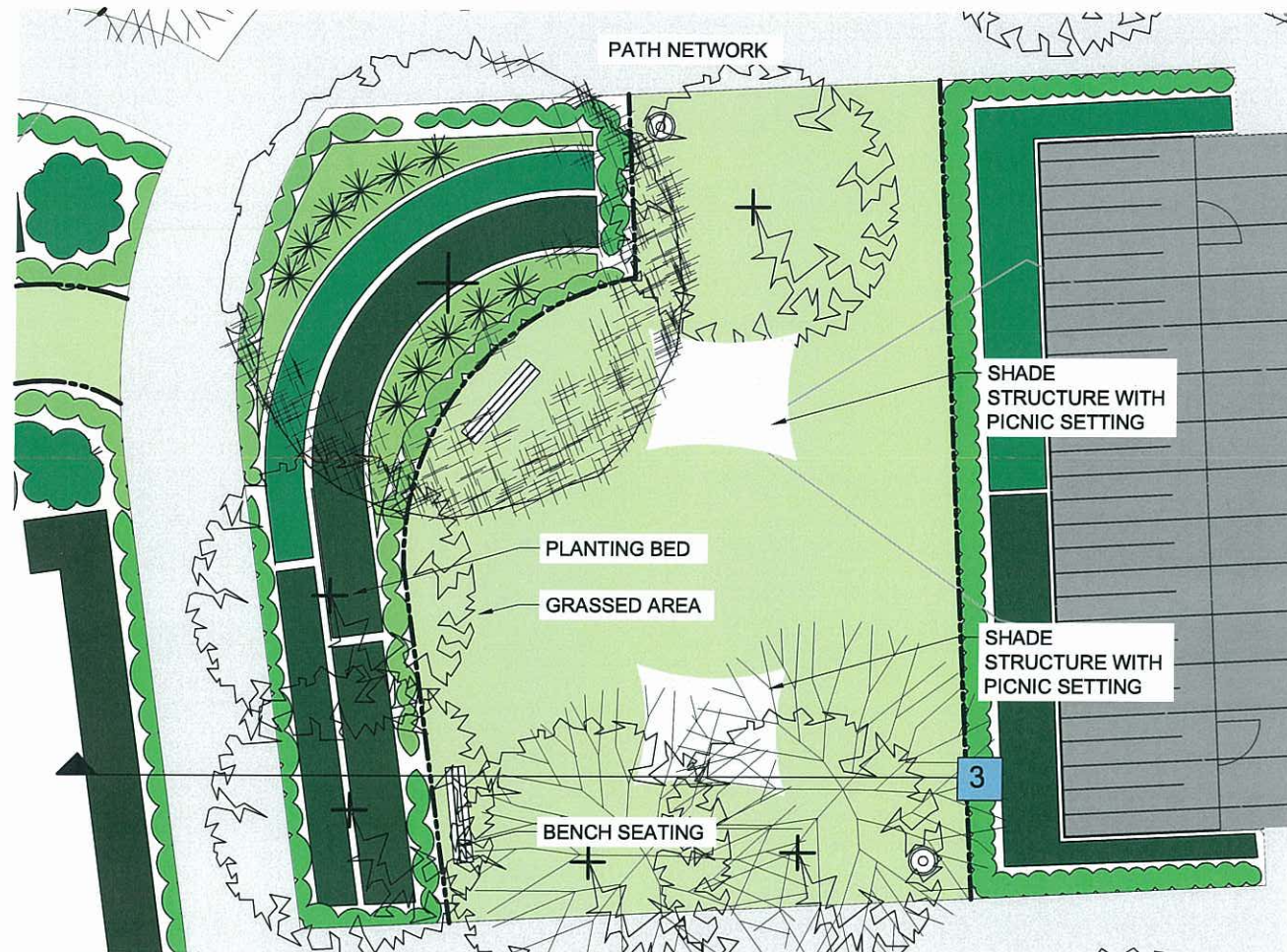
AUSCO Modular Pty Ltd

Drawn By	Drawn Date	Scale	Sheet
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Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE	
HJ	JUNE		
Project No.	Order No.		
AUS-12-170	-		
Drawn No.	Sheet	Issue	
LSK-05	06	F	

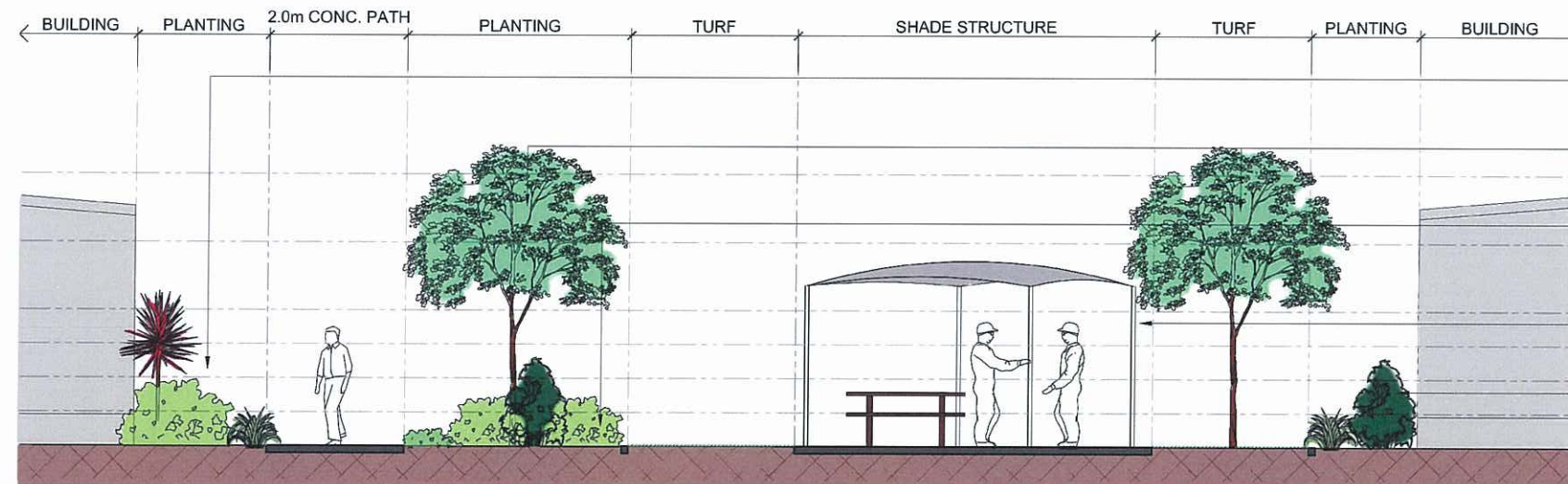


HJUEL JONES
LANDSCAPE ARCHITECTS

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INSET PLAN B (Refer to Landscape Design Intent Landscape Plan 1 of 2)



3 Recreational Space - Typical Section 3
Not To Scale

The Inset plan and section indicates the typical landscape treatment to be implemented at various locations throughout the project to provide opportunities for passive recreation. The inset plan indicates significant landscape treatment for greater internal visual amenity, with planting beds, and tree planting for shade. It is further proposed to include shade structures with picnic settings under as well as bench seats. This will allow the residents to recreate outdoors.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 9 / 12

Planting -
Area of planting to building - ground cover planting to low shrub planting transitioning to medium shrub and accent plants.

Shade Tree -
Medium shade trees - singular trunk with shade canopy to reduce lineal appearance of the buildings and reduce heat load on paths and open spaces.

Planting -
Area of planting surrounding open space turf areas - ground cover planting to low shrub planting transitioning to medium shrub plants with shade trees.

Shade Structure -
Shade structure with Picnic Setting for outdoor recreational activities, socialising and dining.

Planting to Building -
Area of planting to building - low shrub planting transitions to medium hedging plants.

Issue	Date	Description	By	Check
F	JUNE'12	General Amendments	NF	HJ
E	JUNE'12	General Amendments	TWR	HJ
A	AS NOTED	ORIGINAL	TWR	HJ

FORM No. 02022F03

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LANDSCAPE DESIGN INTENT SUPPLEMENTARY LANDSCAPE PLAN 2 of 3

Project: Stayover on Capricorn

Client: AUSCO Modular Pty Ltd

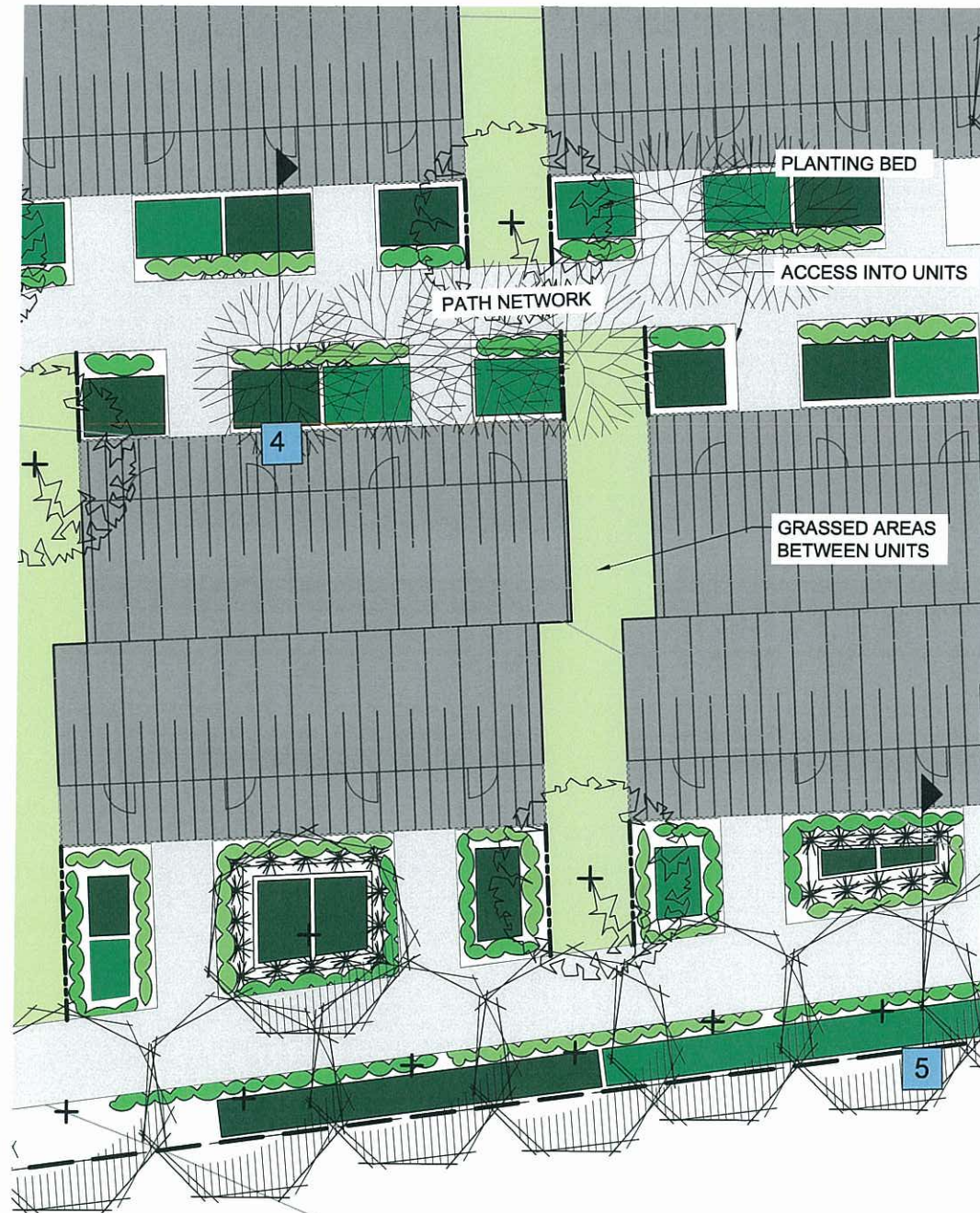
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Drawn Date: JUNE
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Project No: AUS-12-170
Order No: -
Draw No: LSK-06
Sheet: 07
Issue: F

Dimensions are in mm DO NOT SCALE

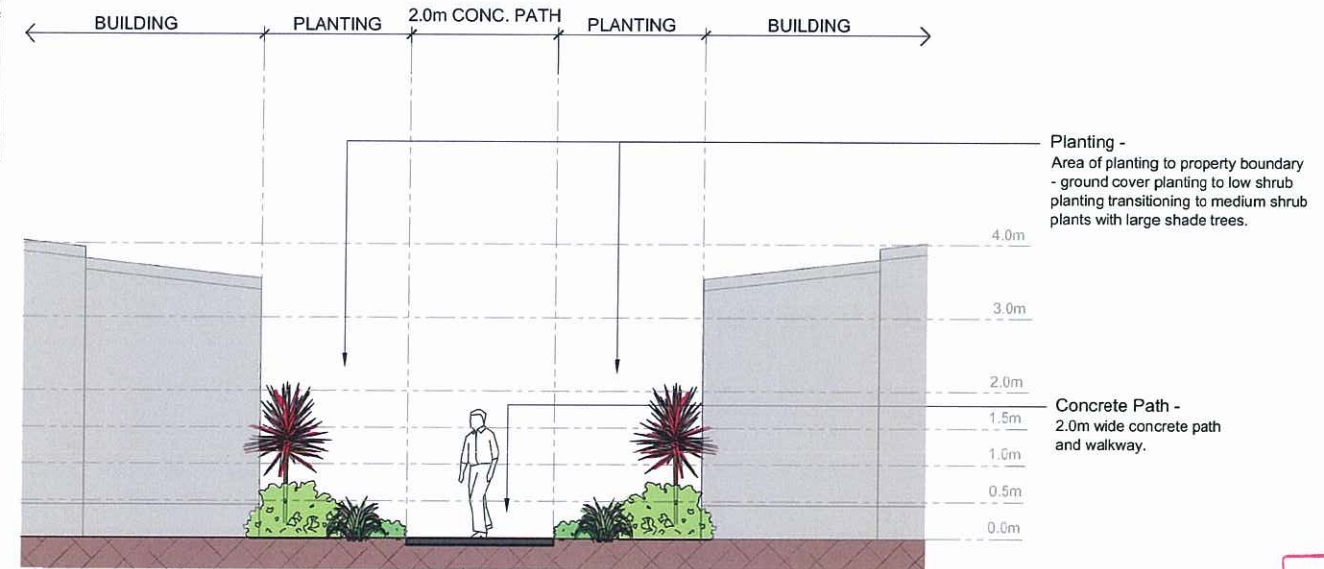


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LANDSCAPE ARCHITECTS

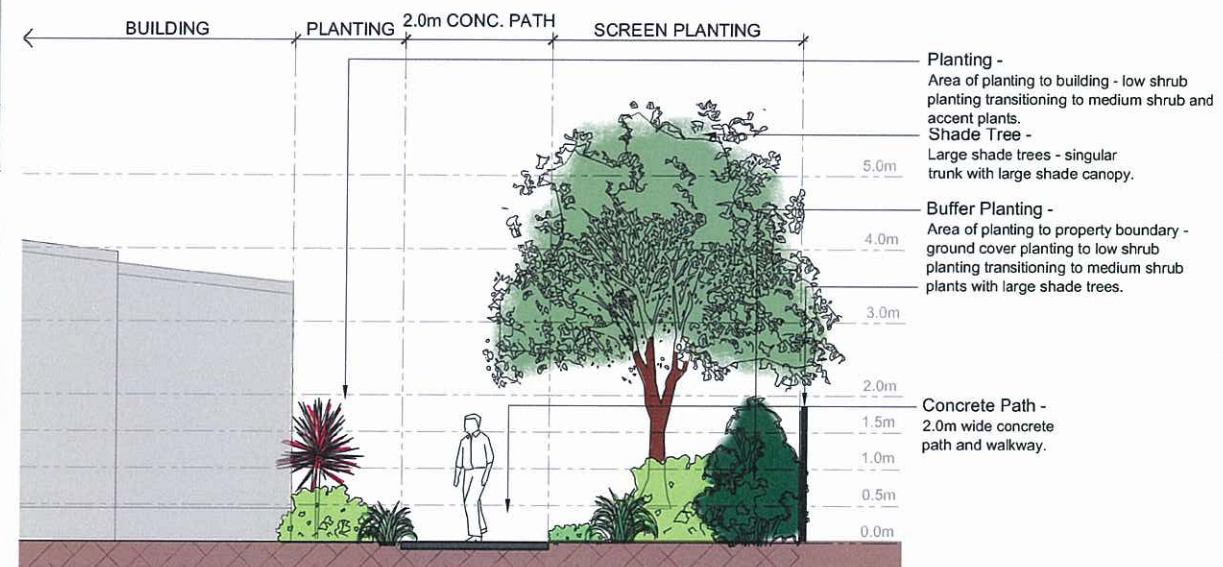
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INSET PLAN C (Refer to Landscape Design Intent Landscape Plan 2 of 2)



4 Inset C - Typical Section 4
Not To Scale



5 Inset C - Typical Section 5
Not To Scale

The Inset plan and sections indicate the typical landscape treatment to be implemented in and around the accommodation dwellings. Plant species will be selected to provide visual amenity and improved landscape presentation, however; low maintenance will be an key objective, so that the grounds continue to look good at all times.

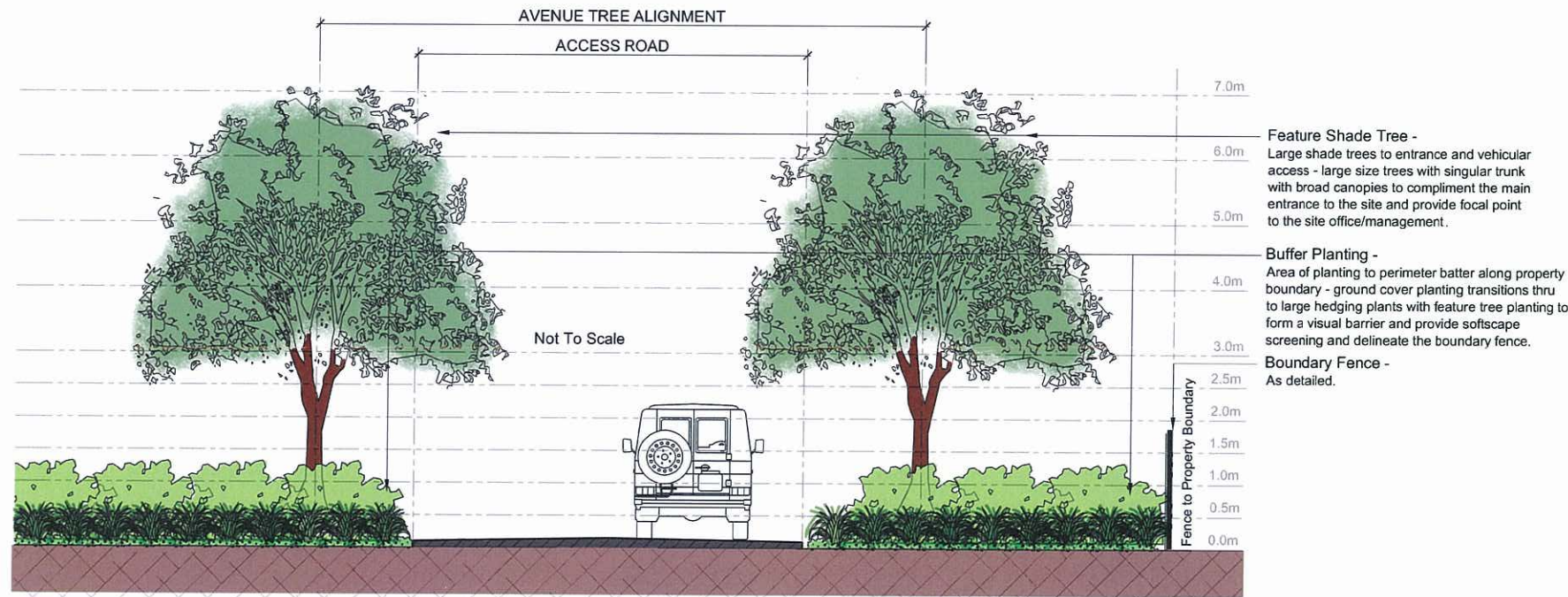
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12

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E	JUNE'12	General Amendments	TWR	HJ	
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LANDSCAPE DESIGN INTENT SUPPLEMENTARY LANDSCAPE PLAN 3 of 3					
Project					
Stayover on Capricorn					
Client					
AUSCO Modular Pty Ltd					
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Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE			
HJ	JUNE				
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LSK-07	08	F			

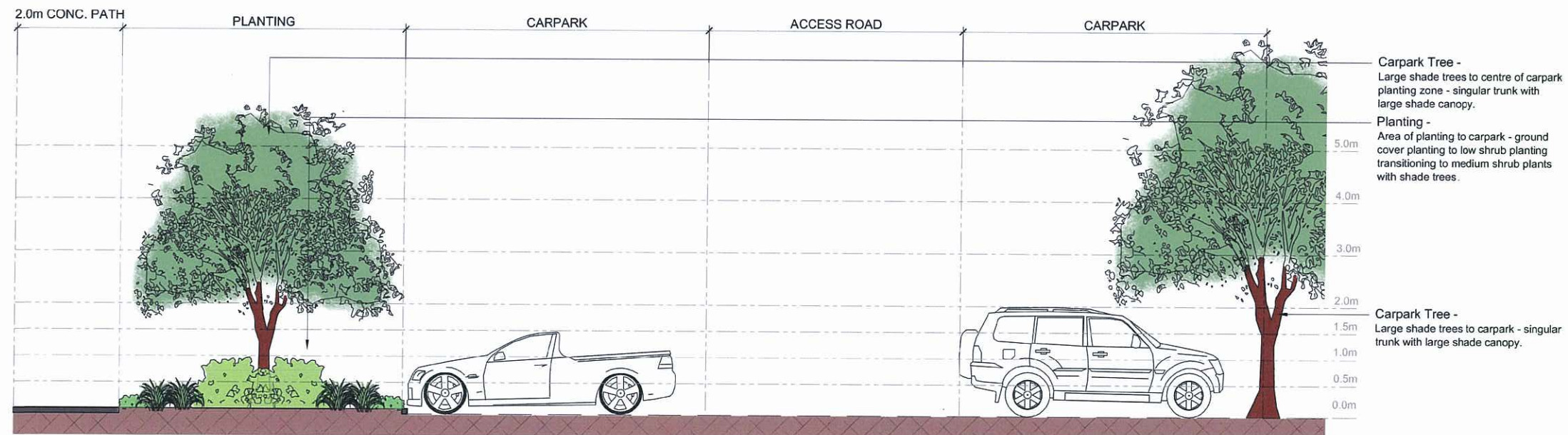


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6 Main Entrance - Typical Elevation (Refer to Landscape Design Intent Master Plan)
Not To Scale



7 Carpark - Typical Section 7 (Refer to Landscape Design Intent Master Plan)
Not To Scale

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 9 / 12

Issue	Date	Description	By	Check
F	JUNE'12	General Amendments	NF	HJ
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THIS
LANDSCAPE DESIGN
INTENT
SUPPLEMENTARY
LANDSCAPE SECTIONS 1 of 2

Project
Stayover on Capricorn

Client
AUSCO Modular Pty Ltd

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Drawn Date
JUNE

Scale
1:100

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Check Date
JUNE

Project No.
AUS-12-170

Order No.
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Draw No.
LSK-08

Sheet
09

Issue
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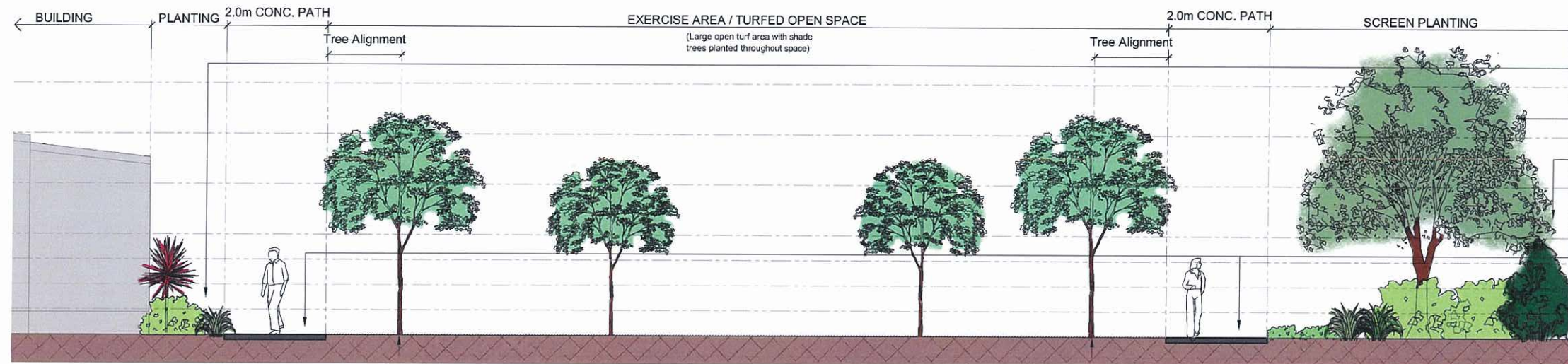
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DIMENSIONS ARE IN MM
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LANDSCAPE ARCHITECTS

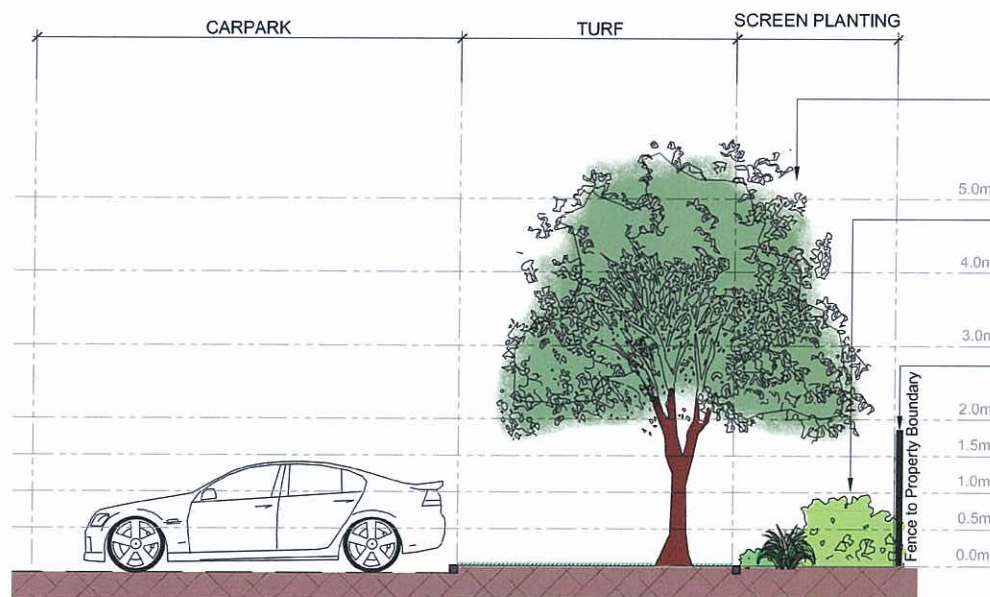
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Planting -
Area of planting to building - low shrub planting transitioning to medium shrub and accent plants.
Shade Tree -
Large shade trees - singular trunk with large shade canopy.
Buffer Planting -
Area of planting to property boundary - ground cover planting to low shrub planting transitioning to medium shrub plants with large shade trees.
Boundary Fence -
As detailed.
Concrete Path -
2.0m wide concrete path and walkway.

Shade Tree -
Medium shade trees - singular trunk with shade canopy.

8 Exercise Area & Open Space - Typical Section 8 (Refer to Landscape Design Intent Master Plan)
Not To Scale



Feature Shade Tree -
Large shade trees to entrance and vehicular access - large size trees with singular trunk with broad canopies to compliment the main entrance to the site and provide focal point to the site office/management.
Buffer Planting -
Area of planting to perimeter batter along property boundary - ground cover planting transitions thru to large hedging plants with feature tree planting to form a visual barrier and provide softscape screening and delineate the boundary fence.
Boundary Fence -
As detailed.

9 Carpark to Property Boundary - Typical Section 9 (Refer to Landscape Design Intent Master Plan)
Not To Scale

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 9 / 12

F	JUNE-12	General Amendments	HF	HJ	
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Issue	Date	Description	By	Check	
FORM No GSD2FC0					
					
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LANDSCAPE DESIGN					
INTENT					
SUPPLEMENTARY					
LANDSCAPE SECTIONS 2 of 2					
Project					
Stayover on Capricorn					
Client					
AUSCO Modular Pty Ltd					
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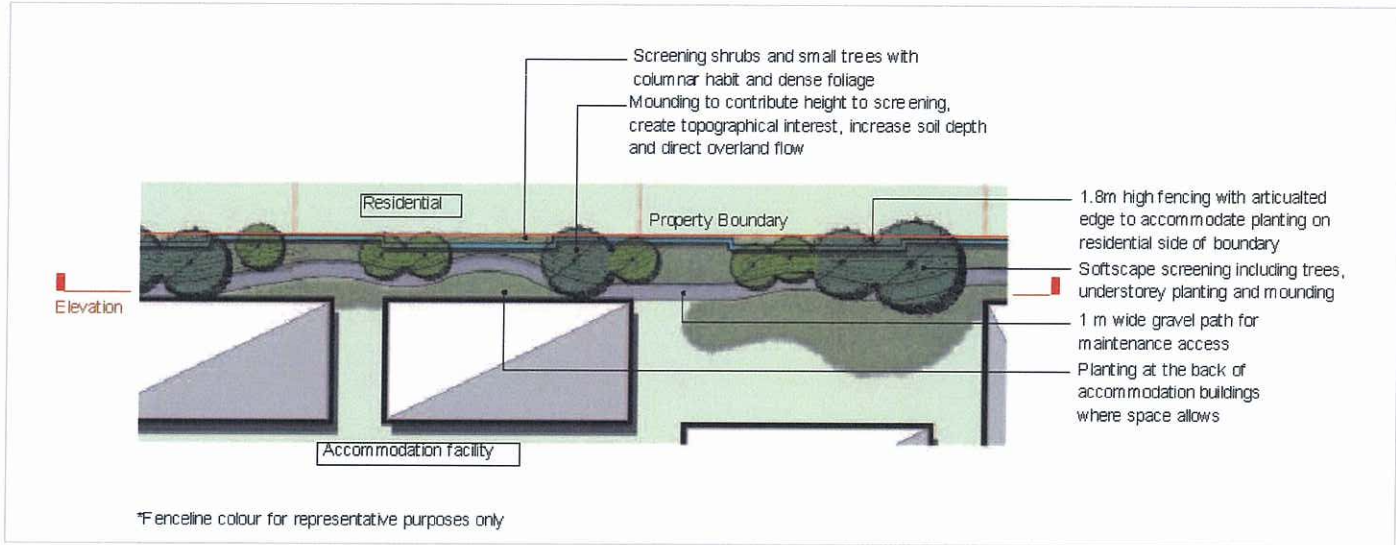
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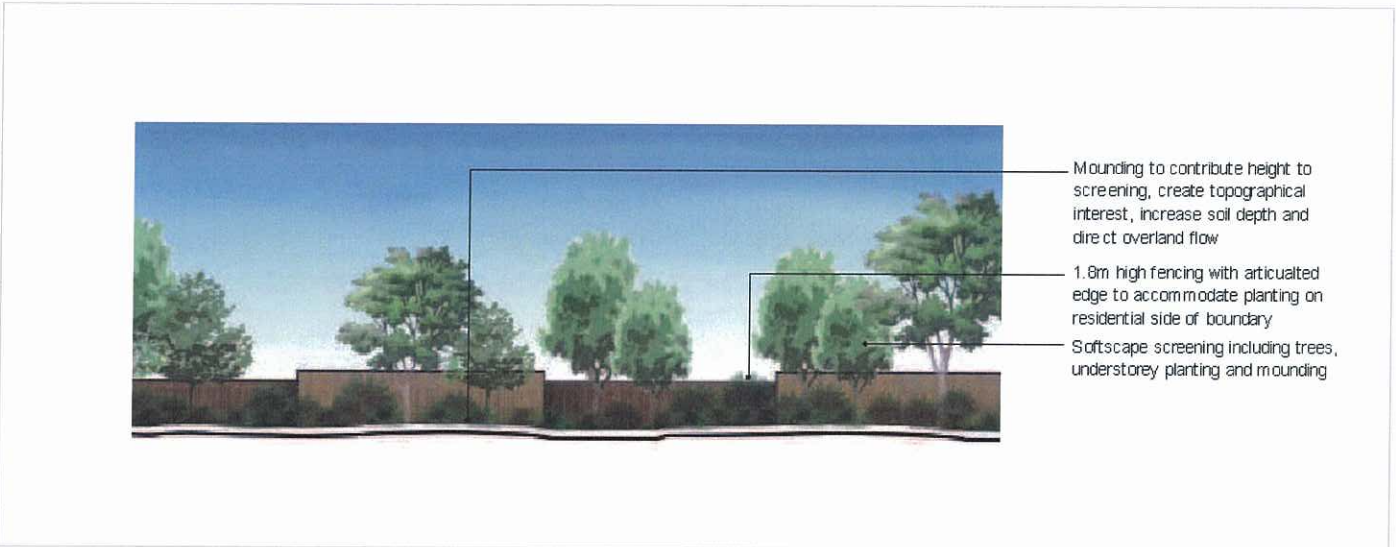
One of the major ULDA requirements for the project is how the developer proposes to treat the boundaries adjacent other existing residential areas. Below is an extract from the ULDA Guidelines. We propose to implement what is indicated on the 2 sketch plans with the exception of the earth mounding.

Where the fence however is to be articulated (stepped in and out as indicated), it is almost impossible to properly maintain any planting on the other side of the fence as access to these areas may not be possible.

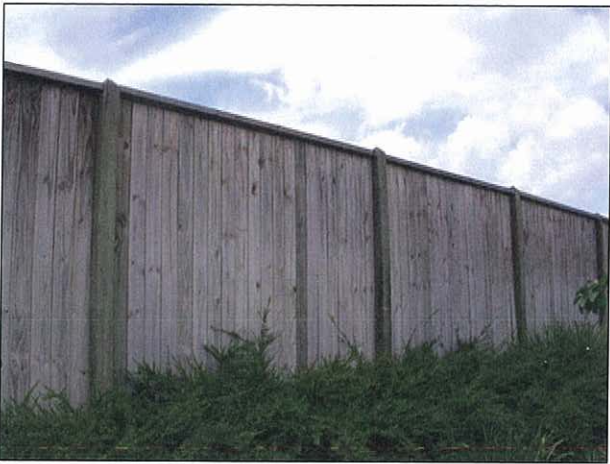
Fence types shall be generally as indicated on the attached photographs. All fences shall be 1.8m high, with 100x100mm HWD timber posts at 2.4m centres, and clad with 100mm timber pailings, and fully stained with a clear, oil based stain for greater longevity.



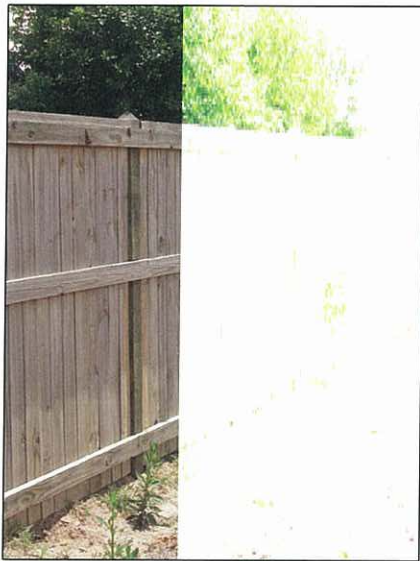
Indicative plan of accommodation facility adjoining residential area: articulated fenceline with integrated soft landscaping.



Indicative elevation of accommodation facility adjoining residential area: articulated fenceline with integrated soft landscaping.



Typical view of the proposed fence (best side to present to the adjacent residential land).



Typical rear view of the proposed fence (indicating construction of the fence).

It is proposed that the back side of the fence remains visible to the development. The design intent will be to ensure proper and adequate planting to ensure that the fence ultimately remains the secondary form of visual treatment along the boundaries, and that the planting will be the main visual element along the boundaries.

PLANS AND DOCUMENTS
referred to in the ULDA
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Issue	Date	Description	By	Check	Form No. CDR0000
LANDSCAPE DESIGN INTENT FENCING OPTIONS					
Project: Stayover on Capricorn					
Client: AUSCO Modular Pty Ltd					
Drawn By	Drawn Date	Scale			
TWR	JUNE	1:100			A1
Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE			
HJ	JUNE				
Project No.	AUS-12-170		Order No.		
Sheet No.	LSK-10		Sheet	11	Issue
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AGATHIS robusta
"Queensland Kauri"



CAESALPINIA ferrea
"Leopard Tree"



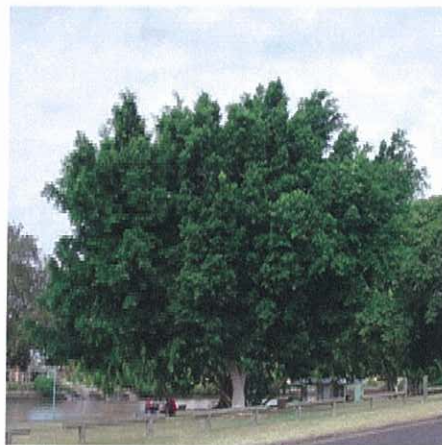
EUCALYPTUS tessellaris
"Morton Bay Ash"



EUCALYPTUS teretecornis
"Forest Red Gum"



EUODIA elleryana
"Pink Euodia"



FICUS benjamina
"Fig Tree"
(Will require root barrier)



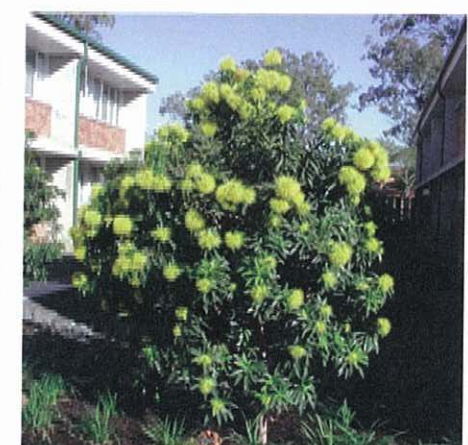
MELALEUCA leucadendron
"Fine Leaf Paperbark"



NAUCLEA orientalis
"Leichhardt Tree"



SYZYGIUM tierneyanum
"River Cherry"



XANTHOSTEMON chrysanthus
"Golden Penda"

The trees identified herein have been selected for use throughout the project, and have been selected based on their rate of growth, hardiness, general availability, and appropriateness to the local conditions.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/9/12



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FORM No. 50/00/000

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**LANDSCAPE DESIGN
INTENT
PROPOSED TREES**

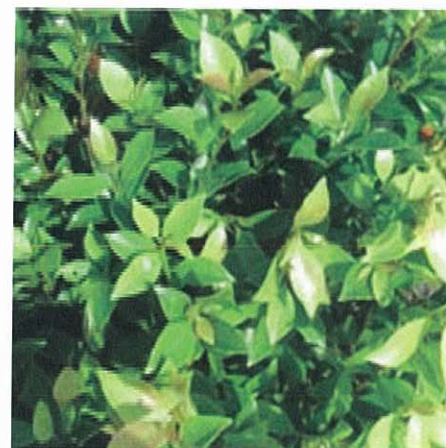
Project
Stayover on Capricorn

Client
AUSCO Modular Pty Ltd

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Checked By	Check Date	DIMENSIONS ARE IN MM DO NOT SCALE	
HJ	JUNE		
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Draw No.	Sheet	Issue	
LSK-11	12	F	



CALLISTEMON 'Captain Cook'
"Callistemon"



SYZYGIIUM australe
"Scrub Cherry"



RHAPHIOLEPIS indica
"Indian Hawthorn Native"



MURRAYA paniculata
"Mock Orange"



MURRAYA min-a-min
"Dwarf Mock Orange"



GARDENIA florida
"Gardenia Florida"



CORDYLINE 'Red Wings'
"Red Wings"



WESTRINGIA fruticosa
"Coastal Rosemary"

The shrubs identified herein have been selected for use throughout the project, and have been selected based on their rate of growth, hardiness, general availability, and appropriateness to the local conditions.

PLANS AND DOCUMENTS
referred to in the ULDA
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LANDSCAPE DESIGN INTENT PROPOSED SHRUBS					
Project					
Stayover on Capricorn					
Client					
AUSCO Modular Pty Ltd					
Drawn By	Drawn Date	Scale			
TWR	JUNE	1:100	A1		
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Project No.		Order No.			
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LSK-12	13		F		



DIANELLA 'Variegated'
"Variegated Flax Lily"



DIETES bicolor
"Wild Iris"



HYMENOCALLIS littoralis
"Spider Lily"



LIRIOPE muscarii
"Evergreen Giant"



LOMANDRA hystrix
"Mat Rush"



OPHIPOGON intermedians
"Mondo Grass"



POA labillardieri
"Tussock Grass"



TULBAGHIA violacea
"Society Grass"

The groundcovers identified herein have been selected for use throughout the project, and have been selected based on their rate of growth, hardiness, general availability, and appropriateness to the local conditions.

PLANS AND DOCUMENTS
referred to in the ULDA
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Issue	Date	Description		By	Check	FORM No 00100200						
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PROPOSED GROUND COVERS												
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AUSCO Modular Pty Ltd												
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HJ	JUNE											
Project No.		Order No.										
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Sheet No.	Sheet							Issue				
LSK-13	14							F				



LEGEND

- 174.25— Exist. Surface Contours (0.25m interval)
- Proposed Sewer Main, connection & structure
- DN90 — Proposed DN90 water main, hydrant, valve & Fire Hose Reel (36m)
- DN110 — Proposed DN110 water main & valve

New Road

End #100mm Water main with Fire Hydrant

Proposed Sewer Pump Station

Proposed detention basin

New Road

Ductile Iron Extents

DN110

Bus entry sign

Proposed #150 PVC Water Main

Refer to Drg. 3237-SK03 for connection into existing main, water meter and Pressure reducing valves pit details

Existing #100mm Water Line

Existing #600mm AC Water Main

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 9 / 12

NOTE:

1. This plan is to be read in conjunction with AUSCO related layouts.
2. All internal water reticulation to be DN90 PN12.5 PE100 unless noted otherwise.
3. All internal sewer reticulation to be DN100 PVC unless noted otherwise.
4. Existing water main locations are approximate and are to be confirmed on site.



Ausco Stavover Village,
Blackwater

Water & Sewer layout
Sheet 1 of 1

3237-SK01B

1:500
A1 Full Size

ACAD NO. 3237-SK01B.DWG

13-Jun-12

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LEGEND

- 174.25 — Exist. Surface Contours (0.25m interval)
- Proposed open drainage channel & flow

New Road

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Proposed detention basin

New Road

Bus entry sign

Existing $\phi 100\text{mm}$ Water Line

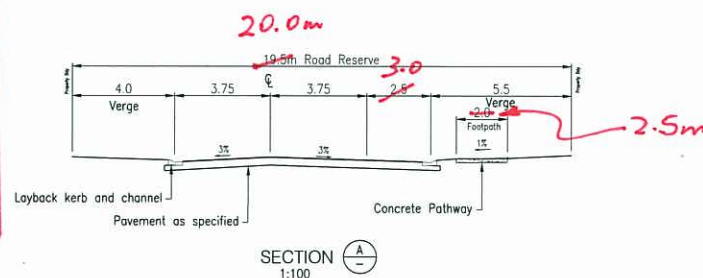
Existing $\phi 600\text{mm}$ AC Water Main

A **MENDED IN RED** **D**
3 1 AUG 2012

By: Matt Town (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA

APPROVAL dated 12/9/12



NOTE:

1. This plan is to be read in conjunction with AUSCO related layouts.
2. Existing water main locations are approximate and are to be confirmed on site.



Ausco Stayover Village,
Blackwater

Road Layout & Stormwater Plan
Sheet 1 of 1

3237-SK03B

1:500
A1 Full Size

ACAD NO. 3237-SK03B.DWG

13-Jun-12