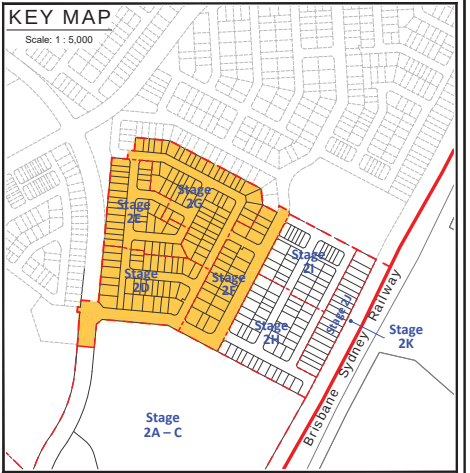


Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	
* Additional setback required on some allotments - refer POD Notes 13-15.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m	
Lane/Lane Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		60%		60%		60%		60%		60%		60%		75%		



Legend
General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

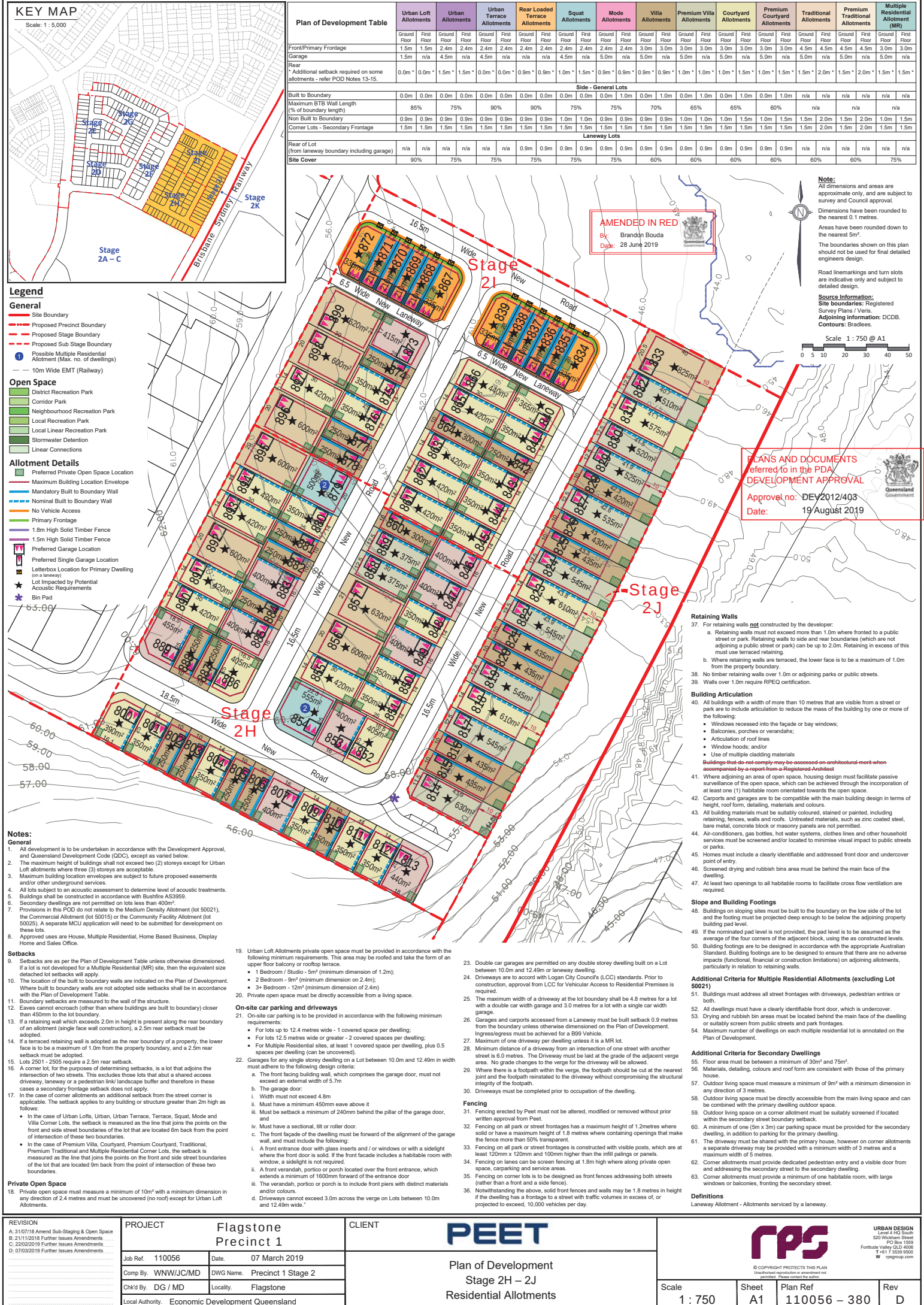
- Preferred Private Open Space Location
- Maximum Building Lot Boundary Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 1.8m High Solid Timber Fence
- 1.5m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

AMENDED IN RED
By: Brandon Bouda
Date: 28 June 2019

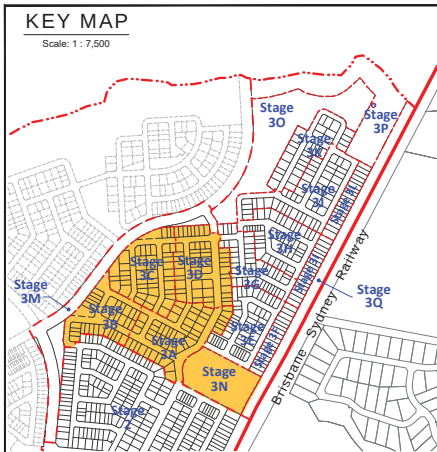
- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments. Buildings shall be constructed in accordance with Building AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50013) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted. If a terraced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that adjoin a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.4m in width must adhere to the following design criteria:
 - A front entrance door with glass inserts and / or windows or with a side-light where the front door is solid. If the front facade includes a habitable room with window, a side-light is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.4m wide.
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.4m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) Standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or open space.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.

- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (such as are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect**
 - When adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entry or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from an addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Lane/Lane Allotment - Allotments serviced by a laneway.



Scale: 1 : 7,500



General

— Site

-  Proposed Precinct Boundary
 Proposed Stage Boundary
 Proposed Sub Stage Boundary
 Possible Multiple Residential Allotment (Max. no. of dwellings)
Open Space

Distr
Q

-  Corridor Park
-  Neighbourhood Recreation Park
-  Local Recreation Park
-  Local Linear Recreation Park
-  Stormwater Detention
-  Linear Connections

Allotment

-  Preferred Private Open Space Location
-  Maximum Building Location Envelope
-  Mandatory Built to Boundary Wall
-  Nominal Built to Boundary Wall
-  No Vehicle Access
-  Primary Frontage
-  Preferred Double Garage Location
-  Preferred Single Garage Location
-  Letterbox Location for Primary Dwelling (on a laneway)
-  Lot Impacted by Potential Acoustic Requirements
-  Bin Pad

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered
Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees

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Notes:
General

1. All data are available in the public domain and are accessible via the following URL: http://www.who.int/csr/don/2004_04_01_who_weekly_report_20040401/en/

2. The maximum height of buildings shall not exceed two (2) stories (except for Urban Lot Allocations where three (3) stories are acceptable).
 3. Buildings shall not be taller than the adjacent buildings are subject to future proposed easements and/or other underground services.
 4. All lots subject to an acoustic assessment to determine level of acoustic treatments shall be subject to the provisions of the AS3959.
 5. Secondary dwellings are not permitted on lots less than 400m².
 6. Provisions in this PCD do not relate to the Medium Density Allocation (lot 50021); the provisions in this PCD do not relate to the Community Facility Allocation (lot 60025).
 7. A separate MCU application will need to be submitted for development on these lots.
 8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- ## Setbacks
9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size setbacks for a Medium Density Allocation shall apply.
 10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be as per the standard setbacks for the Development.
 11. Boundary setbacks are measured to the wall of the structure.
 12. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the Plan of Development.
 13. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allocation (single face wall construction), a 2.5m rear setback must be adopted.
 14. If a retaining wall or a pedimented roof landscape feature and therefore a side face wall is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 15. Lots 2501 - 2 require a 2.5m rear setback.
 16. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access easement, laneway or a pedimented roof landscape feature and therefore in these cases a secondary frontage setback does not apply.
 17. In the case of corner allocations an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:

- In C

- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

18. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
19. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
20. Private open space must be directly accessible from a living space.

On-site car parking and driveways

- For lots up to 12.4 metres wide - 1 covered space per dwelling;
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

Plan of Development Table	Urban Loft Allotments		Urban Terrace Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Territorial Allotments		Traditional Allotments		Premium Territorial Allotments (M3)		Multiple Residential Allotment (M3)							
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor						
	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m						
Front/Primary Frontage Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a						
Rear Additional setback required on some allotments - refer POD Notes 13-15	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m						
Side - General Lots																																
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	n/a	n/a	n/a	n/a	n/a						
Maximum BTB Wall Length (% of boundary length)	85%				75%				90%				75%				70%				65%				60%				n/a		n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m					
Corner Lots - Secondary Frontage Laneway Lots	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m						
Corner of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a						
Site Cover	90%				75%				75%				75%				60%				60%				60%				60%		75%	

AMENDED IN RED

By: Brandon Bouda

Date: 28 June 2019





46. Screened drying and rubbish bins area must be behind the main face of the dwelling.
47. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings:

48. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
49. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block. Using the as constructed levels.
50. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

51. Buildings must address all street frontages with driveways, pedestrian entries or both.
52. All dwellings must have a clearly identifiable front door, which is undercover.
53. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
54. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

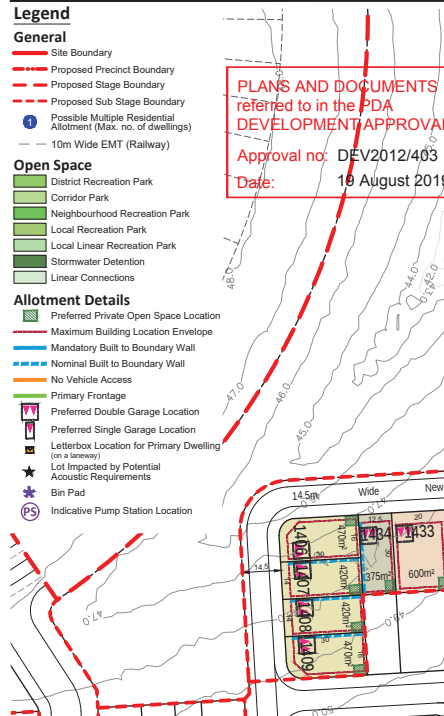
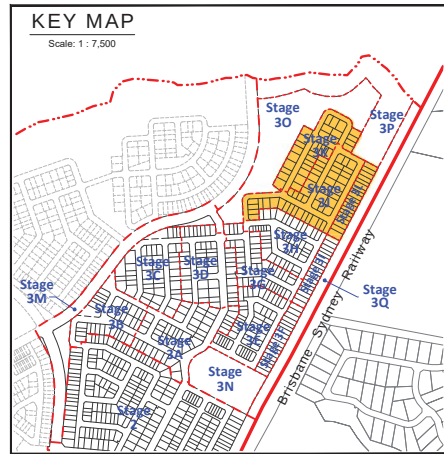
of Development.

- ### Additional Criteria for Secondary Dwellings
55. Floor area must be between a minimum of 30m² and 75m².
 56. Materials, detailing, colours and roof form are consistent with those of the primary house.
 57. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 58. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 59. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 60. A minimum of one parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 61. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum of 6 metres.
 62. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 63. Corner allotments must provide a minimum of one habitable room, with large window or balcony, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway

[illegible]



Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50015) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

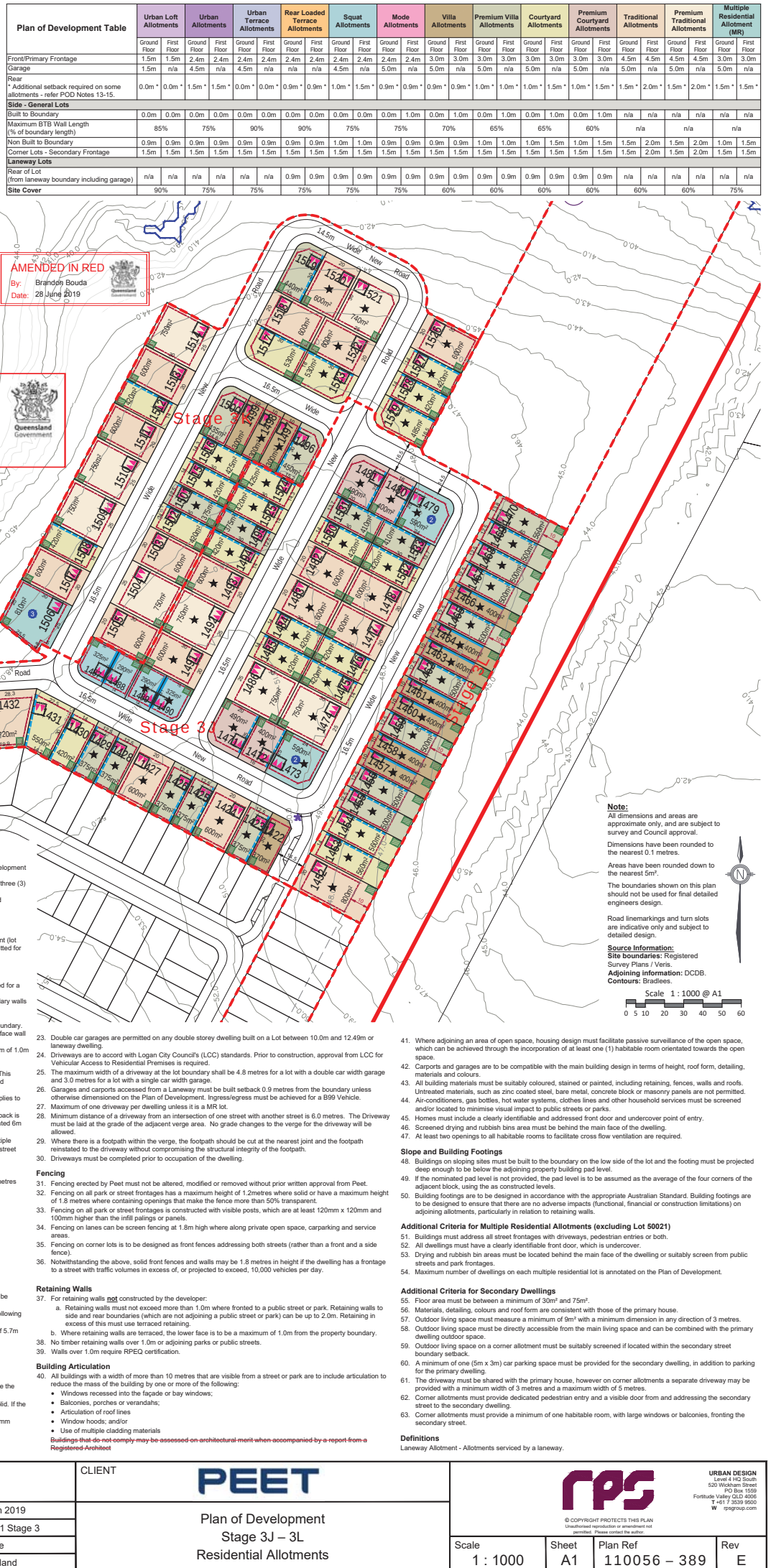
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Setbacks cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face built construction), a 2.5m rear setback must be adopted.
- A landscaped retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that share a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m).
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single story dwelling on a Lot between 10.0m and 12.4m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front face of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
- Driveways cannot exceed 3.0m across the verge on the 10.0m and 12.4m wide."



REVISION	PROJECT	Flagstone Precinct 1	CLIENT
A: 17/07/18 - Amend District Recreation Park	Job Ref.	110056	Date: 07 March 2019
B: 31/07/18 - Amend Sub-Stage 3 Open Space	Comp By:	WW / JC / MD	DWG Name: Precinct 1 Stage 3
C: 21/11/2018 Further Issues Amendments	Chk'd By:	DG / MD	Locality: Flagstone
D: 22/02/2019 Further Issues Amendments	Local Authority:	Economic Development Queensland	
E: 07/03/2019 Further Issues Amendments			

PEET

Plan of Development
Stage 3J - 3L
Residential Allotments

Scale	Sheet	Plan Ref	Rev
1: 1000	A1	110056 - 389	E

Note: All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineering design.

Road line markings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Bralides.



Stage 4A, B & C
Residential Allotments

URBAN DESIGN
Level 14 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +617 3539 9500
W psdgroup.com



Alignment Details	
	Linear Connections
	Preferred Private Open Space Location
	Preferred Building Open Space Location
	Maximum Built to Boundary Wall
	Normal Built to Boundary Wall
	No Vehicle Access
	Primary Frontage
	2m High Solid Timber Fence
	Preferred Garage Location
	Preferred Single Garage Location
	Letterbox Location
	Letterbox Location by Primary Dwelling
	Lot Impacted by Potential Acoustic Requirements
	Bin Pad

6. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volume, as assessed or projected to exceed, 10,000 vehicles per day.
7. **Retaining Walls**
 - a. For retaining walls not constructed by the developer:
 - i. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use finished retaining.
 - ii. Where retaining walls are used, the lower face(s) to be a maximum of 1.0m from the property's boundary.
 - b. No other retaining walls over 1.0m or adjoining parks or public streets.
 - c. Walls over 1.0m require RPEQ certification.
8. **Building Articulation**

Building articulation is the building of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:

 - Windows recessed into the facade or bay windows;
 - Windows protruded from the facade;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Window louvers.

Building articulation may be assessed on an individual street when accompanied by a report from a Registered Architect.

Slope and Building Footings

- Buildings on sloping sites must be built to fit a boundary on the low side of the lot and the footing must be projected to the high side of the lot.
- If nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to resist lateral movement, including but not limited to: differential settlement, lateral construction (millifill) on adjoining lots, and lateral movement of the ground.
- Buildings are to be designed to resist lateral movement, including but not limited to: differential settlement, lateral construction (millifill) on adjoining lots, and lateral movement of the ground.

Additional Criteria for Multiple Residential Alotments (excluding Lot 50021)

- Each multiple residential lot must have a minimum lot area of 1000 sqm.
- All dwellings must have a clearly identifiable front door, which is unobscured.
- Dying and rubbish bins must be located behind the main box of the dwelling or satully screen from public view.
- Minimum number of dwellings on each multiple residential lot is mandated on the Plan of Development.

2. Other apartments must provide dedicated pedestrian entry and a visible door from and accessing the secondary street to the secondary dwelling.
3. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

AMENDED IN RED

By: **Brandon Bouda**

Date: 28 June 2019

PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 19 August 2019

Plan of Development Table

[illegible]

	Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m
Regr.	*	0.00 *	0.00 *	4.5m *	0.00 *	0.00 *	0.00 *	4.00 *

* Additional softpad realized on some

[illegible][illegible]

Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m

Laneway Lots				
Rear of Lot (from laneway boundary including carport)	n/a	n/a	n/a	0.9m

Site Cover	90%	75%	75%	75%
Site Cover				

[illegible]

Setbacks

8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

9. Setbacks are as per the Plan of Development Table unless otherwise demonstrated. If a lot is not developed for a Multiple Residential (MR) plan, then the equivalent use determined for setbacks will apply.

10. Setbacks for all uses shall be measured from the front and side boundaries of the lot. Where built to boundary walls are required, the setbacks shall be measured from the face of the wall.

11. Where built to boundary walls are required, the setbacks shall be in accordance with the Plan of Development Table.

12. Not all setback applications will be in accordance with the Plan of Development Table.

13. Boundary setbacks are measured to the wall of the structure.

14. Eaves cannot encroach (other than where buildings are built to boundary closer than 45m) to the lot boundary.

15. Eaves cannot encroach (other than where buildings are built to boundary closer than 45m) to the lot boundary.

16. If a fenced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.

17. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link landscape buffer and therefore in some cases a structure greater than 2m high as follows:

18. In the case of a corner lot, the setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:

19. In the case of Urban Lots, Urban Point Lots, Terraced, Squirt, Mobile and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located back from the point of intersection of these two boundaries.

20. In the case of Rural Lots, the setback is measured as a line that joins the points on the front and side street boundaries of the lot that are located back from the point of intersection of these two boundaries.

21. In the case of Multiple Residential Corner Lots, the setback is measured as a line that joins the points on the front and side street boundaries of the lot that are located back from the point of intersection of these two boundaries.

20. On-site car parking and driveways
21. On-site car parking is to be provided in accordance with the following minimum requirements:
 - a. At least 1.5 car spaces per dwelling;
 - b. For 1.5 to 2.4 units wide wall, at least 1.5 covered spaces per dwelling;
 - c. For 2.5 to 3.4 units wide wall, at least 2.0 covered spaces per dwelling;
 - d. For 3.5 to 4.4 units wide wall, at least 2.5 covered spaces per dwelling;
 - e. For 4.5 to 5.4 units wide wall, at least 3.0 covered spaces per dwelling (can be uncovered);
 - f. For 5.5 to 6.4 units wide wall, at least 3.5 covered spaces per dwelling (can be uncovered).
22. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - b. The garage door:
 - i. Width must not exceed 4.8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be located behind the pillar of the garage door, and
 - iv. Must have a sectional, lift or roller door
 - c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the

26. Garages and carports accessed from a Laneeway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.

27. Maximum of one driveway per dwelling unless it is a MRL.

28. Minimum distance of a driveway from an intersection of one street with another street is 5.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

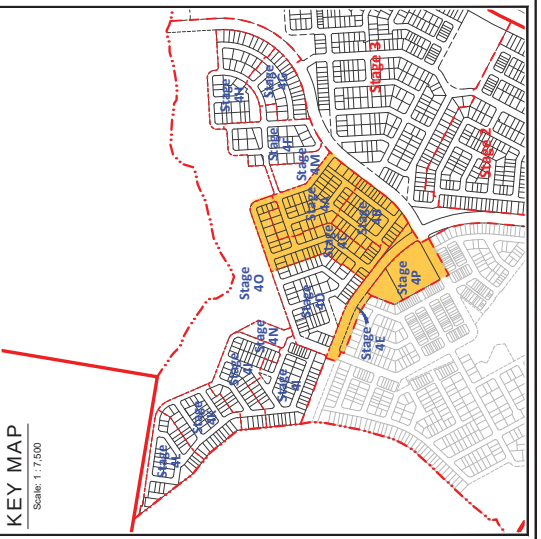
KEY MAP

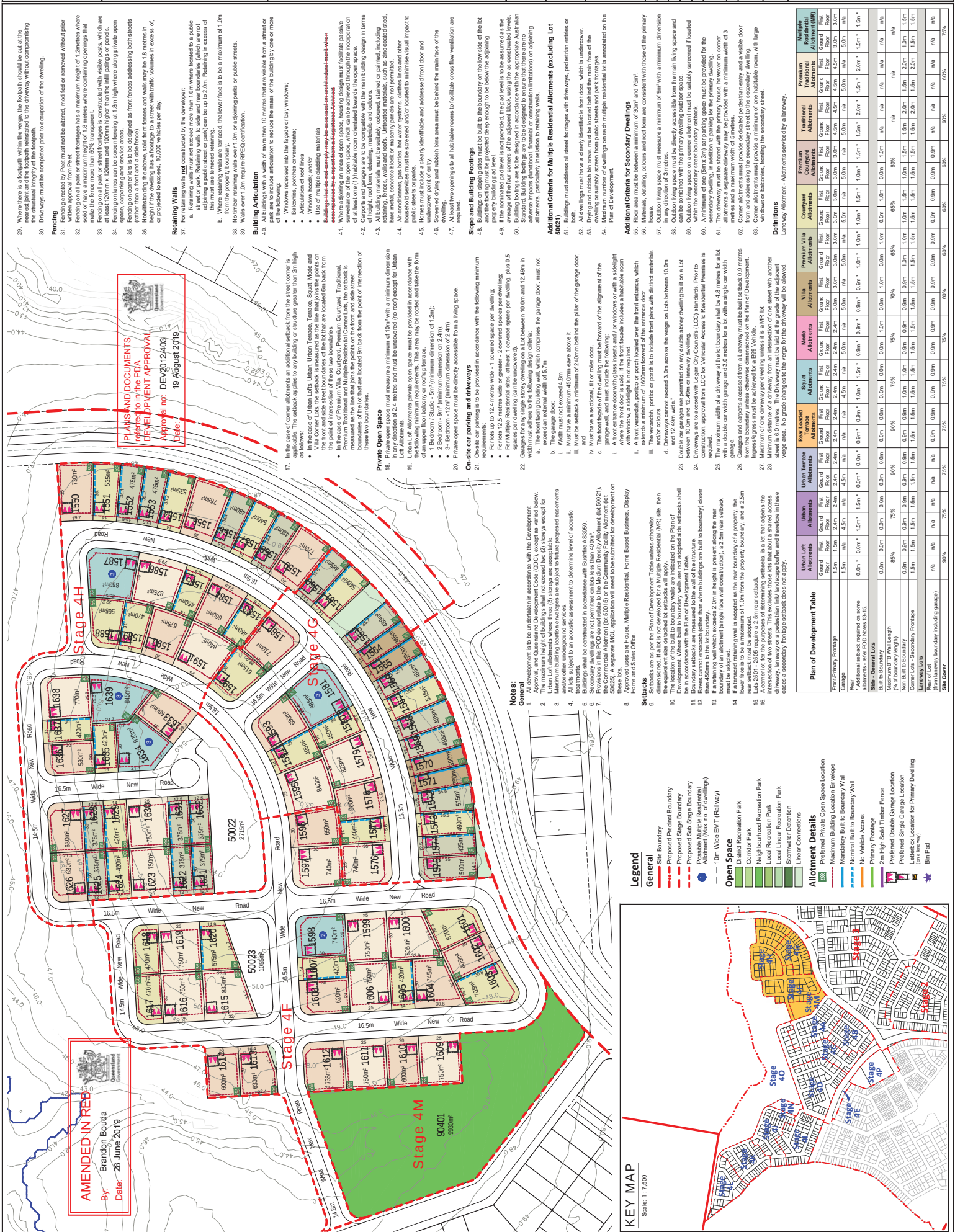
Scale: 1 : 7,500

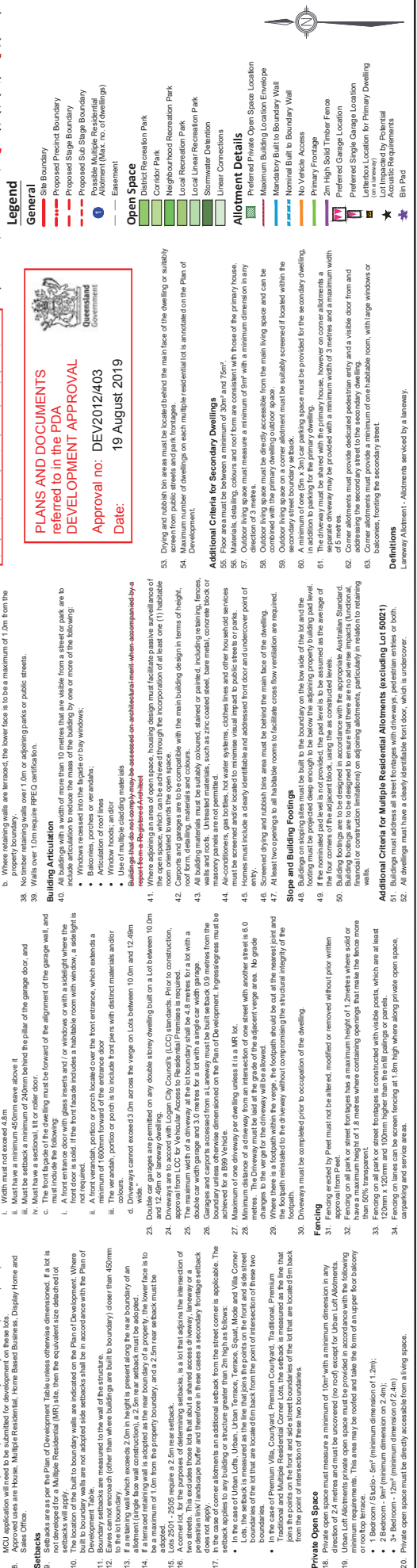
Year	Percentage
2009	75%
2010	80%
2011	82%
2012	83%
2013	84%
2014	85%

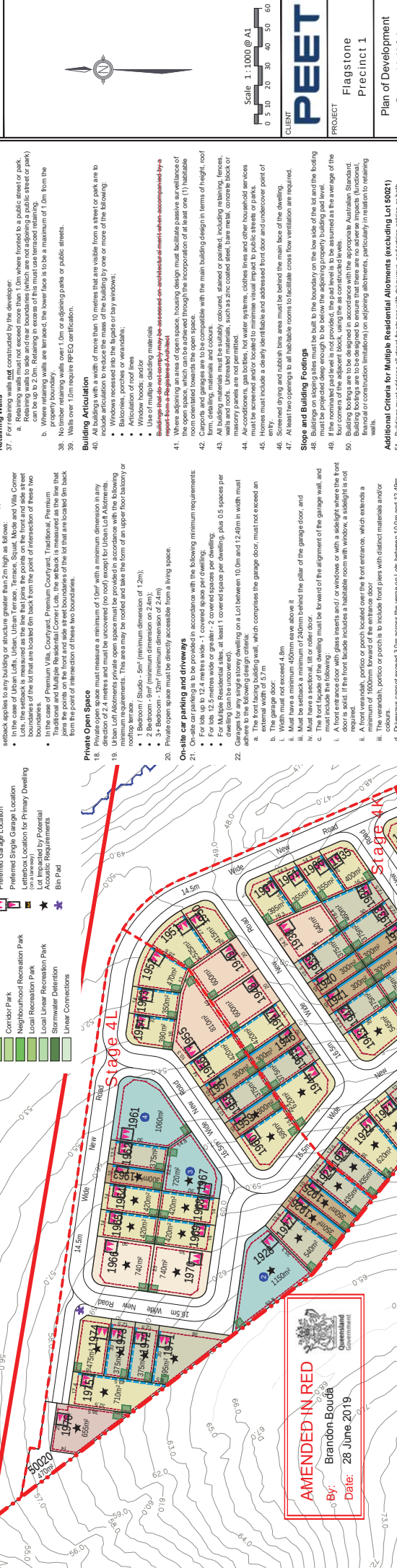
THE GAMES

A map of the study area showing the location of Stage 3 and Stage 4F. Stage 3 is marked with a red dot and labeled 'Stage 3' in red text. Stage 4F is marked with a blue dot and labeled 'Stage 4F' in blue text. A blue arrow points from Stage 4F towards Stage 3. The map shows a grid of streets and building footprints.



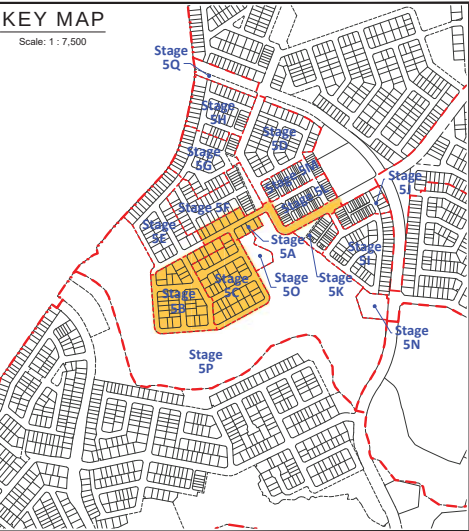




[illegible][illegible]

KEY MAP

Scale: 1 : 7,500



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Linear Connections
- Indicative Lake Extent

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradshires.

Scale 1 : 1000 @ A1
0 5 10 20 30 40 50 60

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Building A53859.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50015) or the Community Facility Allotment (lot 50025). A separate MCO application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

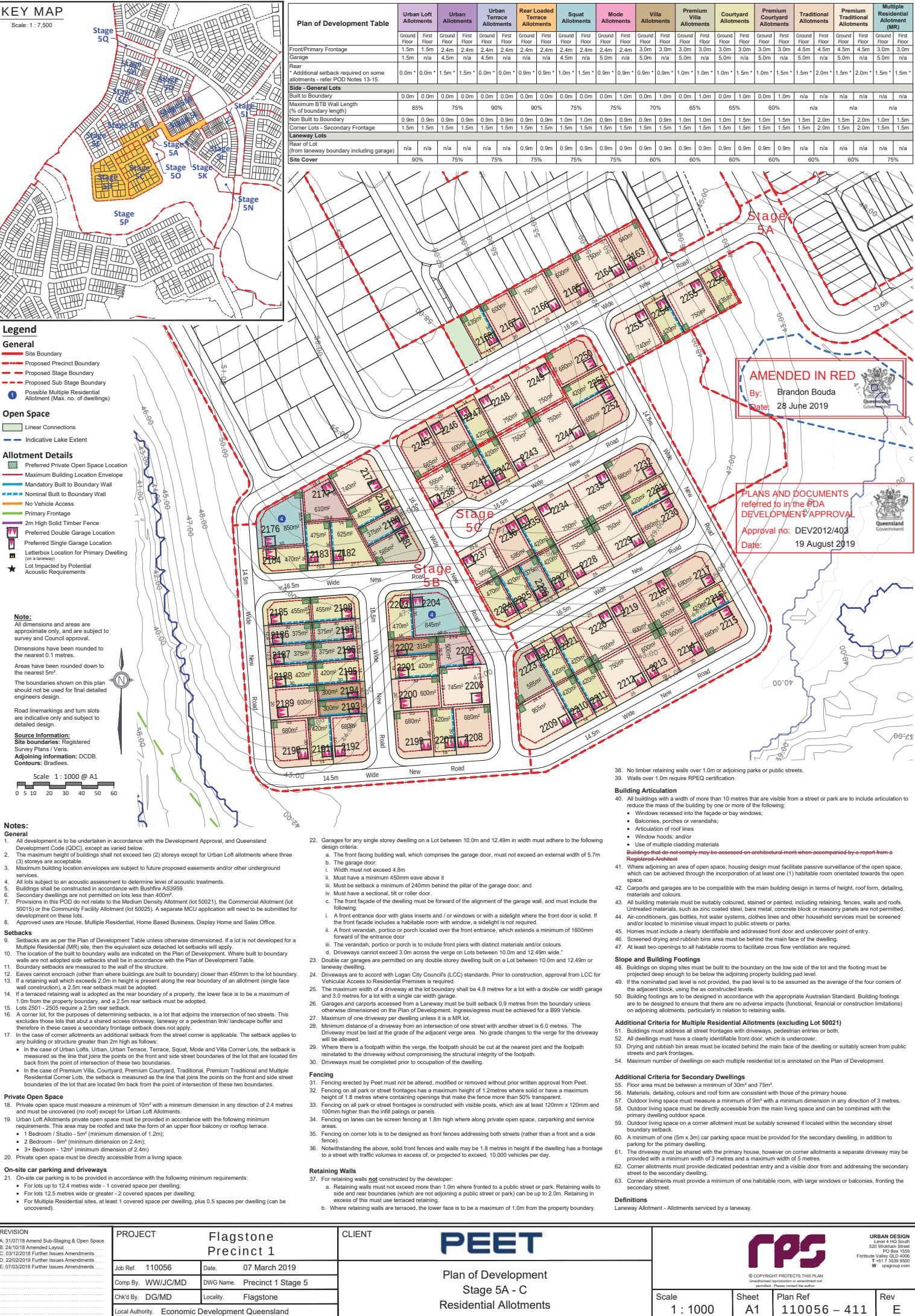
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage Garage	Ground Floor 1.5m First Floor 1.5m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m
Rear	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *
Side - General Lots	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *
Built to Boundary	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *	0.0m * 0.0m *
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m * 0.9m *	0.9m * 0.9m *	0.9m * 0.9m *	0.9m * 0.9m *	1.0m * 1.0m *	1.0m * 1.0m *	0.9m * 0.9m *	0.9m * 0.9m *	1.0m * 1.0m *	1.0m * 1.0m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *
Corner Lots - Secondary Frontage	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *	1.5m * 1.5m *
Laneway Lots													
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	60%	60%	60%	60%	60%	60%	75%



AMENDED IN RED

By: Brandon Bouda

Date: 28 June 2019

PLANS AND DOCUMENTS referred to in the EDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 19 August 2019

- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Buildings that are not exempt may be assessed on architectural merit when accompanied by a report from a Registered Architect.
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park footings.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 7m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Quiet living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

- A: 31/07/18 Amend Sub-Staging & Open Space
- B: 24/10/18 Amended Layout
- C: 03/12/2018 Further Issues Amendments
- D: 22/02/2019 Further Issues Amendments
- E: 07/03/2019 Further Issues Amendments

PROJECT

Flagstone
Precinct 1

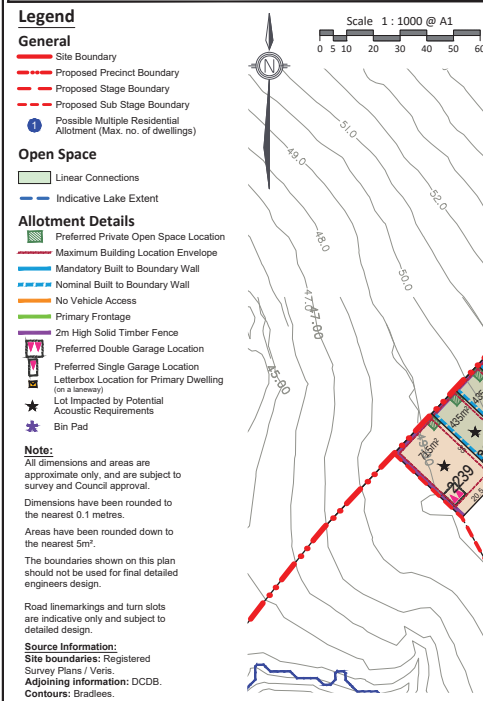
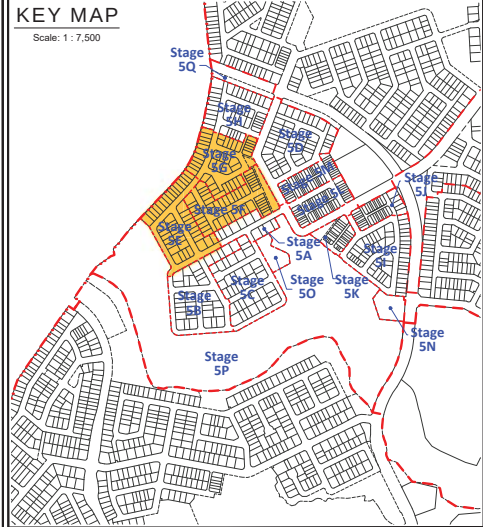
CLIENT

PEET

Plan of Development
Stage 5A - C
Residential Allotments

Job Ref.	110056	Date.	07 March 2019
Comp By.	WW/JC/MD	DWG Name.	Precinct 1 Stage 5
Chk'd By.	DG/MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

Scale	Sheet	Plan Ref	Rev
1 : 1000	A1	110056 - 411	E



- Notes:
- General
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Building AS3600.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50015) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Setbacks
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Loft, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of the two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- Private Open Space
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single story dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.

Plan of Development Table		Urban Loft Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Garage		1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Rear		0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.0m*	0.0m*	1.0m*	1.0m*	1.0m*	1.0m*
Side - General Lots		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Built to Boundary		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)		85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a
Non Built to Boundary		0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.5m	1.5m	1.5m
Corner Lots - Secondary Frontage		1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Laneway Lots		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from laneway boundary including garage)		n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a
Site Cover		90%	75%	75%	75%	75%	75%	60%	60%	60%	60%	60%	75%



REVISION	PROJECT	Flagstone Precinct 1	CLIENT	PEET
A: 31/07/18 Amend Sub-Staging & Open Space	Job Ref.	110056	Date:	07 March 2019
B: 24/10/18 Amend Layout	Comp By:	WW/JC/MD	DWG Name:	Precinct 1 Stage 5
C: 03/12/2018 Further Issues Amendments	Chk'd By:	DG/MD	Locality:	Flagstone
D: 22/02/2019 Further Issues Amendments	Local Authority:	Economic Development Queensland		
E: 07/03/2019 Further Issues Amendments				

Plan of Development
Stage 5E - G
Residential Allotments

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 412

Rev: E

Plan of Development Table	Urban Loft Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Garage	1.5m	n/a	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Rear	0.0m	0.0m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
* Additional setback required on some allotments - refer POD Notes 13-15.																								
Side - General Lots																								
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	75%	75%	90%	90%	75%	75%	75%	75%	70%	65%	65%	65%	60%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Lane/Lane Way Lots																								
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m
Site Cover	90%	75%	75%	75%	75%	75%	75%	75%	75%	75%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50015) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.

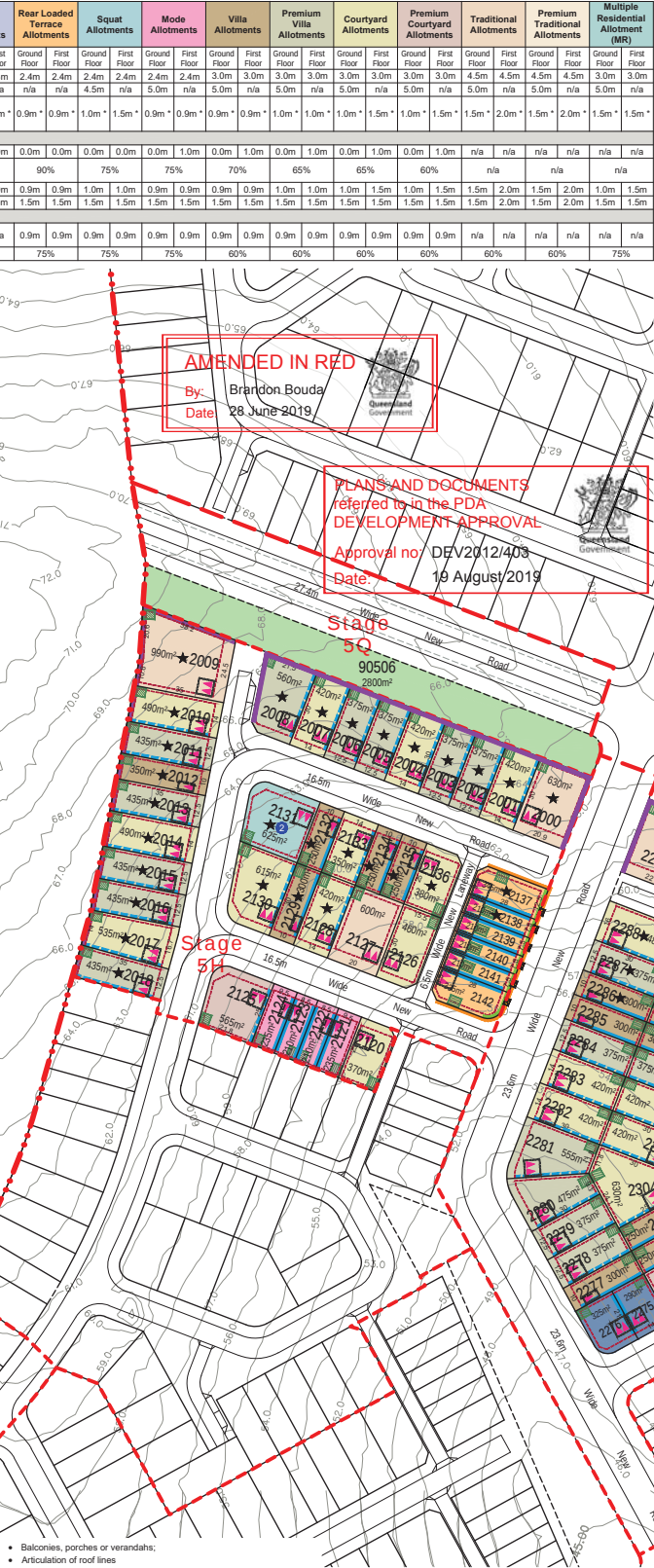
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
 - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with windows, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm from the entrance door
 - The verandah, portico or porch is to include front friers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or larger dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/Egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEC Certification.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;



KEY MAP

Scale: 1 : 7,500

Scale: 1 : 750 @ A1

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Side - General Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.5m	1.5m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
LaneWAY Lots													
Rear of Lot (from laneWAY boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	60%	60%	60%	60%	60%	60%	75%

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Bradfield.

AMENDED IN RED

By: Brandon Bouda

Date: 28 June 2019

Scale: 1 : 750 @ A1

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this PDA do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50015) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that share a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (not to be uncovered).
- Garages for any single storey dwelling on a lot between 10.0m and 12.4m in width must adhere to the following design criteria:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - b. The garage door:
 - i. Width must not exceed 4.8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - iv. Must have a sectional, tilt or roller door.
 - c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - ii. The verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.4m wide.
 - Double car garages are permitted on any double storey dwelling built on a lot between 10.0m and 12.4m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) stationing. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a LaneWAY must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B90 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials

Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

LaneWAY Allotment - Allotments serviced by a laneWAY.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 19 August 2019

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Conservation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Connections
- Indicative Lake Extent

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterboxed Location for Primary Dwelling (on a kerb)
- Lot Located by Potential Acoustic Requirements
- Bin Pad

REVISION

A: 31/07/18 Amend Sub-Staging & Open Space

B: 24/10/18 Amended Layout

C: 03/12/2018 Further Issues Amendments

D: 22/02/2019 Further Issues Amendments

E: 07/03/2019 Further Issues Amendments

PROJECT

Flagstone Precinct 1

Job Ref. 110056

Date. 07 March 2019

Comp By. WW/JC/MD

DWG Name. Precinct 1 Stage 5

Chk'd By. DG/MD

Locality. Flagstone

Local Authority. Economic Development Queensland

CLIENT

PEET

Plan of Development

Stage 5I, J, K, N & O

Residential Allotments

Scale 1 : 750

Sheet A1

Plan Ref 110056 - 414

Rev E

URBAN DESIGN

Level 4 HQ South

520 William Street

PO Box 1059

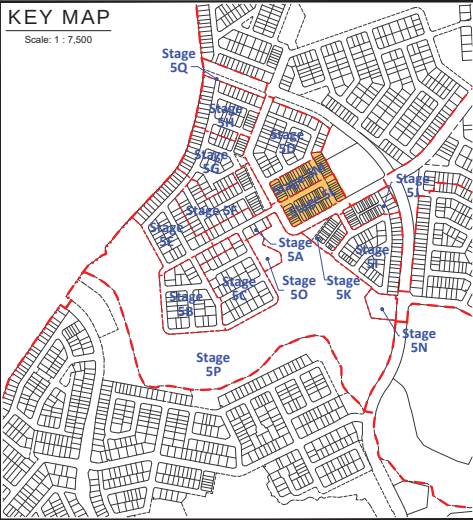
Fortitude Valley QLD 4008

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KEY MAP

Scale: 1 : 7,500



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradshes.

Legend

General

- Title Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub-Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements

Notes:

General

1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (DDC), except as varied below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50015) or the Community Facility Allotment (lot 50025). A separate MCI application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
13. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
14. If a terraced retaining wall is adopted as the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
15. Lots 2501 - 2505 require a 2.5m rear setback.
16. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that adjoin a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
17. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.

Private Open Space

18. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof) except for Urban Loft Allotments.
19. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
20. Private open space must be directly accessible from a living space.

On-site car parking and driveways

21. On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling.
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling.
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
22. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - b. The garage door:
 - i. Width must not exceed 4.8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - iv. Must have a sectional, tilt or roller door.
 - c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - i. A front entrance door with glass inserts and / or windows or with a sightline where the front door is solid. If the front facade includes a habitable room with window, a sightline is not required.

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage	Ground Floor 1.5m First Floor 1.5m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m
Rear	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*
Side - General Lots	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*	0.0m* 0.0m*
Built to Boundary	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m
Corner Lots - Secondary Frontage	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m
Laneway Lots													
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	60%	60%	60%	60%	60%	60%	75%

PLANS AND DOCUMENTS referred to in the POD DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 19 August 2019



AMENDED IN RED

By: Brandon Bouda
Date: 28 June 2019



REVISION	PROJECT	Flagstone Precinct 1	CLIENT	PEET	Plan of Development Stage 5L & M Residential Allotments	Scale	Sheet	Plan Ref	Rev
A: 31/07/18 Amend Sub-Staging & Open Space	Job Ref.	110056	Date:	07 March 2019		1 : 500	A1	110056 - 415	E
B: 24/10/18 Amended Layout	Comp By:	VW/JC/MD	DWG Name:	Precinct 1 Stage 5					
C: 03/12/2018 Further Issues Amendments	Chk'd By:	DG/MD	Locality:	Flagstone					
D: 22/02/2019 Further Issues Amendments	Local Authority:	Economic Development Queensland							
E: 07/03/2019 Further Issues Amendments									

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