

KEY

- Stage 1 - Enabling Works
- Stage 2 (Edith Cavell)
- Stage 3 (Lady Lamington)
- Stage 4 (Lady Norman)

  
**PLANS AND DOCUMENTS**  
 referred to in the PDA  
**DEVELOPMENT APPROVAL**  
 Approval no: DEV2019/1003  
 Date: 9 August 2019

Project Name: Herston Quarter Heritage  
 Revision: DA/Revision k  
 Date: 17/04/2019

Client: Australian Unity  
 Scale: 1800 @ A3

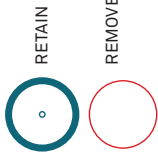
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**STAGING PLAN**

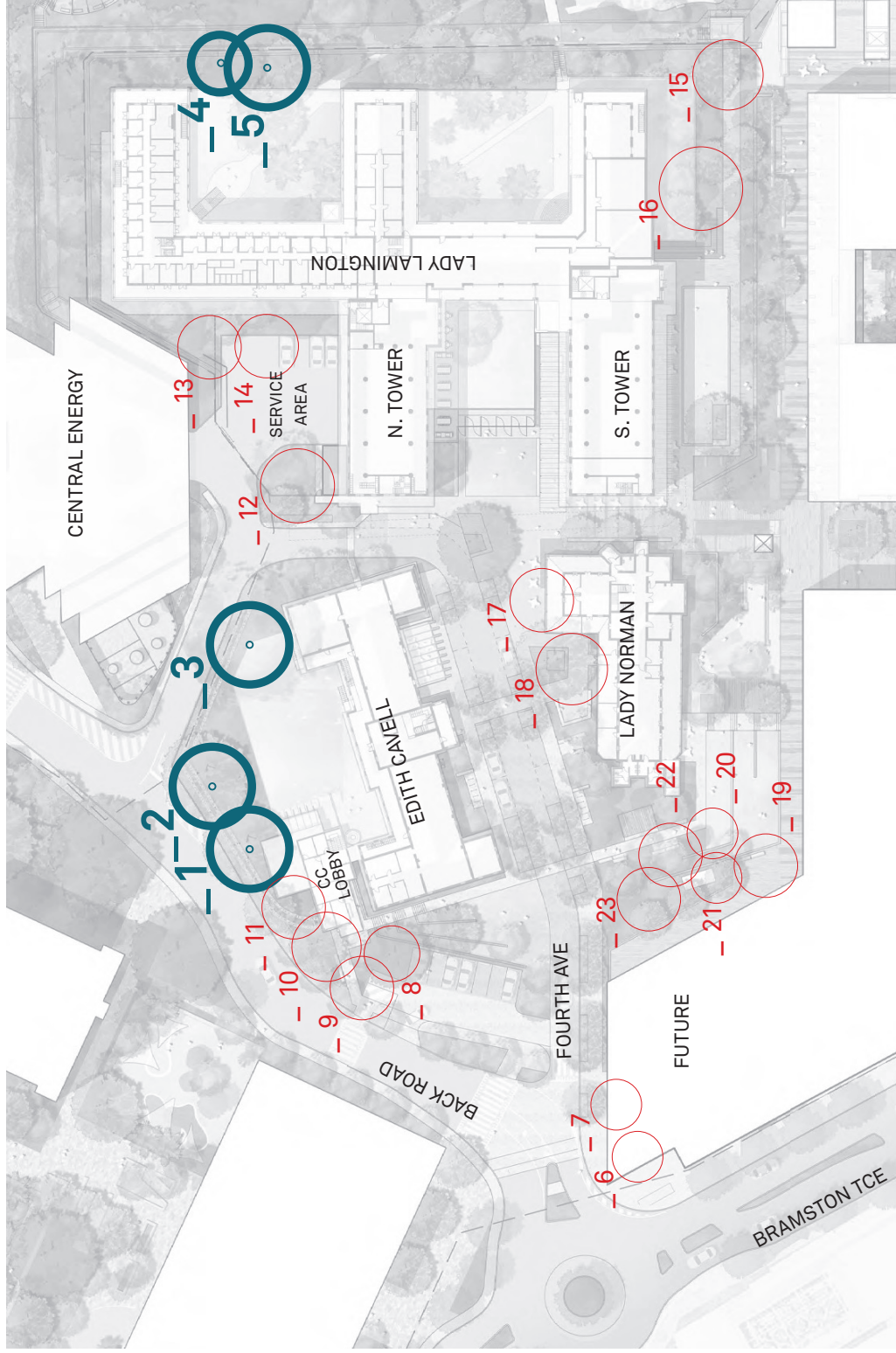
**HASSELL**

# Existing Tree Plan

## KEY



1. Jacaranda mimosifolia
2. Jacaranda mimosifolia
3. Delonix regia - Poinciana
4. Macadamia intergrifolia
5. Libidibia ferrea
6. Grevillea robusta - Silky oak
7. Harpullia pendula - Tulipwood
8. Jacaranda mimosifolia
9. Eucalyptus species
10. Celtis species
11. Delonix regia - Poinciana
12. Jacaranda mimosifolia
13. Araucaria cunninghamii - Hoop pine
14. Delonix regia - Poinciana
15. Jacaranda mimosifolia
16. Celtis sinensis
17. Spathodea campanulata - African tulip
18. Cinnamomum camphora - Camphor laurel
19. Eucalyptus species
20. Delonix regia - Poinciana
21. Eucalyptus species
22. Delonix regia - Poinciana
23. Celtis sinensis



  
**PLANS AND DOCUMENTS**  
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 Approval no: DEV2019/1003  
 Date: 9 August 2019

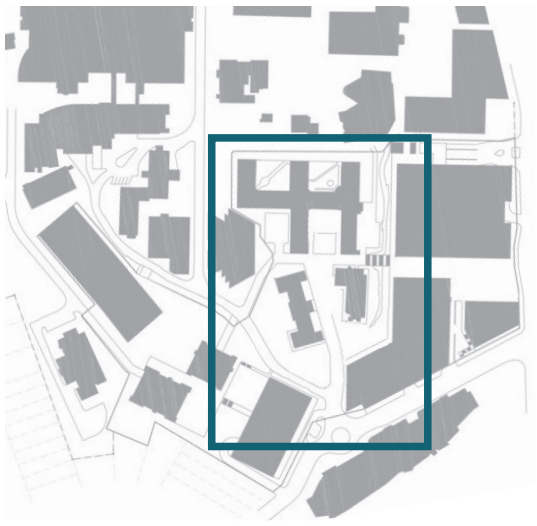
**HASSELL**

Drawing No. DA-L-502  
 Scale 1:800 @ A3  
 Client Australian Unity  
 Project Name Herston Quarter Heritage  
 Revision DA Issue H  
 Date 24.01.2019

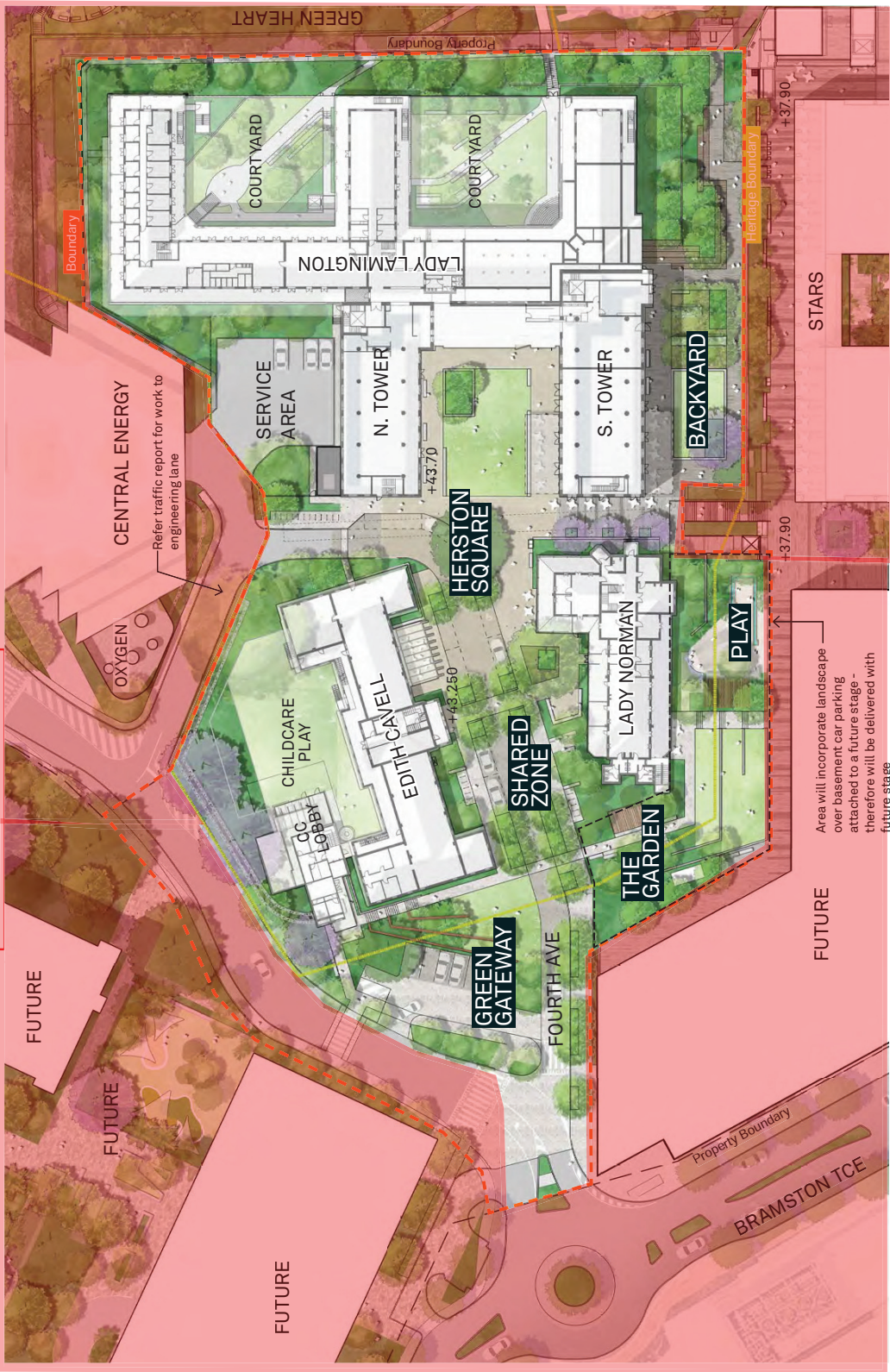


A series of connected spaces to meet, gather, retreat, play & dwell...

**AMENDED IN RED**  
 By: Sarah Hampstead  
 Date: 8 August 2019



Key Plan



**HERITAGE CORE LANDSCAPE PLAN**

EXCLUDED from this PDA DEVELOPMENT APPROVAL

CENTRAL ENERGY  
 Refer traffic report for work to engineering lane

Area will incorporate landscape over basement car parking - therefore will be delivered with future stage



**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: DEV2019/1003  
 Date: 9 August 2019

**HASSELL**

Scale 1:800 @ A3

Client Australian Unity

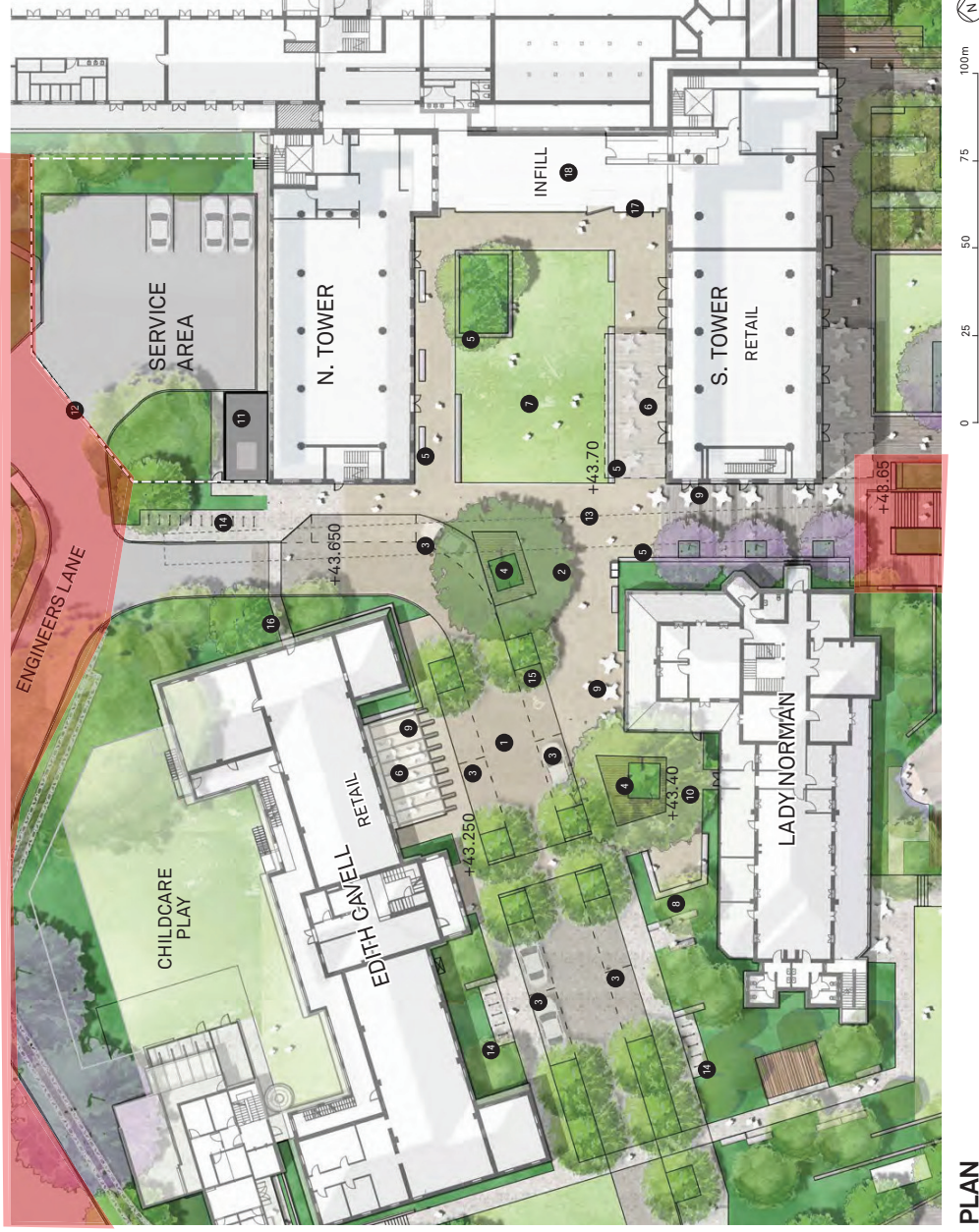
Project Name Herston Quarter Heritage

Revision DA Issue 1

Date 02.05.2019



EXCLUDED from this  
PDA DEVELOPMENT APPROVAL



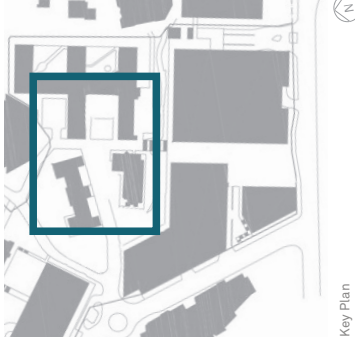
PLAN

Herston Square

**A Herston Square will leverage off the site's rich heritage amenity and become a key destination and heart of the Herston Quarter, with integrated flexibility to support outdoor activities, large groups, informal recreation and events.**

Legend

1. Shared zone - one way
2. Plaza/ Event Space
3. Parallel Parking
4. Feature Tree & seating platform
5. Seat / Seating wall
6. Outdoor dining awnings - Refer Arch. Drawings
7. Lawn space
8. Seating nooks
9. Outdoor Dining
10. Lady Norman Entry Forecourt
11. Substation
12. Decorative screen to Service Area
13. Service tunnel below (dashed)
14. Bicycle parking
15. PWD car park
16. BOH service access to Edith Cavell from Service Area
17. Student Accom Entry
18. Green roof over infill building



Key Plan

**AMENDED IN RED**  
By: Sarah Hampstead  
Date: 8 August 2019



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Approval no: DEV2019/1003  
Date: 9 August 2019



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Scale  
1:500 @ A3

Drawing No.  
DA-L-201

Client  
Australian Unity

Project Name  
Herston Quarter Heritage

Revision  
DA Issue 1

Date  
02.05.2019



FOURTH AVENUE SECTION

HASSELL

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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Date: 9 August 2019



Drawing No. DA-L-202

Scale 1:200 @ A3

Client Australian Unity

Project Name Herston Quarter Heritage

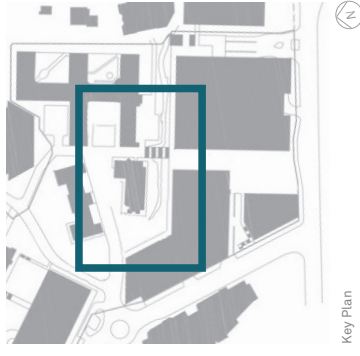
Revision DA Issue 1

Date 02.05.2019



Key Plan





Key Plan

**Play**

**A casual play space that takes advantage of the terrain, providing amenity for the community, visitors and families.**

A bespoke playground design that reflects the materiality of the heritage core and the potential to integrate a narrative around the former children's hospital

**The Garden**

**A quite garden retreat with seating nooks and sheltered pavilion for small groups and meetings**

The 'Garden' will incorporate floral plantings providing a connection to the original display gardens of the Lady Lamington Courtyards. The 'Garden' will also incorporate and showcase a series of medicinal plants aligned with the wellness and healing themes of the broader health precinct. The medicinal species will also be peppered throughout the general heritage planting areas as accent plants.

**Legend**

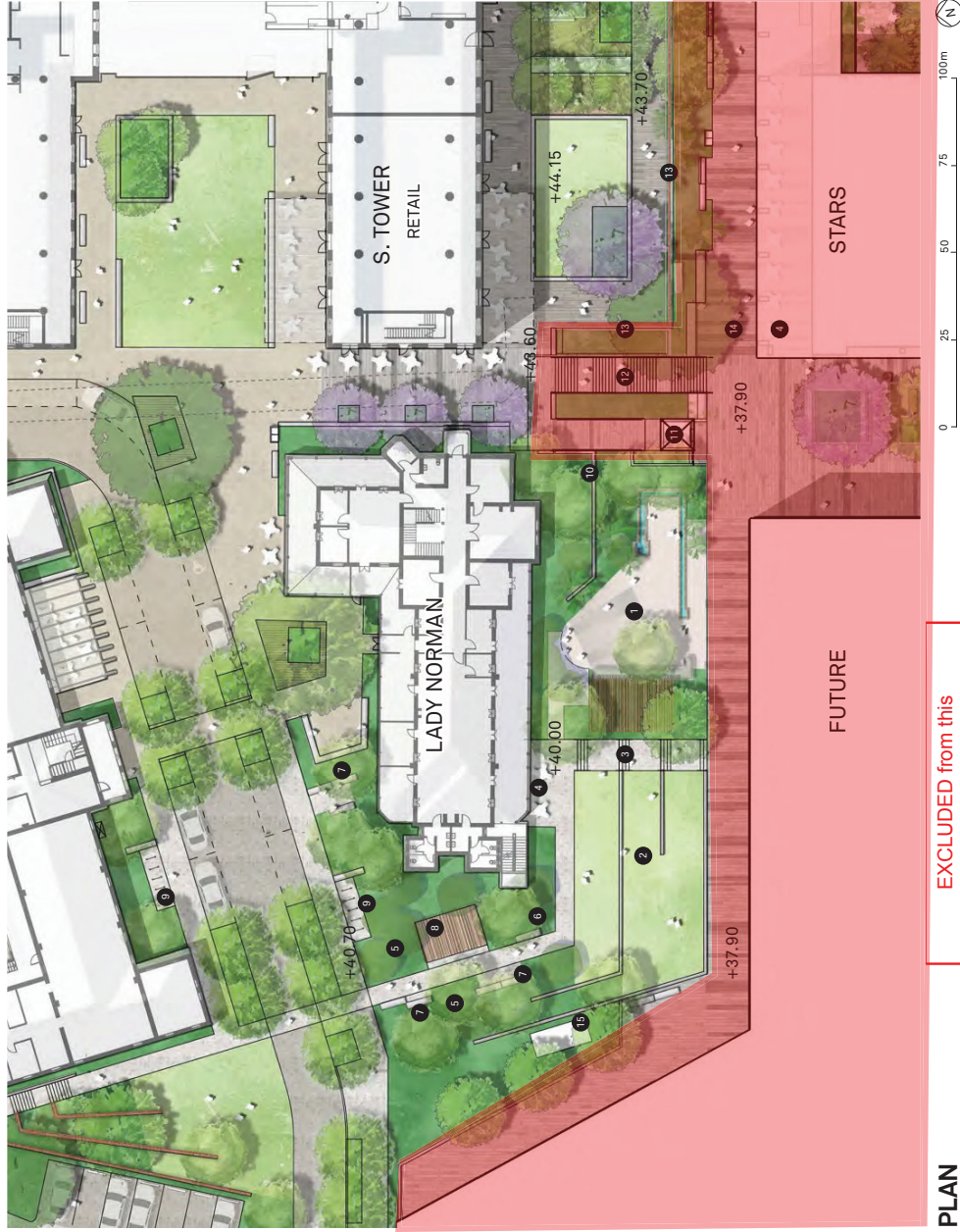
1. Playground
2. Lawn Terraces with seating walls
3. Stairs
4. Outdoor dining
5. Floral Garden
6. Medicinal Garden
7. Seating nook
8. Sheltered Garden Pavilion
9. Bicycle parking
10. Retaining wall
11. Public Lift (Stage 1 STARS Works)
12. Stairs (Stage 1 STARS Works)
13. Brick embankment wall (Stage 1 STARS Works)
14. Lamington Place (Stage 1 STARS Works)
15. Relocated Stage 1 vent from carpark below

**AMENDED IN RED**  
 By: Sarah Hampstead  
 Date: 8 August 2019

Revision DA Issue 1  
 Date 02.05.2019

Project Name Herston Quarter Heritage

Client Australian Unity



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PLAN

Scale 1:500 @ A3

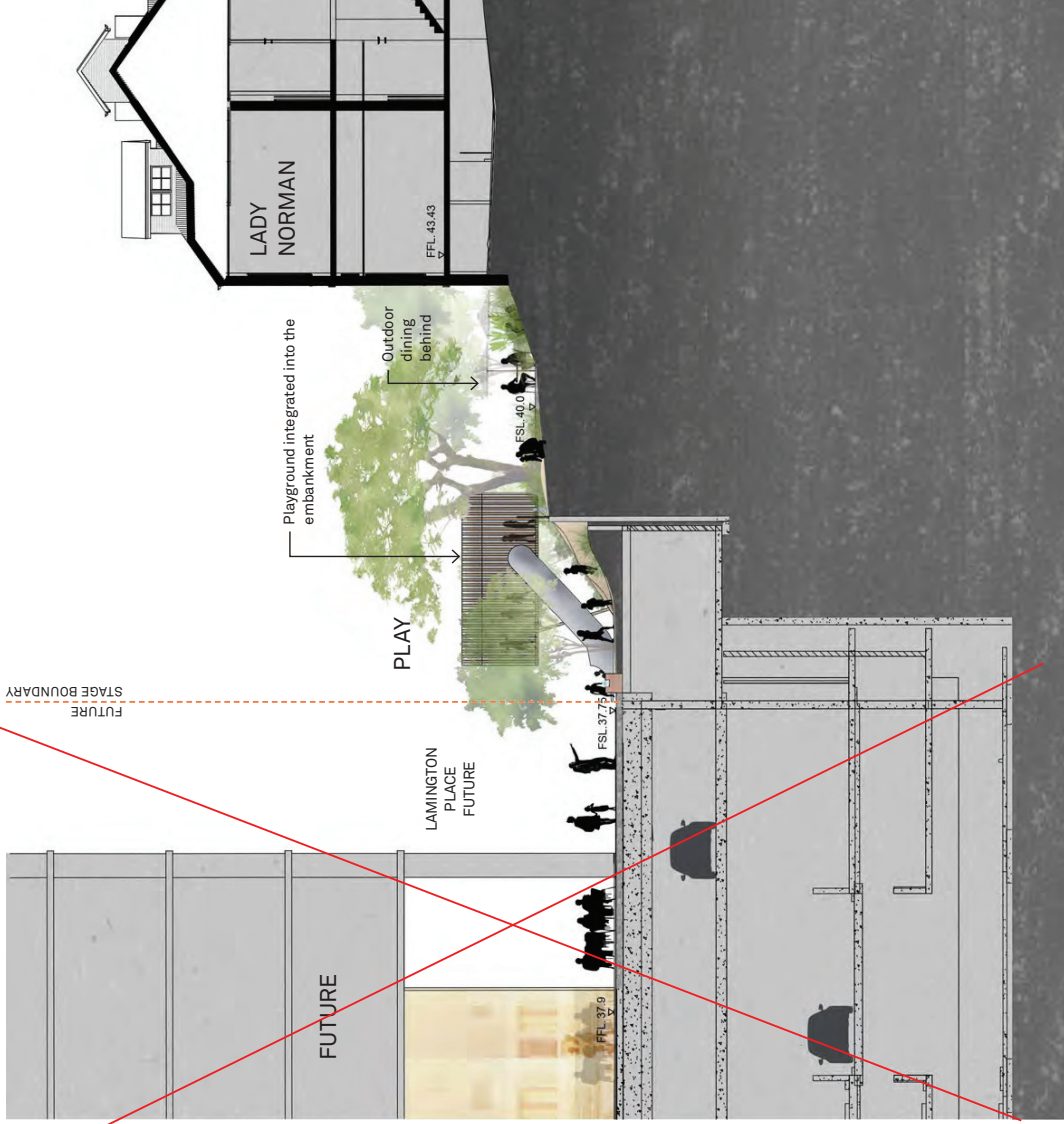
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**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**  
 Approval no: DEV2019/1003  
 Date: 9 August 2019



**HASSELL**

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PDA DEVELOPMENT APPROVAL



PLAY SECTION

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL  
Approval no: DEV2019/1003  
Date: 9 August 2019

Drawing No.  
DA-L-204

Scale  
1:200 @ A3

Client  
Australian Unity

Project Name  
Herston Quarter Heritage

Revision  
DA Issue 1

Date  
02.05.2019



Key Plan

**AMENDED IN RED**  
By: Sarah Hampstead  
Date: 8 August 2019



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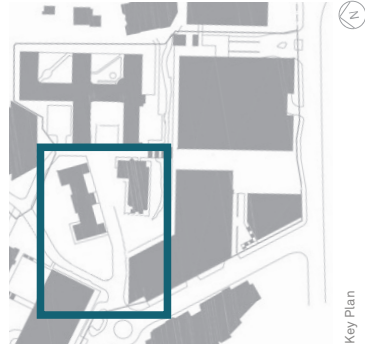


EXCLUDED from this  
PDA DEVELOPMENT APPROVAL



PLAN

## The Green Gateway A welcoming green arrival space, opening up views to the heritage buildings beyond



Key Plan

### Legend

1. Shared Zone - one way
2. Raised Crossing
3. Approx. 3m high retaining wall. Final location to be confirmed post Geotech & Heritage investigation
4. Lawn / Garden Terraces with reclaimed brick retaining walls
5. Childcare forecourt and seating area
6. Footpath
7. Stairs
8. Seating nook
9. PWD car park
10. Short term loading / Passenger drop off space
11. Parking bays
12. Bicycle parking
13. Heritage wall removed - Refer Architect's drawings
14. Child Care Exclusive Use Courtyard- refer Architects drawings

**AMENDED IN RED**  
By: Sarah Hampstead  
Date: 8 August 2019

**PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL**  
Approval no: DEV2019/1003  
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**HASSELL**

Scale  
1:500 @ A3

Drawing No.  
DA-L-205

Client  
Australian Unity

Project Name  
Herston Quarter Heritage

Revision  
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02.05.2019







**AMENDED IN RED**  
 By: Sarah Hampstead  
 Date: 8 August 2019

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 PDA DEVELOPMENT APPROVAL**



**GREEN GATEWAY SECTION**

**PLANS AND DOCUMENTS  
 referred to in the PDA  
 DEVELOPMENT APPROVAL**  
 Approval no: DEV2019/1003  
 Date: 9 August 2019

**HASSELL**

Drawing No.  
 DA-L-206

Scale  
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Client  
 Australian Unity

Project Name  
 Herston Quarter Heritage

Revision  
 DA Issue 1

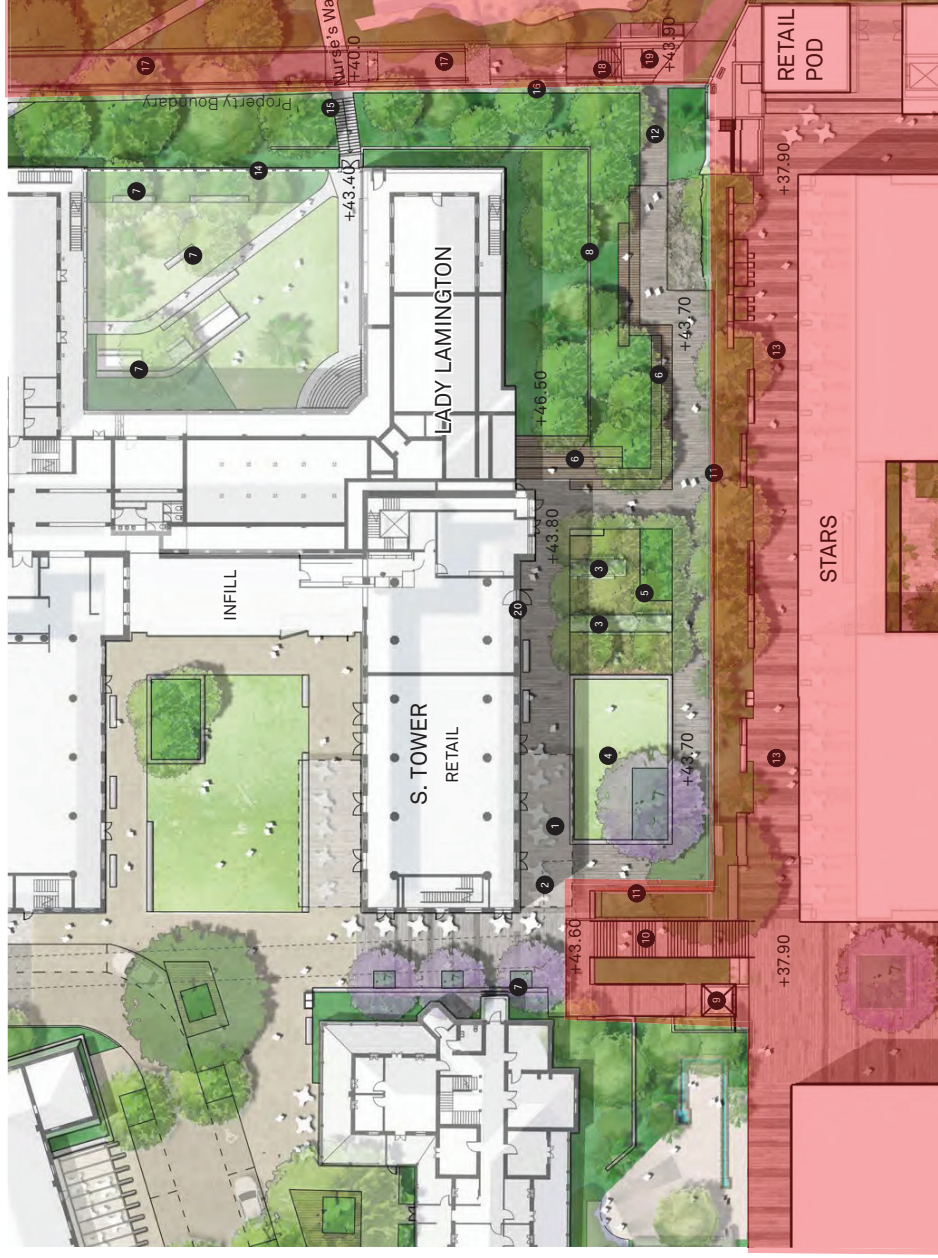
Date  
 02.05.2019

The Backyard

**An informal and relaxed public zone providing a place for site users and student residents to interact**

The Green Heart Connection

**A transition zone drawing in the natural amenity of the green heart and providing a strong linking element**

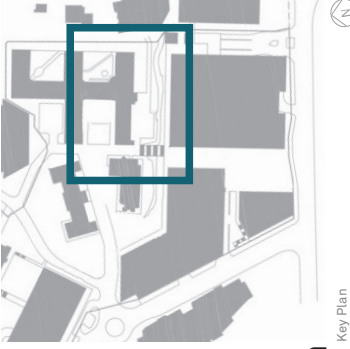


**PLAN**

**EXCLUDED from this PDA DEVELOPMENT APPROVAL**

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 Approval no: DEV2019/1003  
 Date: 9 August 2019

**HASSELL**



Key Plan

**Legend**

1. Outdoor dining awnings - Refer Arch. Drawings
2. Outdoor Dining
3. Communal tables
4. Raised Lawn terrace with seating wall
5. Tree bosque
6. Bleachers
7. Outdoor table setting and seating walls
8. Stone clad retaining wall
9. Public Lift (Stage 1 STARS Works)
10. Stairs (Stage 1 STARS Works)
11. Brick embankment wall (Stage 1 STARS Works)
12. Suspended slab walkway - Landscape below
13. Lamington Place (Stage 1 STARS Works)
14. Heritage wall reinstated (Refer Arch. Drawings)
15. New stairs to 'Nurse's Walk'
16. Oxygen culvert alignment (Stage 1 STARS Works)
17. Existing culvert
18. Stairs to lookout (Future Works by Metro North)
19. Sheltered lookout (Future Works by Metro North)
20. Student Accom entry

**AMENDED IN RED**  
 By: Sarah Hampstead  
 Date: 8 August 2019



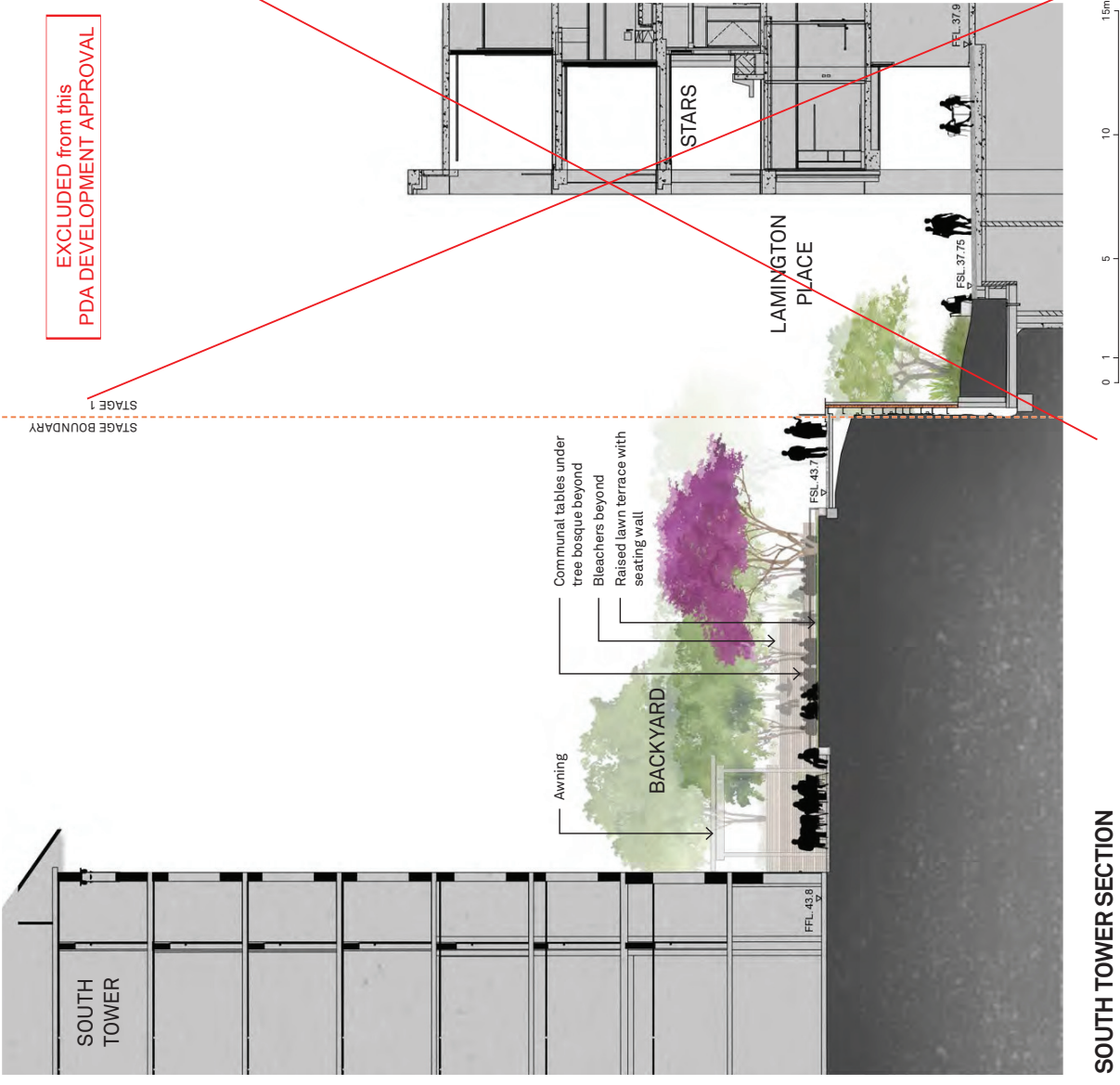
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 Date: 02.05.2019

Project Name: Herston Quarter Heritage

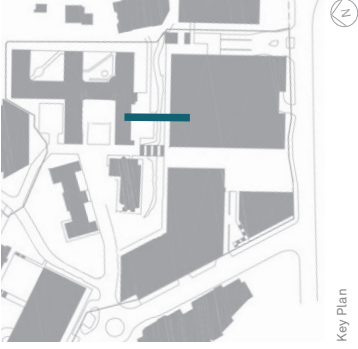
Client: Australian Unity

Scale: 1:500 @ A3

Drawing No.: DA-L-207



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By: Sarah Hampstead  
Date: 8 August 2019



**SOUTH TOWER SECTION**

**HASSELL**

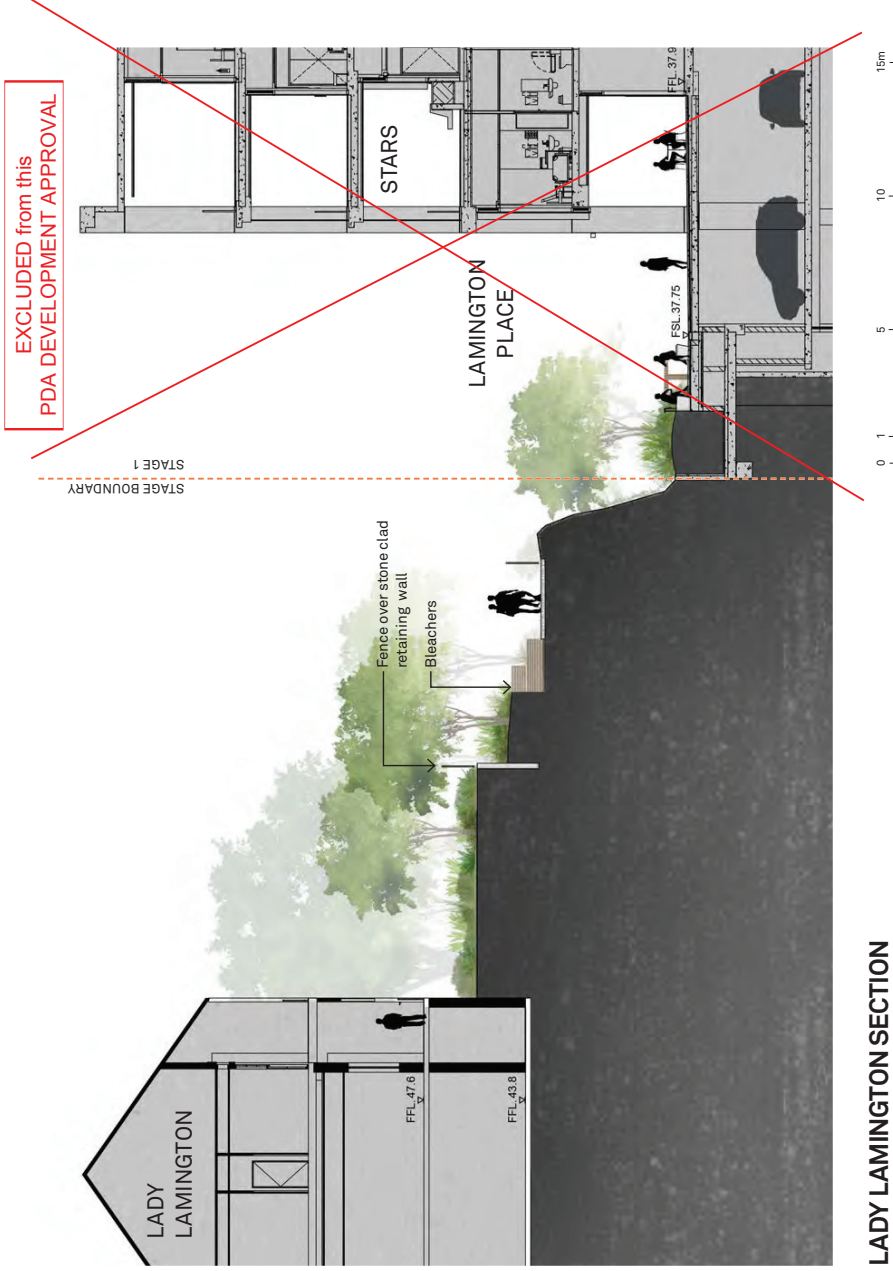
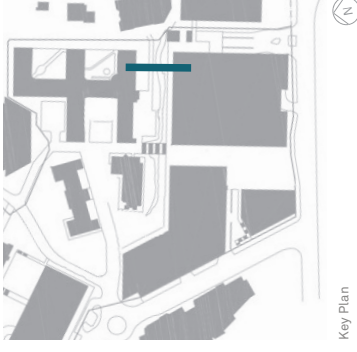
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
Approval no: DEV2019/1003  
Date: 9 August 2019



Client: Australian Unity  
Project Name: Herston Quarter Heritage  
Revision: DA Issue 1  
Date: 02.05.2019

Drawing No. DA-L-208  
Scale: 1:200 @ A3





LADY LAMINGTON SECTION

HASSELL



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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By: Sarah Hampstead

Date: 8 August 2019

Client: Australian Unity

Scale: 1:200 @ A3

Drawing No. DA-L-209

Project Name: Herston Quarter Heritage

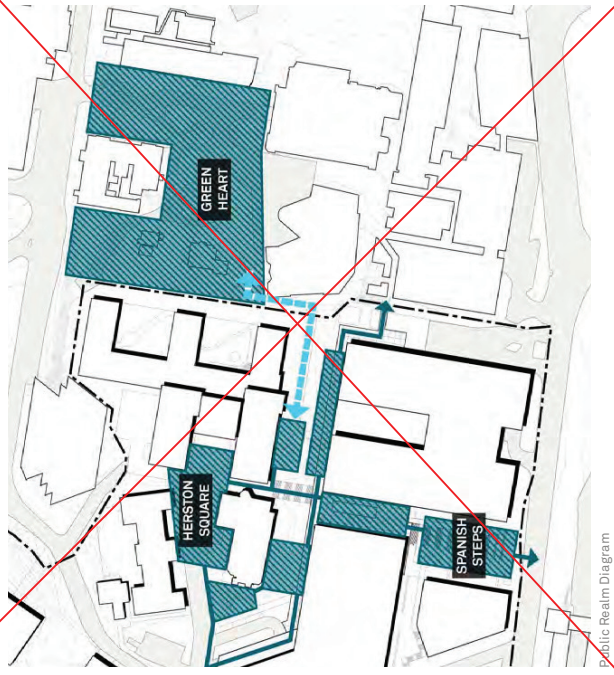
Revision: DA Issue 1

Date: 02.05.2019

## Connecting the Green Heart

A pathway connection with stairs will negotiate the steep level change from the Green Heart up to Herston Quarter. The pathway will link the two spaces with a legible connection from the historic 'Nurse's Walk' around the southern side of Lady Lamington and to Herston Square.

**EXCLUDED from this PDA DEVELOPMENT APPROVAL**

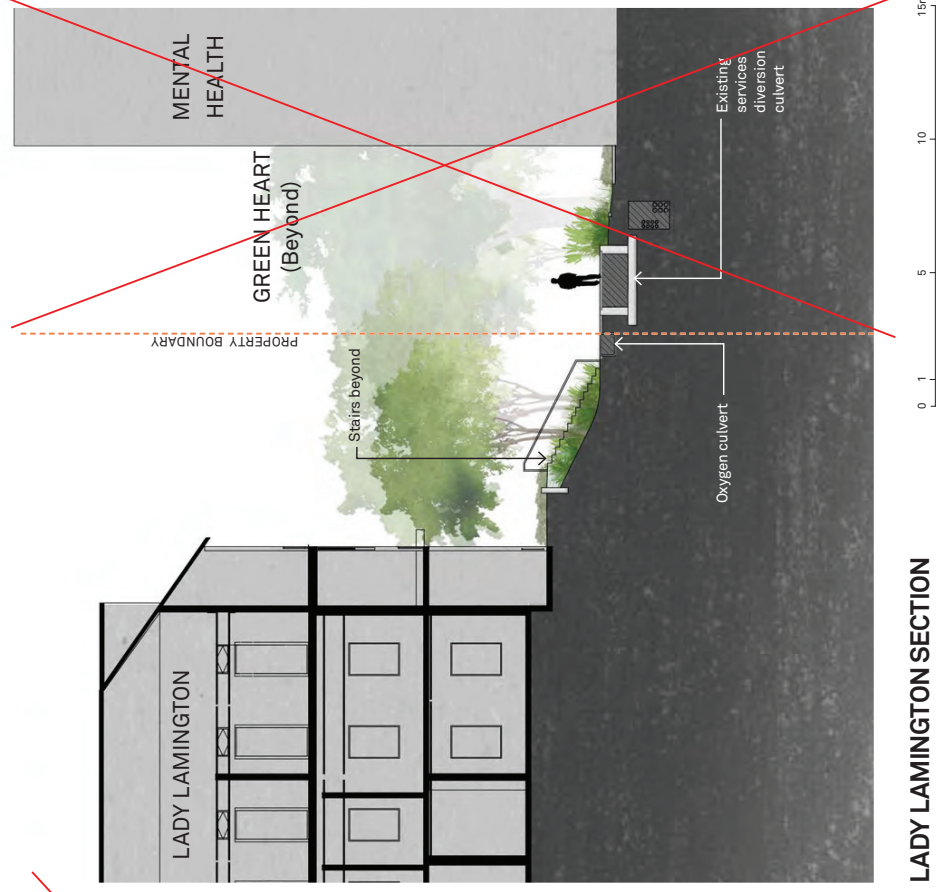


Public Realm Diagram



Key Plan

**EXCLUDED from this PDA DEVELOPMENT APPROVAL**



LADY LAMINGTON SECTION



**AMENDED IN RED**  
 By: Sarah Hampstead  
 Date: 8 August 2019

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 Approval no: DEV2019/1003  
 Date: 9 August 2019



**HASSELL**

**Project Name**  
Herston Quarter Heritage

**Client**  
Australian Unity

**Scale**  
1:200 @ A3

**Drawing No.**  
DA-L-210

**Revision**  
DA Issue 1

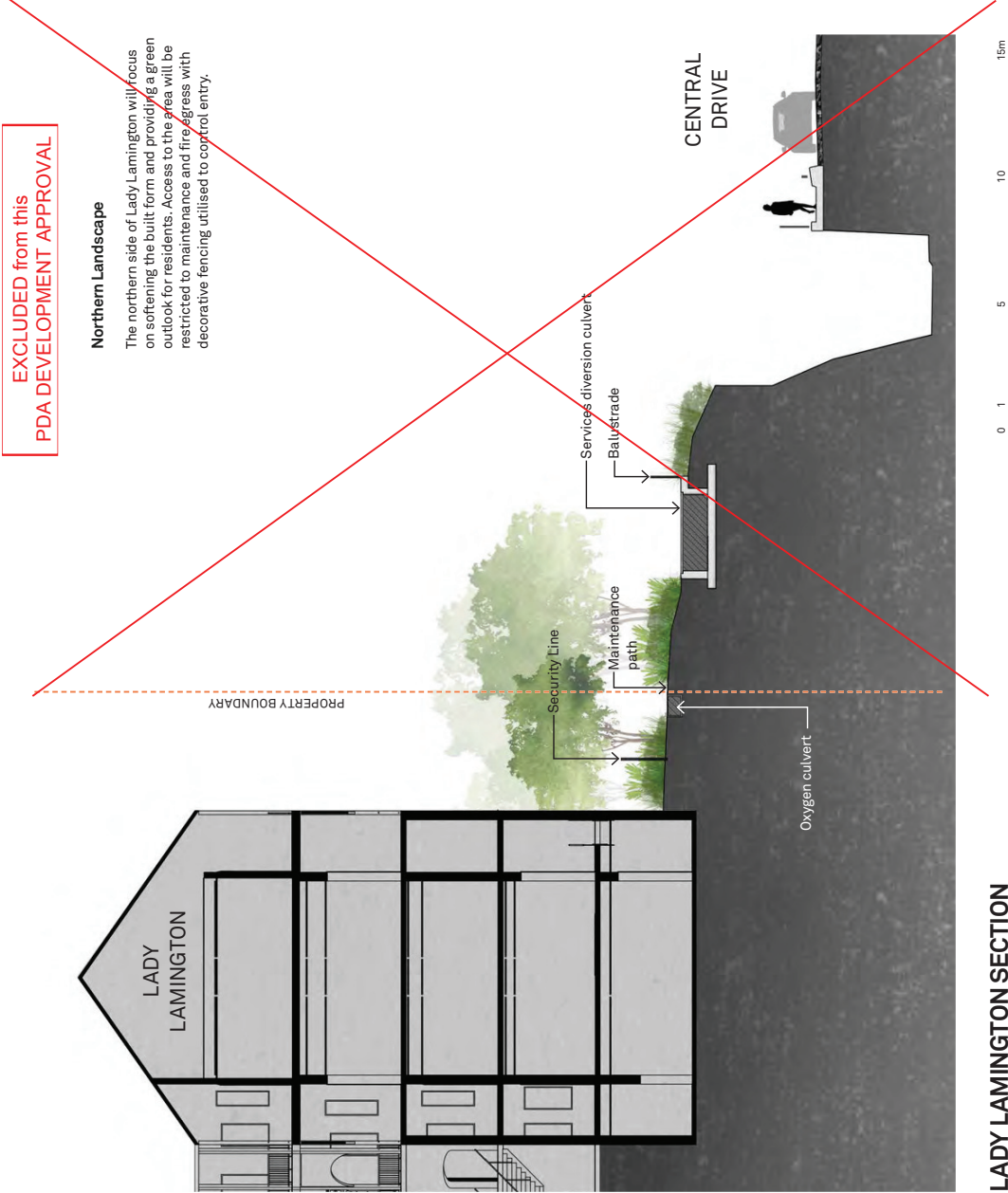
**Date**  
02.05.2019

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 By: Sarah Hampstead  
 Date: 8 August 2019



**EXCLUDED from this PDA DEVELOPMENT APPROVAL**

**Northern Landscape**  
 The northern side of Lady Lamington will focus on softening the built form and providing a green outlook for residents. Access to the area will be restricted to maintenance and fire access with decorative fencing utilised to control entry.

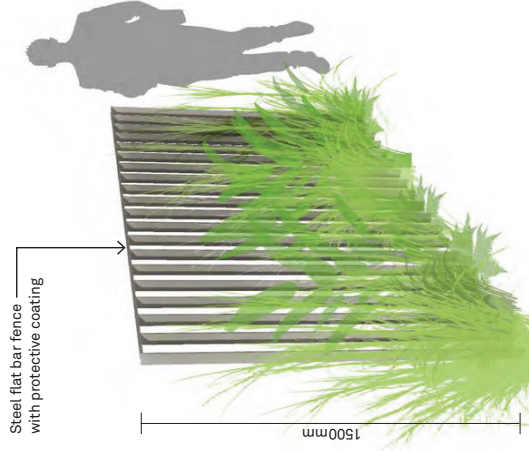


**LADY LAMINGTON SECTION**

0 1 5 10 15m

**Security Fence Vignette**

A simple visually recessive flat bar fence will be utilised along the security line. The fence will generally be located within planting to further soften its visual impact on the landscape.



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**HASSELL**

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Scale 1:200 @ A3

Client Australian Unity

Project Name Herston Quarter Heritage

Revision DA Issue 1

Date 02.05.2019



## Materiality

A consistent palette of materials and furniture will tie Herston Quarter together and provide a unifying 'carpet' that visually defines the precinct and links the various built form together. The use of a neutral palette of materials with a reliance on stone, concrete and timber will create a simple and strong 'materiality' for the precinct. The public realm will generally focus on utilizing natural / raw materials and minimizing applied finishes to create a hard wearing public realm treatment which provides longevity in robustness and aesthetics.

The reuse of reclaimed brick from the demolition of existing buildings will be used as a feature material within the public realm extending the narrative of the sites history across the landscape.



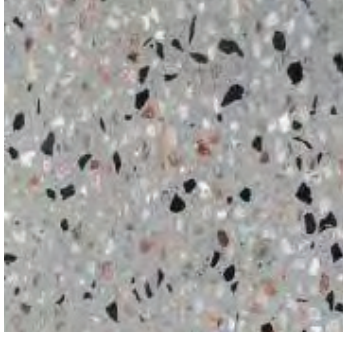
GRANITE PAVERS - JUPURANA



GRANITE PAVERS - TORINO



GRANITE PAVERS - WYUNNA



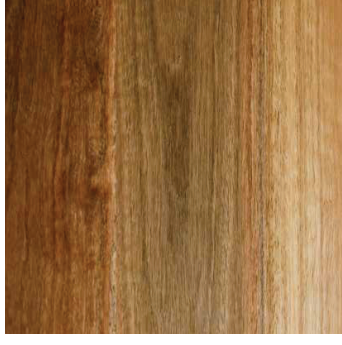
HONED CONCRETE



TREE GRATE - INFILL



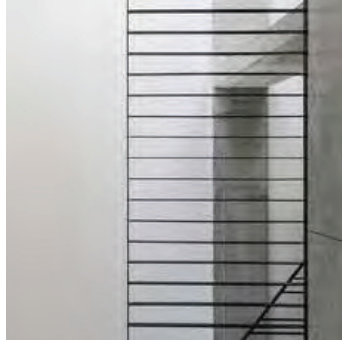
BRASS HANDRAILS & FURNITURE TRIM



TIMBER - SPOTTED GUM



CONCRETE WALLS



BALUSTRADE - PROTECTIVE COATING



STRIP DRAIN - ACO CAST IRON



BRICK (POTENTIALLY RECLAIMED)



**PLANS AND DOCUMENTS**  
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Scale

Drawing No.  
DA-L-401

Client  
Australian Unity

Project Name  
Herston Quarter Heritage

Revision  
DA Issue 1

Date  
02.05.2019



## Planting Palette

The planting palette will be memorable and distinctive and continue to promote the lived shade trees which characterise the existing vegetation the precinct. The use of the vernacular Brisbane mix of Figs, Jacarandas and Poincianas which typify the established planting character of the site will continue to be utilised to form the structure of the landscape environment. This structure will be complimented by a selection of smaller trees and a lush understorey. The planting will champion the informality and asymmetrical nature of subtropical planting design, as well as celebrate plant diversity with a rich display of form, texture and colour.

The following outlines the general proposed planting palette - to be refined in Detail Design:

### Feature Shade Trees

Delonix regia  
Ficus macrocarpa v. hillii  
Jacaranda mimosifolia  
Peitophorum pterocarpum

### Small / Medium Trees

Cupaniopsis anacardioides  
Flindersia sp.  
Harpullia pendula  
Melicope elliptica  
Randia fitzalanii  
Schizolobium parahybum

### Palms/Cycads

Psychosperma macarthuri  
Livistona sp.  
Zamia turfacea  
Lepidozamia peroffskyana

### Shrubs

Alpinia sp.  
Cordyline petiolaris  
Cyathia cooperi  
Heliconia sp.  
Monstera deliciosa  
Philodendron sp.  
Syzygium sp.

### Vines & Hanging

Beaumontia grandiflora  
Chonemorpha fragrans  
Faradaya splendida  
Ficus pumila  
Peperomia obtusifolia  
Thunbergia mysorensis

### Groundcover

Alcantarea imperialis  
Aspidistra elatior  
Asplenium nidus  
Blechnum indicum  
Calochlaena dubia  
Carex aopressa  
Casuarina 'cousin it'  
Chlorophytum comosum  
Dietes grandiflora  
Ficinia nodosa  
Goodenia ovata  
Liriope Evergreen Giant  
Microsorium sp.  
Molineria capitulata  
Neomarica sp.  
Pittosporum 'Miss Muffet'  
Plectranthus australis

Rhipsalis floccosa ssp. tucumanensis  
Russelia equisetiformis 'lemon falls'  
Sansevieria cylindrica  
Senecio mandraliscae  
Thymus serpyllum  
Trachelospermum jasminoides  
Viola hederacea  
Zamioculcas zamiifolia

### Display Garden

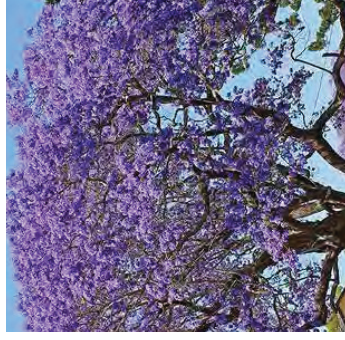
Antirrhinum sp.  
Azalea indica sp.  
Dianthus sp.  
Hydrangeas  
Impatiens sp.  
Lavandula dentata 'French Lavender'  
Magnolia var.  
Marguerite daisy  
Pelargonium sp.  
Pentas sp.  
Savvia 'Mystic Spires'  
Veronica spicata

### Medicinal Garden

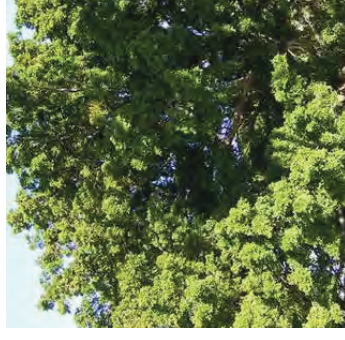
Alpinia galanga  
Aloe vera  
Artemisia absinthium  
Centella asiatica  
Hydrangea 'Annabelle'  
Geranium robertianum  
Glechoma hederacea  
Iris versicolor  
Lamium album  
Lycopus virginicus  
Mentha sp.  
Nasturtiums  
Ne-peta cataria  
Scutellaria lateriflora  
Thymus vulgaris  
Duboisia myoporoides



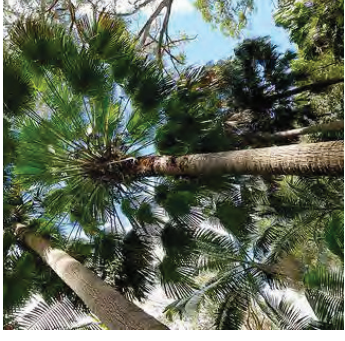
DELONIX REGIA



JACARANDA MIMOSIFOLIA



FICUS SPP



LIVISTONA AUSTRALIS



ALPINIA SP.



LIRIOPE EVERGREEN GIANT



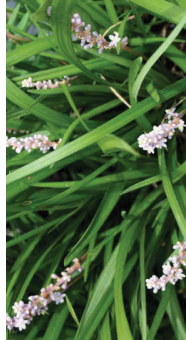
FICINIA NODOSA



ASPLENIUM NIDUS



THYMUS SERPYLLUM



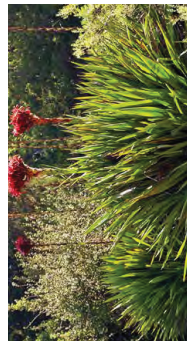
PHILODENDRON CONGO



NEOMARICA GRACILIS



PHILODENDRON 'XANADU'



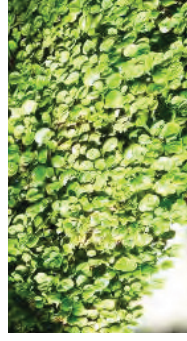
DORYANTHES EXCELSA



MOLINERIA CAPITULATA



MONSTERA DELICIOSA



PLECTRANTHUS AUSTRALIS



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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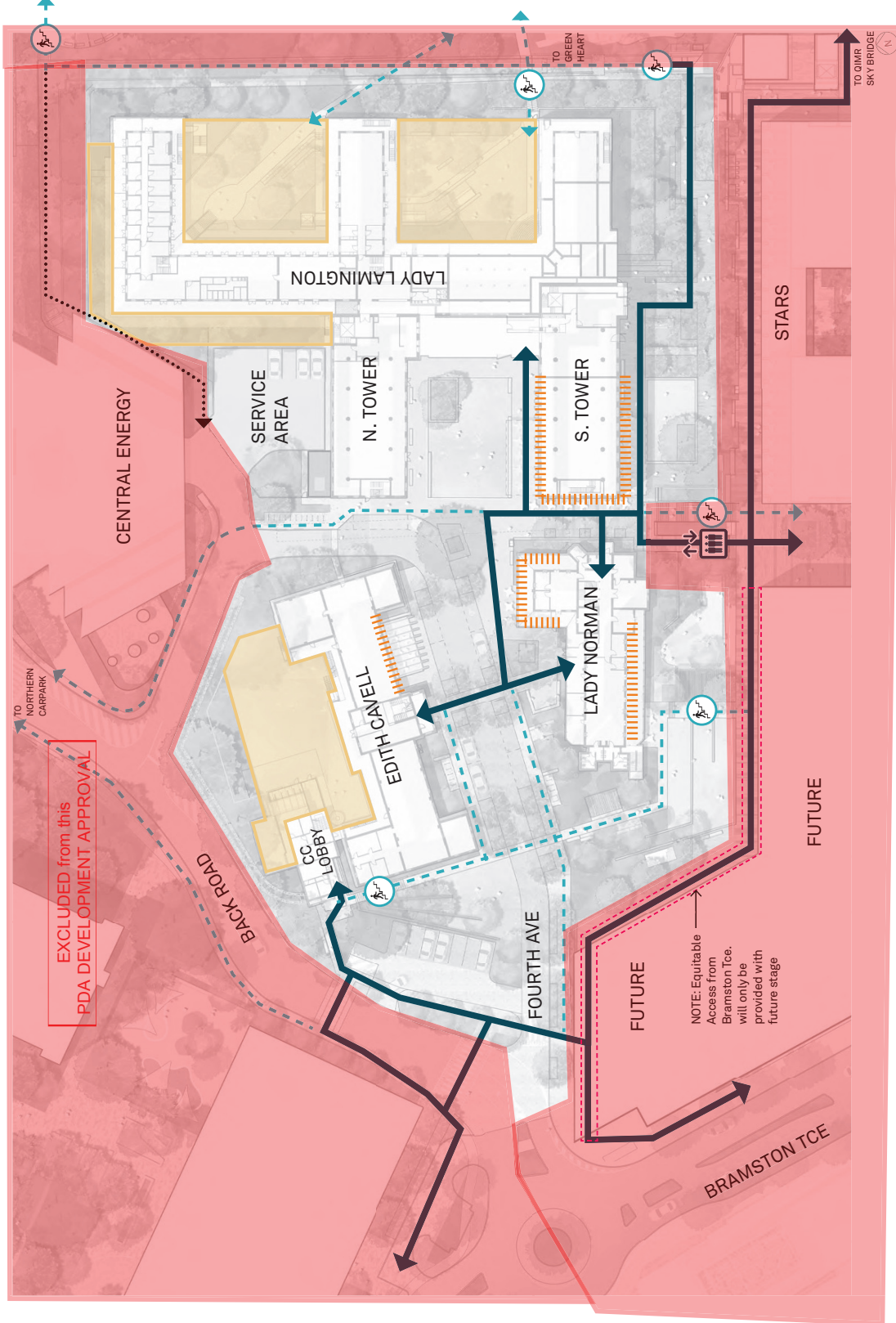
Client: Australian Unity  
Project Name: Herston Quarter Heritage  
Revision: DA Issue 1  
Date: 02.05.2019

Drawing No. DA-L-501  
Scale



**Pedestrian Movement**  
Active Frontages & Exclusive use areas

- KEY**
- EQUITABLE CONNECTION
  - SECONDARY CONNECTION
  - MAINTENANCE ONLY
  - STAIRS
  - LIFT
  - EXCLUSIVE USE AREA
  - ACTIVE FRONTAGES
  - FUTURE STAGE CONNECTION



**AMENDED IN RED**  
By: Sarah Hampstead  
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**HASSELL**

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Scale 1:800 @ A3  
Client Australian Unity  
Project Name Herston Quarter Heritage  
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Date 02.05.2019



# HERITAGE SIGNIFICANCE LEGEND

Levels of Significance (identified in Conservation Management Report)





- A Highly Significant
- B Significant
- C Not Significant


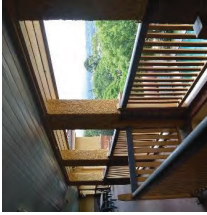
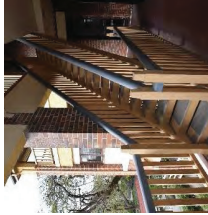

Refer to A-DA-03.01 to A-DA-03.04 for location and extent of these elements



**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no: DEV2019/1003  
Date: 9 August 2019

	<p><b>1. Exterior brickwork; rough cast</b></p>	<p>In accordance with the CMP, the original external brickwork will not be coated with clear finishes or paint. The rough cast finish on the third floor will be repainted in the original ochre colour.</p>
	<p><b>2. Exterior joinery</b></p>	<p>In accordance with the CMP, the original windows, doors, mouldings and trims will be retained where possible and repaired where necessary. Where replacement is necessary, new doors and windows are to match the original detail and material. Original hardware is also to be maintained where possible, however new hardware may be installed provided that it is discreet.</p>
	<p><b>3. Roof and fleche</b></p>	<p>In accordance with the CMP, where it is necessary to replace terracotta tiles, replacement tiles should match the original details. If the gutters or downpipes require replacement, use original profiles and details. Conserve the fleche by ensuring maintenance is undertaken.</p>
	<p><b>4. Front balconies</b></p>	<p>In accordance with the CMP, the front balconies are to be opened and restored to their original state.</p>

	<p><b>5. Corridors</b></p>	<p>In accordance with the CMP, the corridors are significant in demonstrating circulation through the buildings. Policy 15 states that Evidence of the layout of the corridors should be retained, where possible. This will need to be coordinated with the tenant's final fitout requirements.</p>
	<p><b>6. Northern verandahs</b></p>	<p>In accordance with the CMP, the verandahs are not to be enclosed. Partitions may be inserted on the verandahs and reversed. The verandah balustrade should be repaired where necessary. If reconstruction is required, the original details should be used. Alterations or additions to the verandah balustrade for code compliance should be undertaken with materials that are distinct from the existing and designed to be unobtrusive.</p>
	<p><b>7. External timber stairs</b></p>	<p>In accordance with the CMP, the verandah stairs may be adapted or removed, as required to be code compliant.</p>
	<p><b>8. Swimming pool &amp; amenities</b></p>	<p>In accordance with the CMP, the swimming pool and amenities may be removed.</p>

**Development Approval**  
NOT FOR CONSTRUCTION



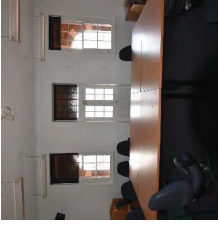

## HERITAGE SIGNIFICANCE LEGEND

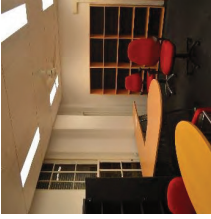
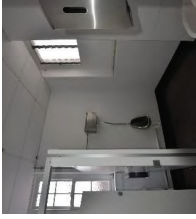
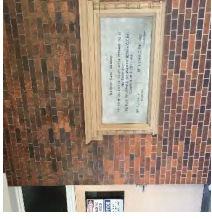
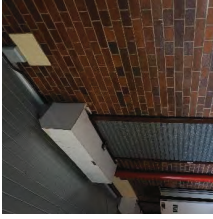
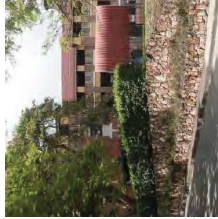
Levels of Significance (identified in Conservation Management Report)

- A Highly Significant
- B Significant
- C Not Significant

Refer to A-DA-03.01 to A-DA-03.04 for location and extent of these elements

  
**PLANS AND DOCUMENTS**  
 referred to in the PDA  
**DEVELOPMENT APPROVAL**  
 Approval no: DEV2019/1003  
 Date: 9 August 2019

	<p><b>9. Main foyer</b></p>	<p>In accordance with the CMP, the main foyer is to be conserved, including the timber panelling and plaque. Retain a clear finish on the silky-oak panelling.</p>
	<p><b>10. Main internal stairs</b></p>	<p>In accordance with the CMP, the main internal stairs are to be conserved. Alterations to the handrails for code compliance should be distinct from the existing and be designed to be unobtrusive.</p>
	<p><b>11. Sitting rooms</b></p>	<p>In accordance with Policy 15 of the CMP, the sitting room on the third floor will be retained as a representative sample.</p>
	<p><b>12. Original nurses' cubicles/rooms</b></p>	<p>In accordance with Policy 15 of the CMP, a cluster of cubicles on the first floor will be retained as a representative sample.</p>

	<p><b>13. Office fit-outs (first, second &amp; third floors)</b></p>	<p>In accordance with the CMP, the partitions and suspended ceilings may be removed.</p>
	<p><b>14. Bathrooms</b></p>	<p>In accordance with the CMP, the bathrooms and toilets may be refurbished as required for new uses. The bathrooms could be adapted for other uses.</p>
	<p><b>15. Foundation stone</b></p>	<p>In accordance with the CMP, the foundation stone is to be conserved.</p>
	<p><b>16. Metal shutters</b></p>	<p>In accordance with the CMP, the metal shutters on the rear elevation may be removed.</p>
	<p><b>17. Mature plantings and drystone wall</b></p>	<p>In accordance with Policy 21 of the CMP, the existing mature plantings and majority of the drystone wall will be retained.</p>

**Development Approval**  
NOT FOR CONSTRUCTION

**A-DA-00.03- C**  
1064-01 01/05/19

## Heritage Significance Legend

scale: @A3


date:

**EDITH CAVELL REFURBISHMENT**  
Edith Cavell Building Herston QLD  
Australian Unity

  
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## DEMOLITION PLAN LEGEND

- - - - - Indicates extent of main elements to be demolished & removed off site.
-  Indicates elements to be demolished & removed off site.

## GENERAL DEMOLITION NOTES

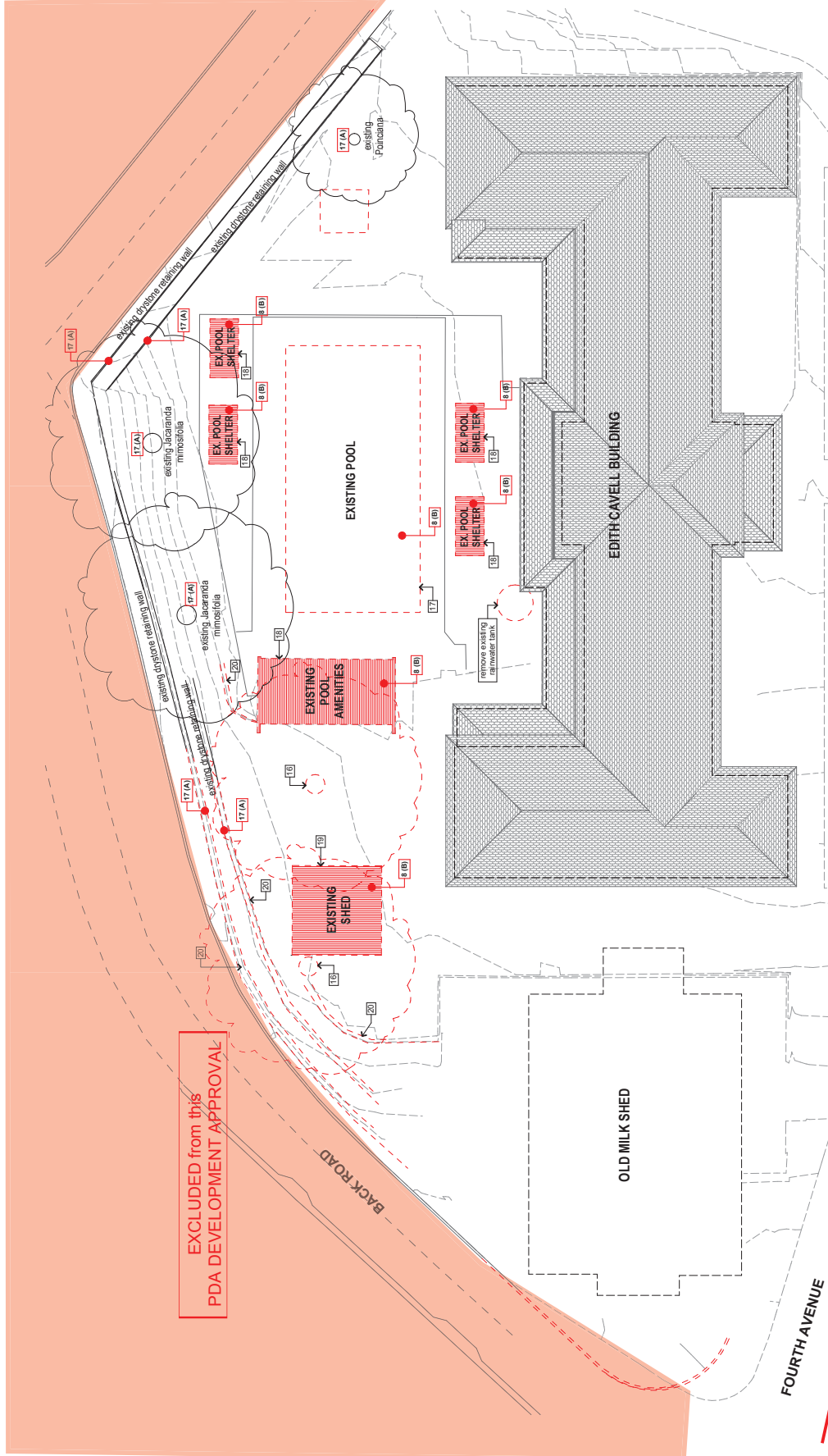
1. Refer to Civil Engineer's Drawings for extent of out and fill.
2. Provide safe termination to services. Services required in Proposed Works to be temporarily disconnected and coordinated to allow for future reinstatement. Services not required in Proposed Works to be terminated and capped to extent to allow for proposed works. Redundant materials to be demolished.
3. All demolition work to comply with AS2601-2001.
4. Provide temporary support to the existing structure where demolition/relocation has occurred.
5. Execute demolition activities in a professional manner and make good for proposed works where possible.
6. Builder is responsible to rectify any damage to existing above retained or adjoining properties caused during demolition or construction process.
7. All existing electrical services that are affected during construction process to be made safe in compliance with Australian Standards.
8. It is the builder's responsibility to determine if asbestos is present on site. If asbestos is present or if the site is currently listed on the asbestos register, an independent asbestos consultant should be engaged to undertake an assessment in accordance with the Health (Asbestos) Regulations and the relevant Australian Standards with the required permits as obtained from The Department for Environmental Protection.

**PLANS AND DOCUMENTS** referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2019/1003  
 Date: 9 August 2019

**AMENDED IN RED**  
 By: Sarah Hampstead  
 Date: 8 August 2019

**Development Approval**  
 NOT FOR CONSTRUCTION

**A-DA-01.01- F**  
 1064-01 01/05/19



1. Ensure that all services are capped and sealed and made safe, prior to commencement of demolition. Maintain existing floor structure of Edith Cavell Building and prepare for any new structural supports - refer to structural eng. documentation. Make good existing floor sub-structure and finishes and prepare to accept new finishes where applicable. Retain & make good existing Crows Ash flooring. Remove all demolished elements off site.
2. Reconstruct brick wall sills etc where link between Milk Kitchen and Edith Cavell previously existed. Carefully remove, clean and relocate Milk Shed bricks to proposed storage location for re-use. Carefully remove, clean and make good roof tiles, windows, and doors for re-use on remaining heritage buildings where required.
3. Demolish existing partition walls and any associated doors shown dashed in red. Demolish all existing ceilings. Any columns in walls to be propped appropriately - refer structural eng.
4. Demolish portion of existing wall and allow for new door to be fitted in place. Refer to door schedule for opening size. Allow to install new lintel to Structural Engineer's detail.
5. Demolish portion of existing wall and allow for new window to be fitted in place. Refer to window schedule for opening size. Allow to install new lintel to Structural Engineer's detail.
6. Carefully remove, clean and relocate existing door and prepare opening to accept new window or door. Careful to also retain and make good breezeways and faillites (if present) for possible reuse. Infill portions of wall up to extent of new opening. See door and window schedule for details.
7. Carefully remove, clean and relocate existing door and infill opening, careful to also retain and make good breezeways and faillites (if present) for possible reuse. Clean and relocate existing balustrades where possible. Any rectification work to existing railings and/or balustrades to match existing.
8. Carefully remove, clean and relocate existing window schedule for details.
9. Window schedule for details.
10. Demolish portion of existing wall to allow for engagement of new internal opening. Allow to install new lintel as required to Structural Engineer's detail.
11. Demolish portion of existing floor to allow for new lift to be installed.
12. Remove existing external stairs, balustrades and associated structure where required in preparation for rectification work. New stairs and balustrades to match original detail.
13. Carefully remove, clean and relocate existing finishes, fixtures and fittings in bathrooms. Utilise existing connection points for future amenities.
14. Make safe all existing railings and balustrades where possible. Any rectification work to existing railings and/or balustrades to match existing.
15. Trees to be trimmed only where necessary to allow for new building addition.
16. Demolish existing tree. Take care with roots and underground services. Remove from site.
17. Remove existing pool and associated services and walls to achieve levelled outdoor play area.
18. Demolish and remove existing Pool Services Block & Pool Shelters and all associated elements off site including slabs, walls, roofing and any related structure. Ensure all services are capped and sealed.
19. Demolish and remove existing Garage and all associated elements off site including slab, walls, roofing and any related structure.
20. Carefully remove portion of existing drystone retaining wall. Retain stone for re-use in proposed landscape works.
21. Remove existing concrete ramp.
22. Carefully remove portion of existing balustrade.
23. Carefully remove wall infills and aluminium windows. Make good existing opening and replace balustrade to restore balcony to its original state.
24. Remove existing metal shutters.
25. Remove existing balustrade and prepare to replace with new timber balustrade to match original detail of veranda balustrades.

**EDITH CAVELL REFURBISHMENT**  
 Edith Cavell Building Herston QLD  
 Australian Unity

**Existing/ Demolition Site Plan**  
 scale: 1:300@A3  
 date:

**elevation** ARCHITECTURE  
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 info@elevationarchitectures.com.au  
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DEVELOPMENT INFO	
EXISTING	PROPOSED
Occupancy (Children)	77
Carparks required 1 space per 5 children. 60% of these spaces are for staff and can be provided in tandem.	8 visitor bays (incl. 1 x PWD space) + 8 staff carparks (incl. 1 x PWD space)
GFA	
Lower Ground Floor (Proposed Children)	88.5 m <sup>2</sup>
Ground Floor (Proposed Children)	205 m <sup>2</sup>
First Floor (Proposed Commercial)	679 m <sup>2</sup>
Second Floor (Proposed Children)	706 m <sup>2</sup>
Third Floor (Proposed Commercial)	706 m <sup>2</sup>
<b>TOTAL GFA</b>	<b>2,384.5 m<sup>2</sup></b>

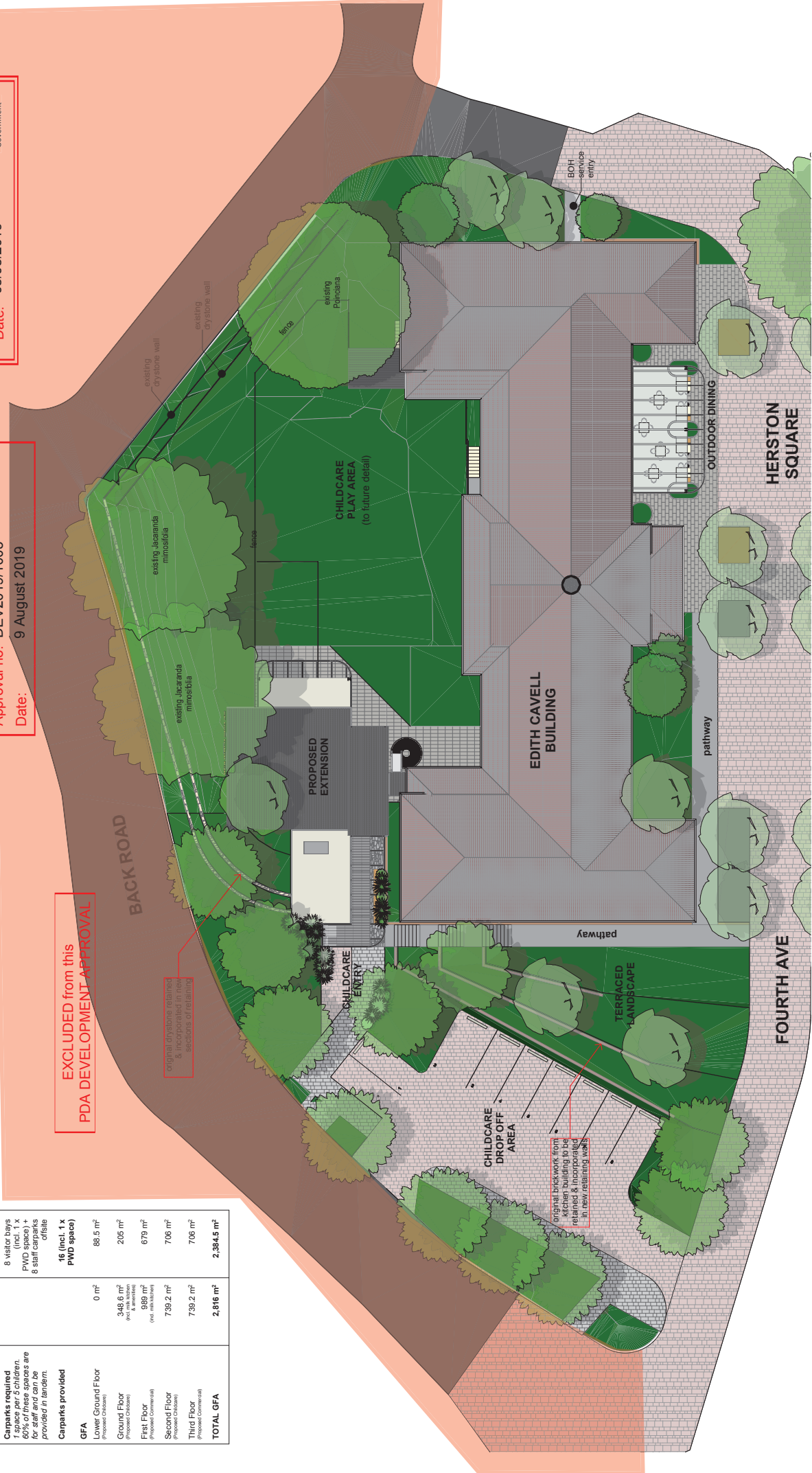
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1003  
Date: 9 August 2019

AMENDED IN RED

By: Sarah Hampstead  
Date: 08/08/2019

EXCLUDED from this PDA DEVELOPMENT APPROVAL



Development Approval NOT FOR CONSTRUCTION

A-DA-01.02- H  
1064-01 01/05/19



Proposed Site Plan  
scale: 1:300@A3  
date:

EDITH CAVELL REFURBISHMENT  
Edith Cavell Building Herston QLD  
Australian Unity



EXCLUDED from this  
PDA DEVELOPMENT APPROVAL



**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**  
Approval no: DEV2019/1003  
Date: 9 August 2019

**AMENDED IN RED**  
By: Sarah Hampstead  
Date: 8 August 2019

**Development Approval**  
NOT FOR CONSTRUCTION



This approval does not include the internal design or layout of the Heritage Buildings. These items are subject to further assessment under separate Compliance Assessment.

Development Approval NOT FOR CONSTRUCTION



Ground Floor Plan

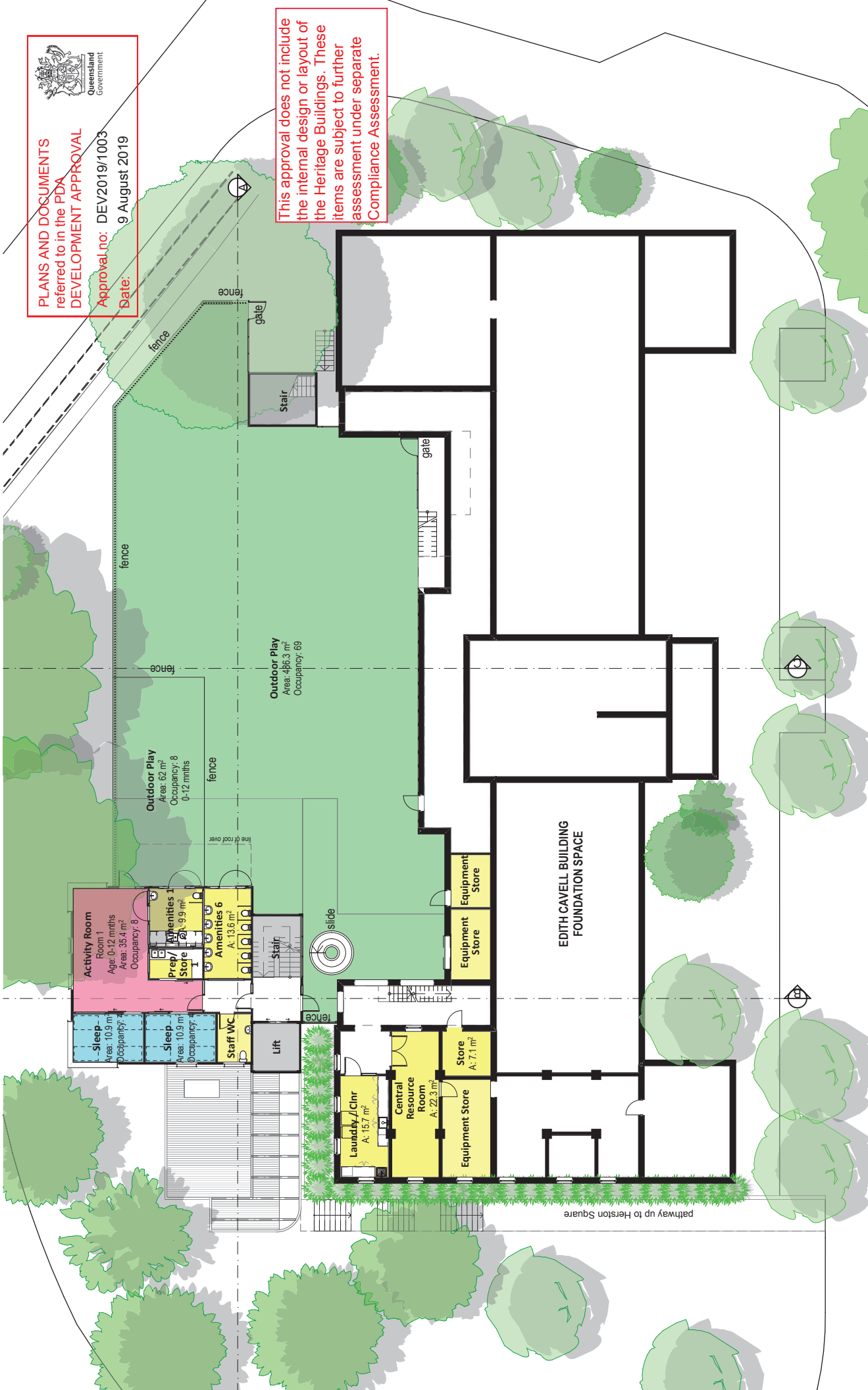
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date:

EDITH CAVELL REFURBISHMENT

Edith Cavell Building Herston QLD

Australian Unity

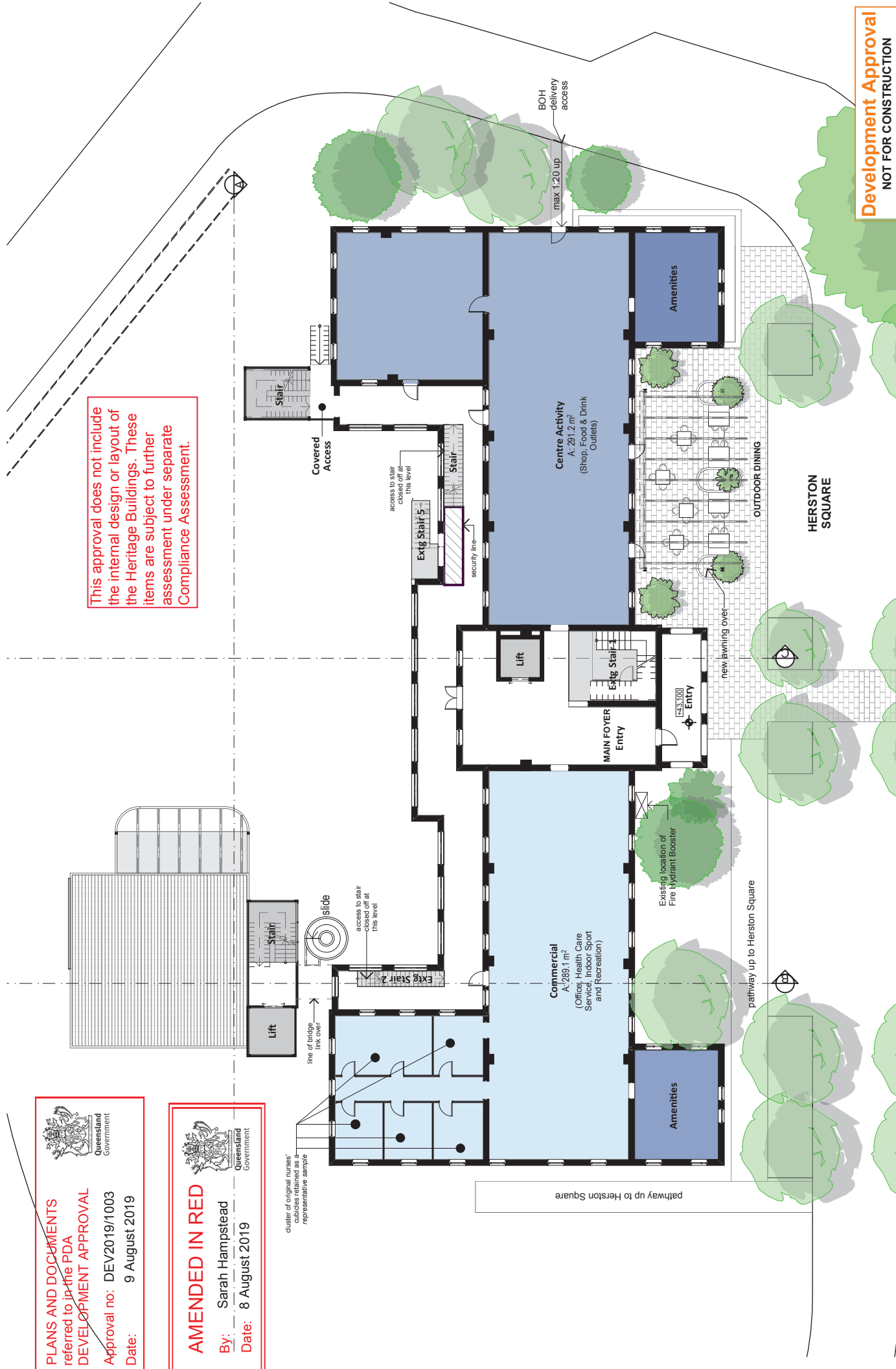




**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**  
Approval no: DEV2019/1003  
Date: 9 August 2019

**AMENDED IN RED**  
By: Sarah Hampstead  
Date: 8 August 2019

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**Development Approval**  
NOT FOR CONSTRUCTION

**A-DA-03.11- H**  
1064-01  
01/05/19

**First Floor Plan**

scale: 1:200@A3

date:

**EDITH CAVELL REFURBISHMENT**

Edith Cavell Building Herston QLD

Australian Unity

# LADY RAMSAY CHILDCARE CENTRE

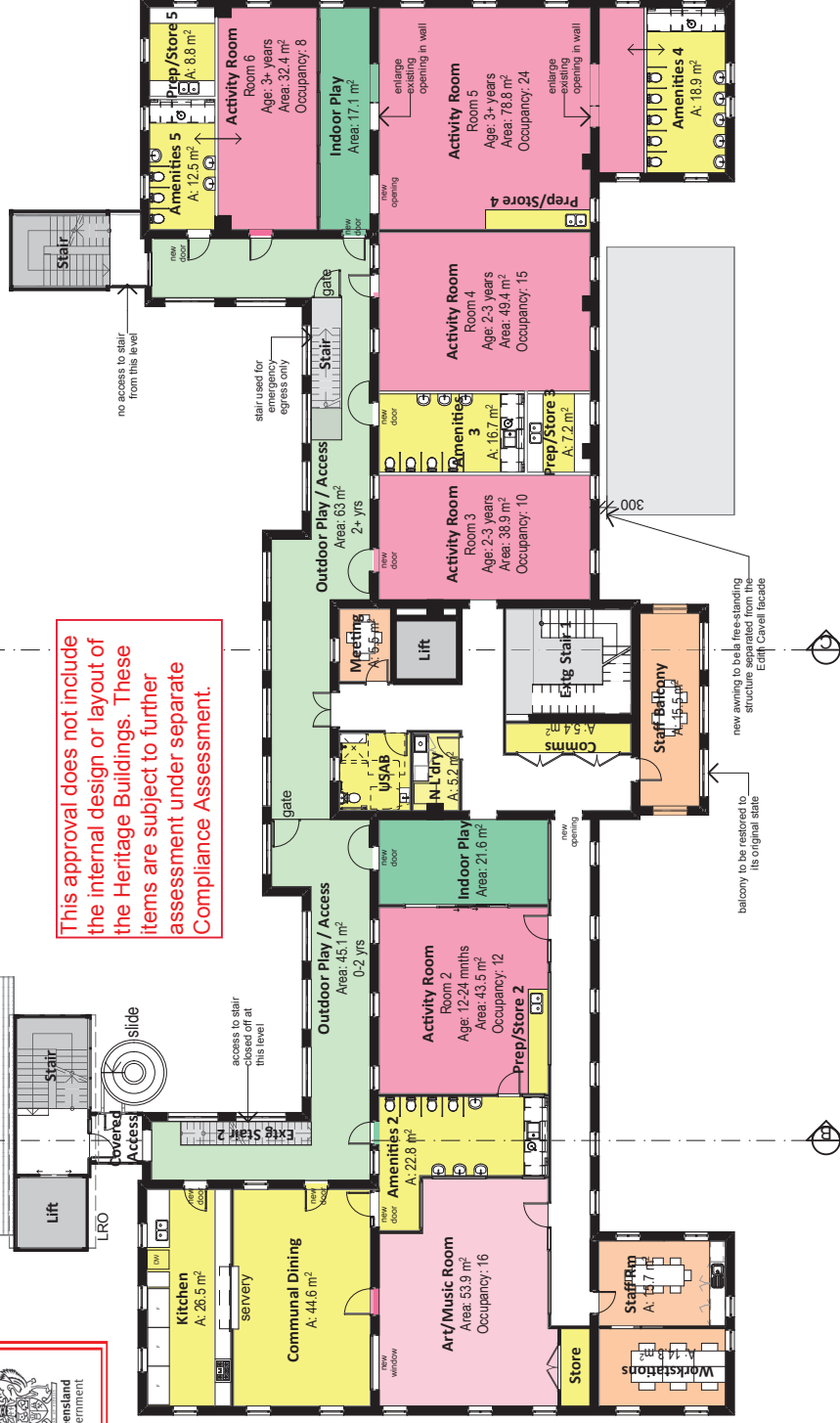
## CALCULATION OF AREAS

INTERNAL PLAY AREAS: 3.25 sqm clear required per child

ACTIVITY ROOM CALCULATIONS						
Room	Age Group	Occupants	Min. Area Req'd (m <sup>2</sup> )	Area Provided (m <sup>2</sup> )	Staff Ratio	No. of Staff
Room 1	0-12 months	8	26	35.39	1:4	2
Room 2	12-24 months	12	39	43.49	1:4	3
Room 3	2-3 years	10	33	38.91	1:5	2
Room 4	2-3 years	15	49	49.37	1:5	3
Room 5	3+ years	24	78	78.79	1:11	3
Room 6	3+ years	8	26	32.37	1:11	1
		77	251	278.32 m <sup>2</sup>		14



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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2019/1003  
 Date: 9 August 2019



AMENDED IN RED  
 By: Sarah Hampstead  
 Date: 8 August 2019

Development Approval NOT FOR CONSTRUCTION

A-DA-03.12- K  
 1064-01 01/05/19



Second Floor Plan  
 scale: 1:200@A3  
 date:

EDITH CAVELL REFURBISHMENT  
 Edith Cavell Building Herston QLD  
 Australian Unity

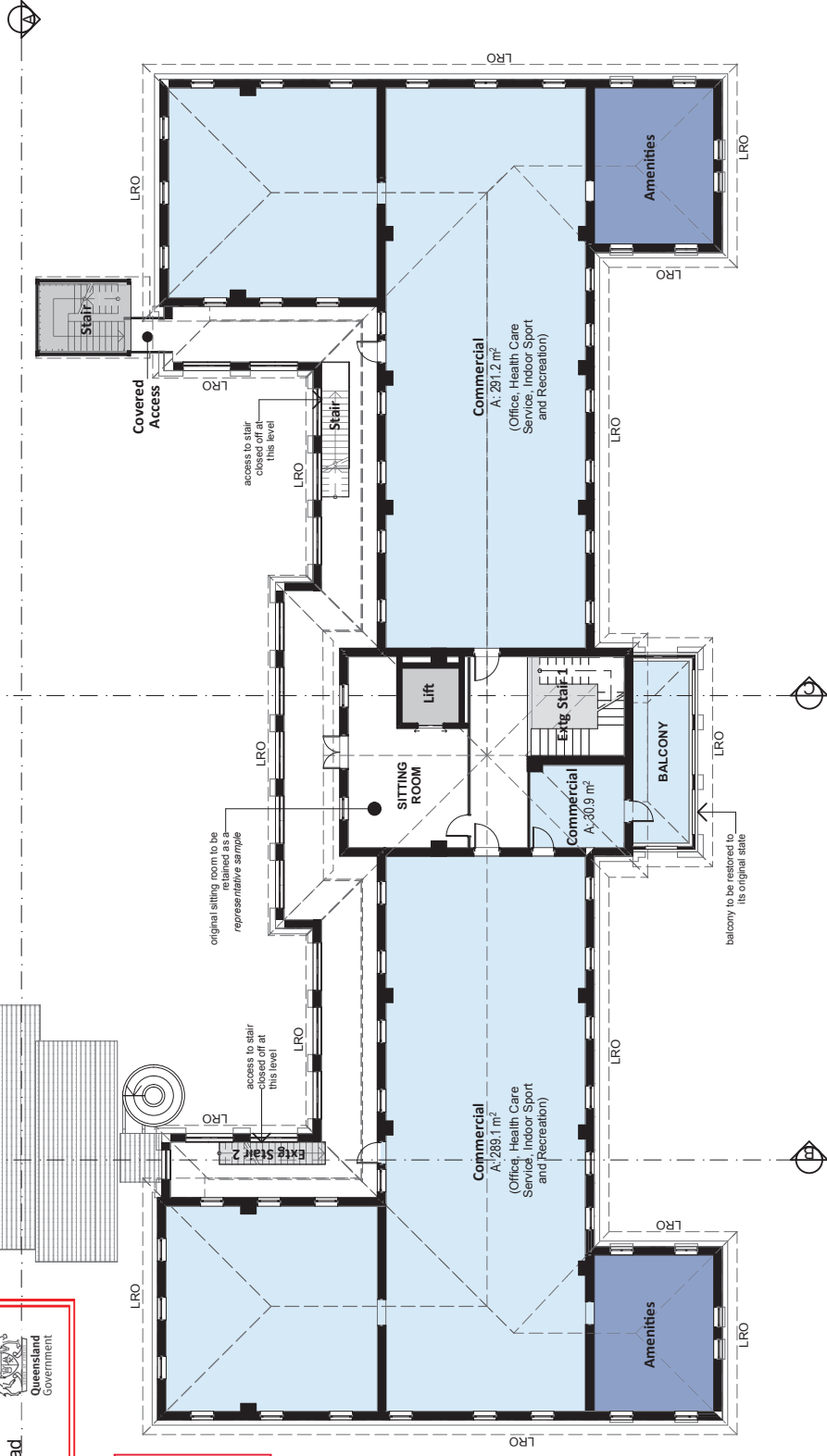
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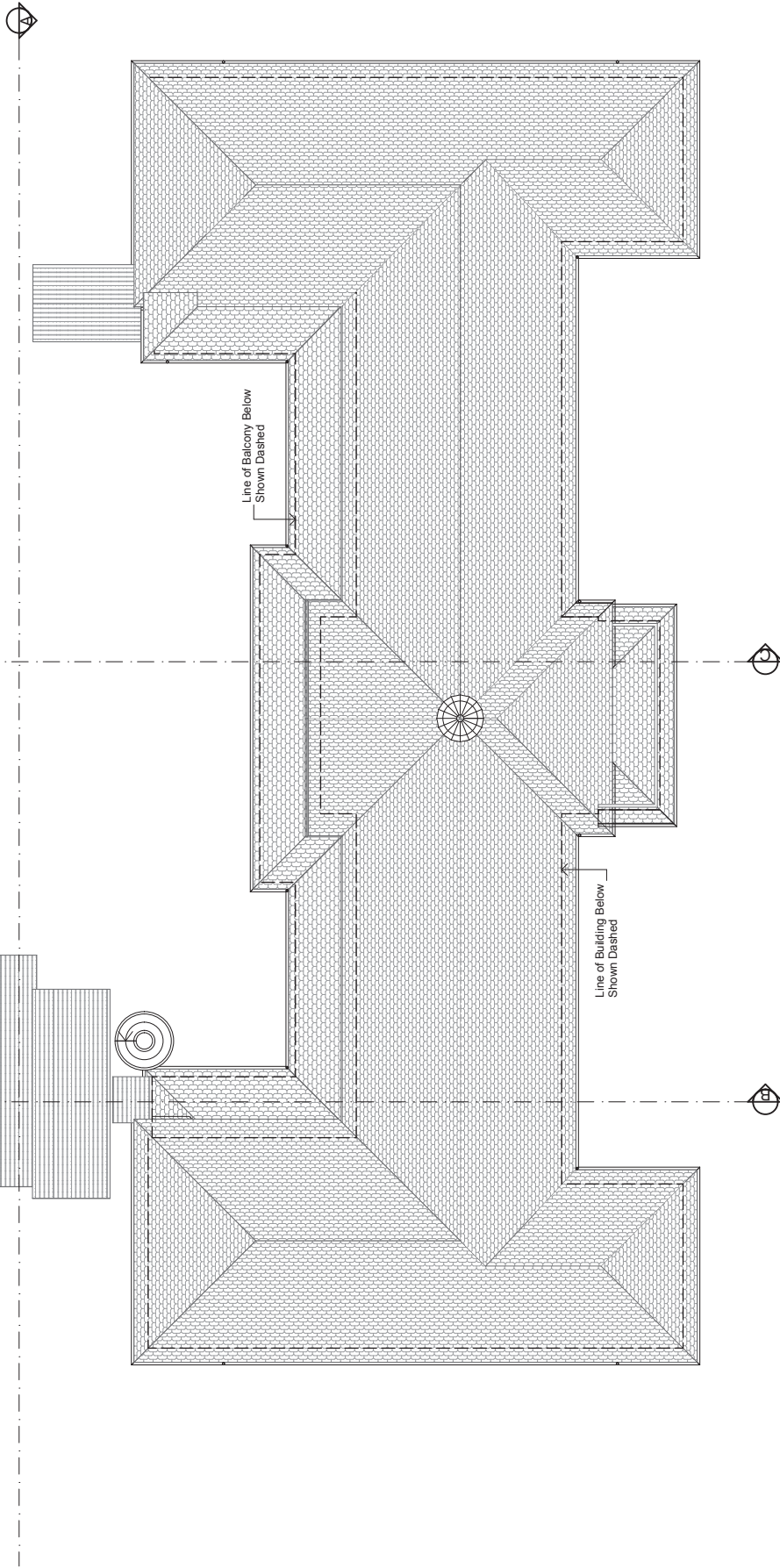
**PLANS AND DOCUMENTS**  
referred to in the **PDA**  
**DEVELOPMENT APPROVAL**  
Approval no: **DEV2019/1003**  
Date: **9 August 2019**

**AMENDED IN RED**  
By: **Sarah Hampstead**  
Date: **8 August 2019**

**This approval does not include the internal design or layout of the Heritage Buildings. These items are subject to further assessment under separate Compliance Assessment.**

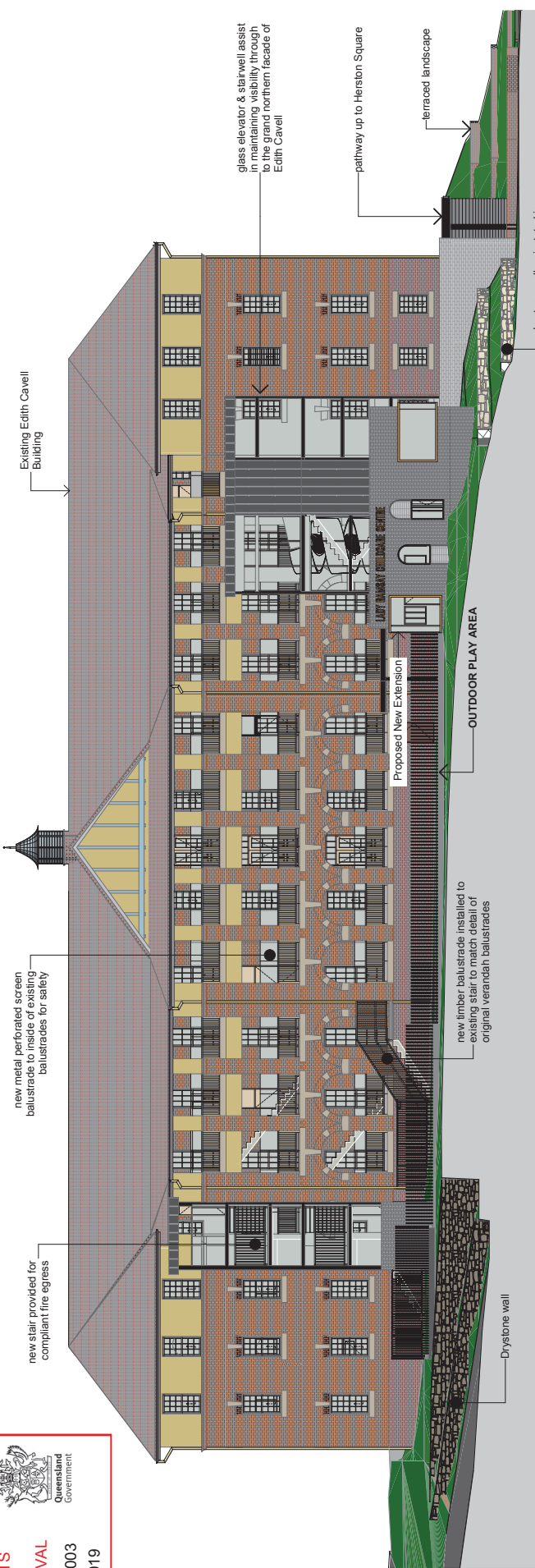


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2019/1003  
 Date: 9 August 2019

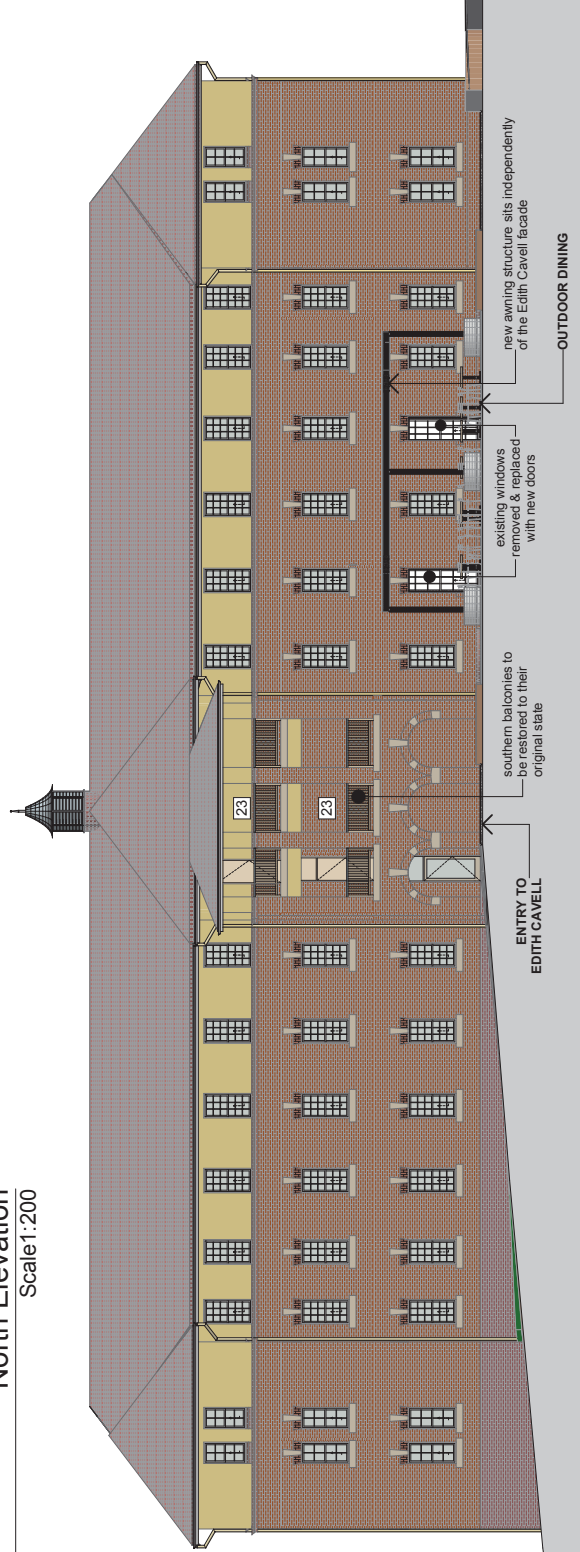




**PLANS AND DOCUMENTS**  
 referred to in the **PDA**  
**DEVELOPMENT APPROVAL**  
 Approval no: **DEV2019/1003**  
 Date: **9 August 2019**



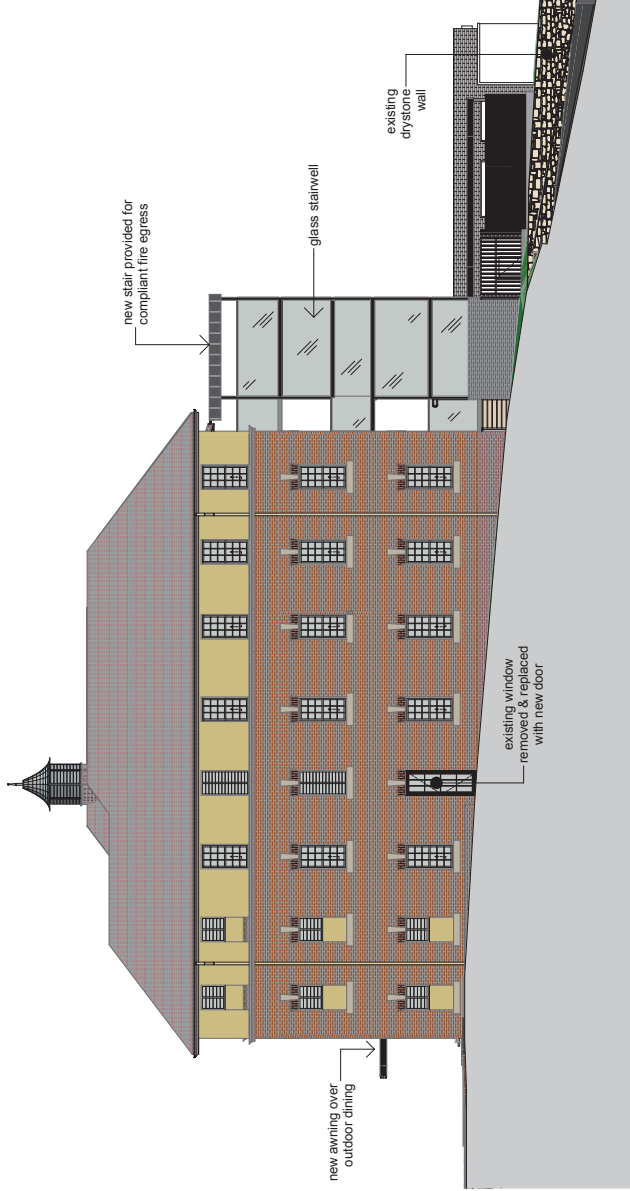
**North Elevation**  
 Scale 1:200



**South Elevation**  
 Scale 1:200

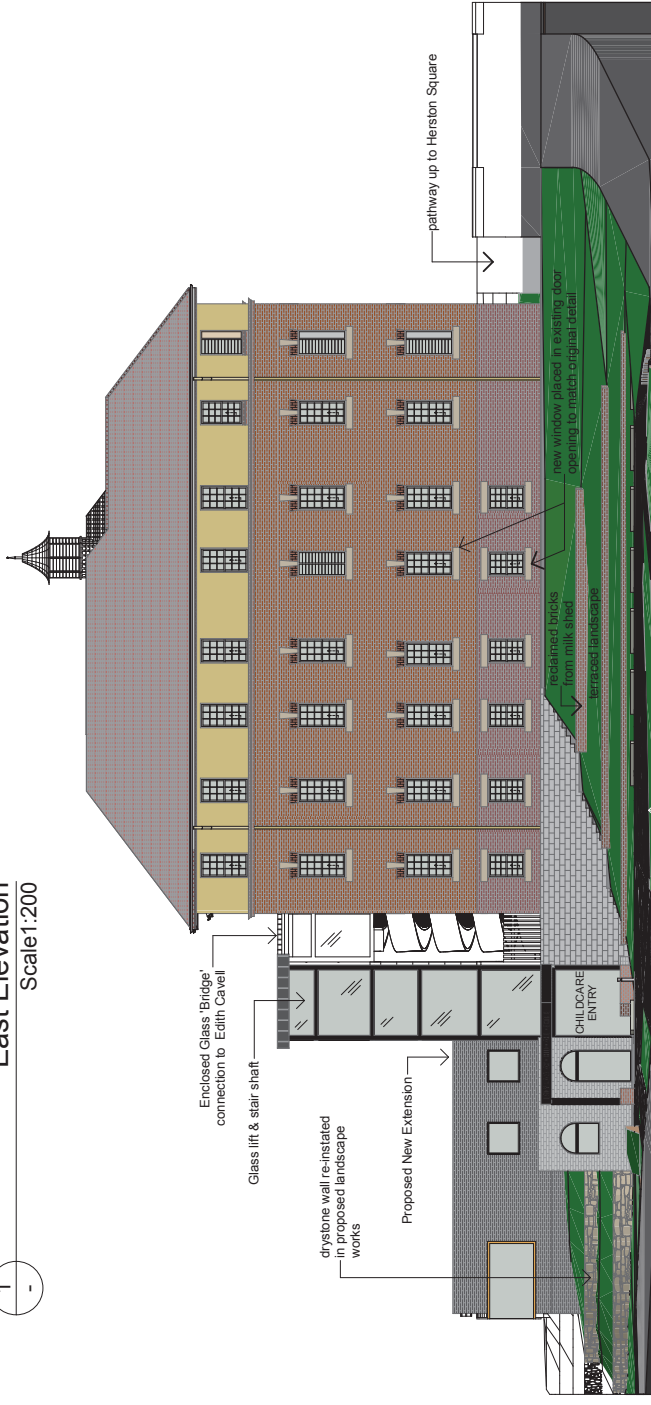
**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

**Approval no: DEV2019/1003**  
**Date: 9 August 2019**



**East Elevation**  
Scale 1:200

1 -



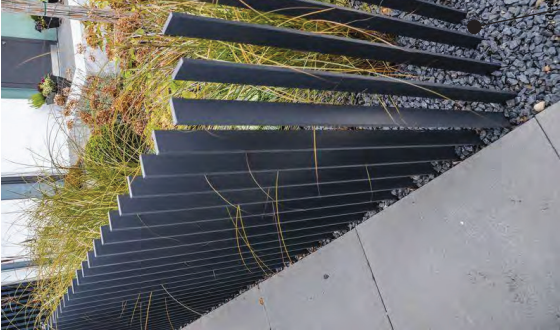
**West Elevation**  
Scale 1:200

2 -

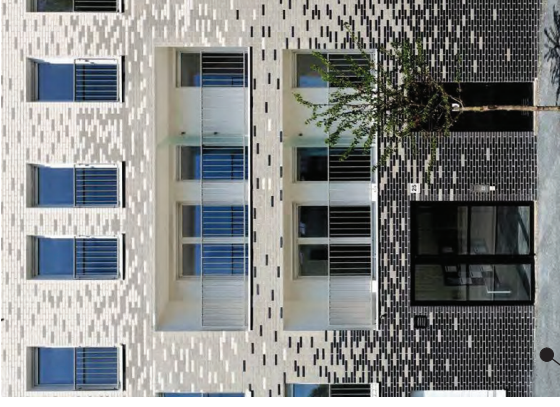
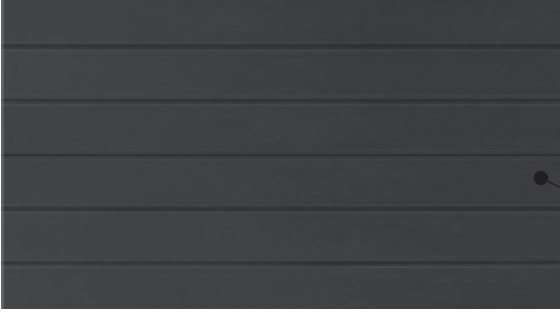




new stair provided for compliant fire egress

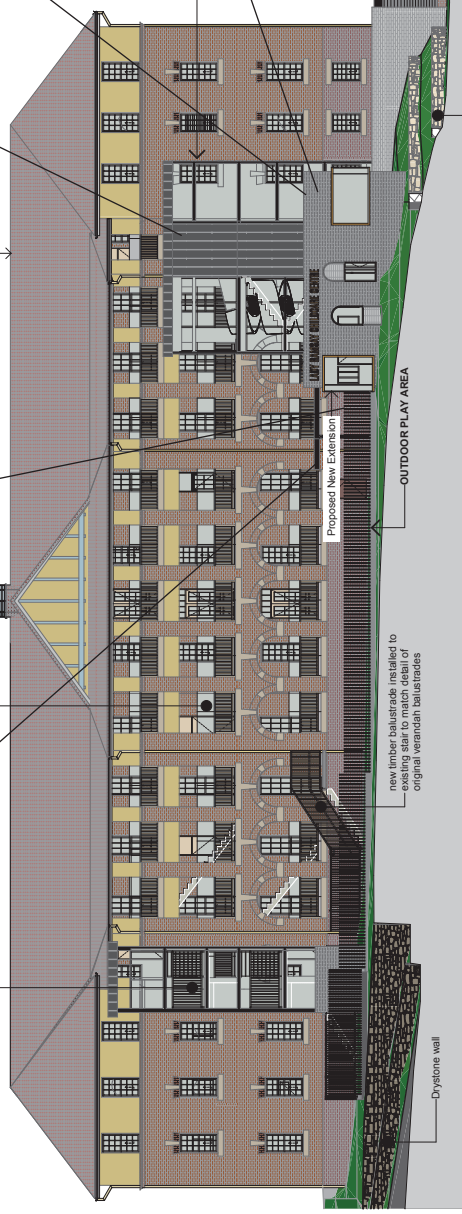


new metal perforated screen balustrades to match existing balustrade for safety



Existing Edith Cavell Building

**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**  
 Approval no: DEV2019/1003  
 Date: 9 August 2019



new timber balustrade installed to existing stair to match detail of original verandah balustrades

Proposed New Extension

OUTDOOR PLAY AREA

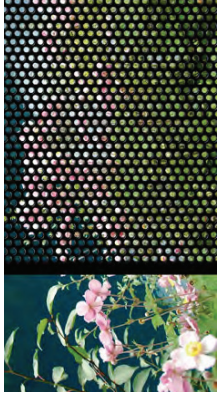
Dystone wall



North Elevation  
 Scale 1:250

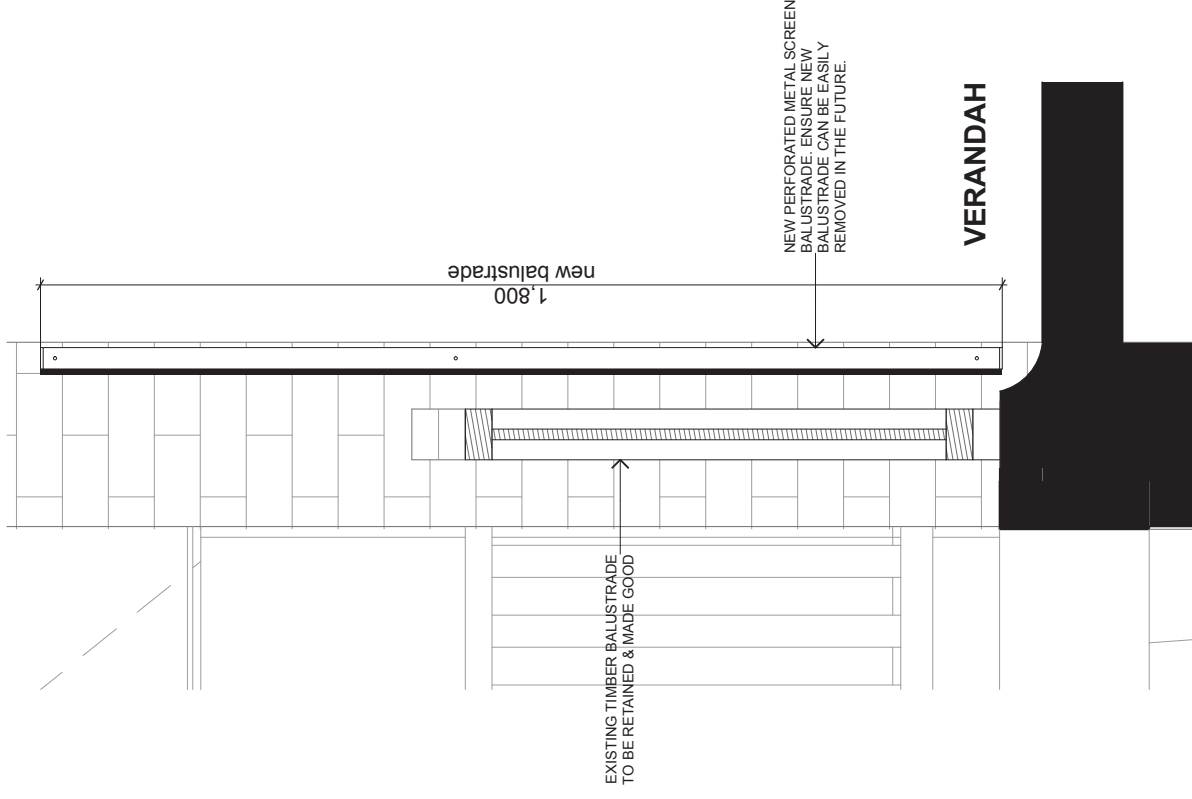
2





**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no: DEV2019/1003  
Date: 9 August 2019



2 -

Balustrade Detail  
1:10

**Development Approval**  
NOT FOR CONSTRUCTION

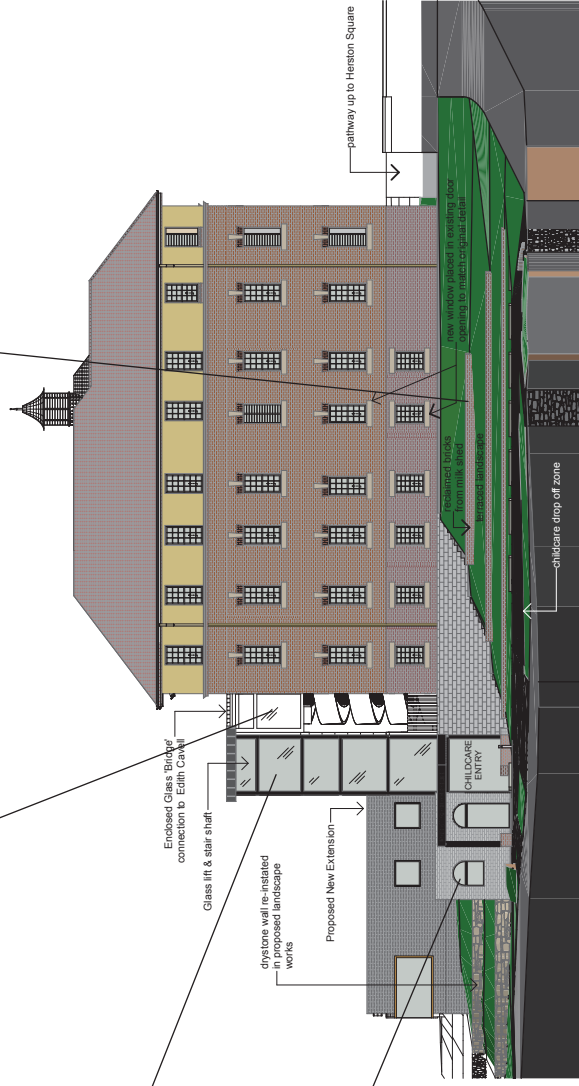
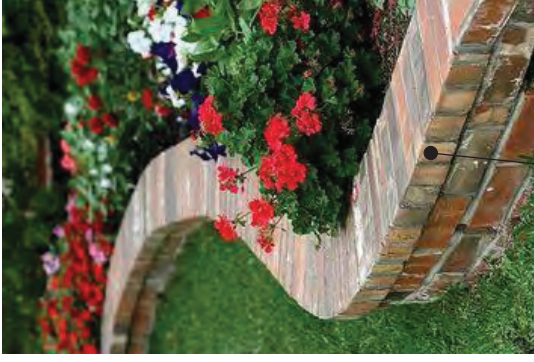
**A-DA-09.07- C**  
1064-01 01/05/19

**Proposed Materials & Details**

scale: @A3  
date:

**EDITH CAVELL REFURBISHMENT**  
Edith Cavell Building Herston QLD  
Australian Unity





  
**PLANS AND DOCUMENTS**  
 referred to in the PDA  
**DEVELOPMENT APPROVAL**  
 Approval no: DEV2019/1003  
 Date: 9 August 2019

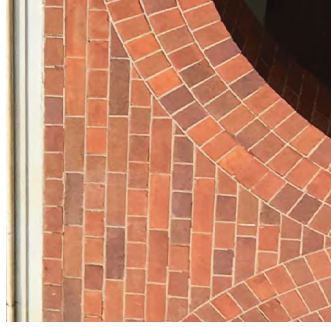
1 -  
**West Elevation**  
 Scale 1:250

**Development Approval**  
 NOT FOR CONSTRUCTION

# 04.1 External Materials

Preliminary | REFER TO PROPOSED ELEVATIONS FOR LOCATIONS OF MATERIALS

**PLANS AND DOCUMENTS**  
referred to in the **PDA**  
**DEVELOPMENT APPROVAL**  
Approval no: **DEV2019/1003**  
Date: **9 August 2019**

**BK 1**  
RETAINED ORIGINAL RED BRICK



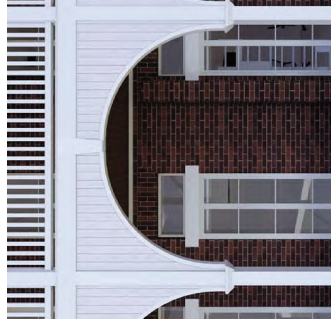
**BK 2**  
RETAINED ORIGINAL DARK BRICK



**PT 1**  
PALE BEIGE TO TOWER  
NEW PAINT TO MATCH EXISTING



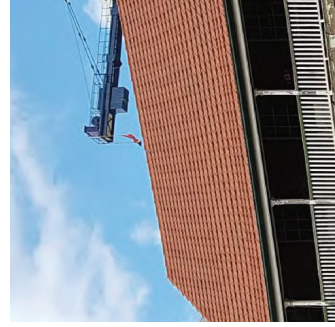
**PT 2**  
BEIGE TO TOWER BASE  
NEW PAINT TO MATCH EXISTING



**PT 3**  
WHITE PAINT TO ALL TIMBER WORK  
NEW PAINT TO MATCH EXISTING



**PT 4**  
PAINT TO LEVEL 1 UPSTANDS - TOWERS  
NEW PAINT TO MATCH EXISTING



**RT 1**  
ORIGINAL ROOF TILE  
REPAIRS TO MATCH EXISTING



**GT 1**  
GUTTERS TO E BLOCK & TOWERS  
NEW PAINT TO MATCH EXISTING



# 04.1 External Materials

Preliminary | REFER TO PROPOSED ELEVATIONS FOR LOCATIONS OF MATERIALS



**BALUSTRADES**

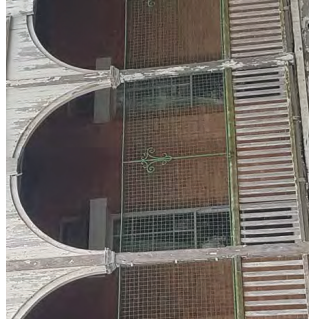
**BAL 01**

NEW COMPLIANT TIMBER BALUSTRADE & CHARCOAL TOP RAIL TIMBER COLOURS TO MATCH EXISTING



**BAL 04**

GLAZED BALUSTRADE TO ROOF DECK



**EXS 01**

EXISTING SCREEN TO BE RESTORED



**DOORS & WINDOWS**

**EXISTING & PROPOSED**

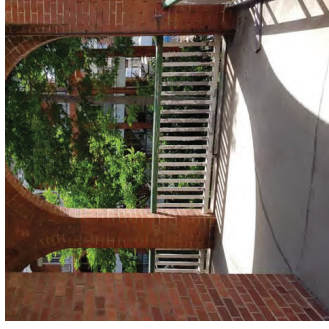
NEW FRENCH DOORS / WINDOWS TO BE PAINTED TO MATCH EXISTING FRAME COLOURS - WHITE



**PATHS & DECKING**

**E BLOCK**

TIMBER VERANDAH REPLACED WITH TIMBER DECKING. SPECIES TO BE CONFIRMED BY BUILDER



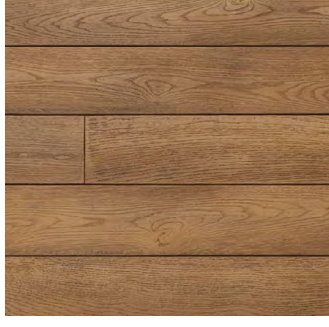
**E BLOCK & TOWERS**

CONCRETE VERANDAH - REPAIRED WHERE NECESSARY



**EXISTING COURTYARDS**

CONCRETE PATHS - REPAIRED WHERE NECESSARY



**ROOF DECK**

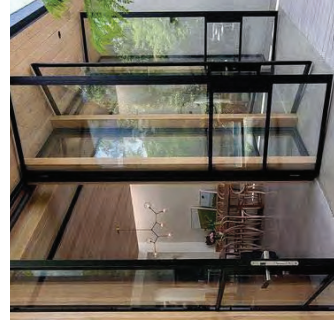
RAISED TIMBER DECKING



**NEW STUDENT ENTRY**

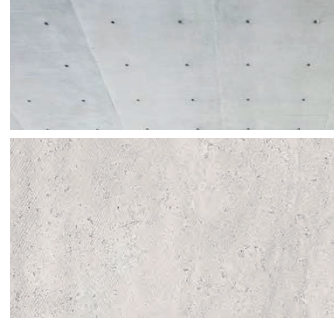
**GLAZED OPENINGS**

EXPRESSED BLACK STEEL LINTELS



**EXTERNAL DOORS**

CHARCOAL FRAMED CLEAR GLAZING



**EXTERNAL WALLS**

EXPOSED & TEXTURED CONCRETE

**PLANS AND DOCUMENTS**  
referred to in the **PDA**  
**DEVELOPMENT APPROVAL**

Approval no: **DEV2019/1003**  
Date: **9 August 2019**



# 05.2 Balustrades

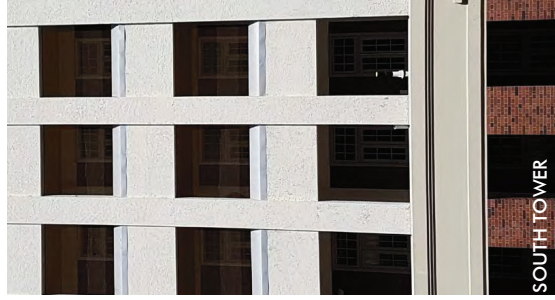
Existing Balustrade Types & Extents



BALUSTRADE TYPE 1 - TIMBER



BALUSTRADE TYPE 2 - CONCRETE UPSTAND



SOUTH TOWER



SOUTH TOWER

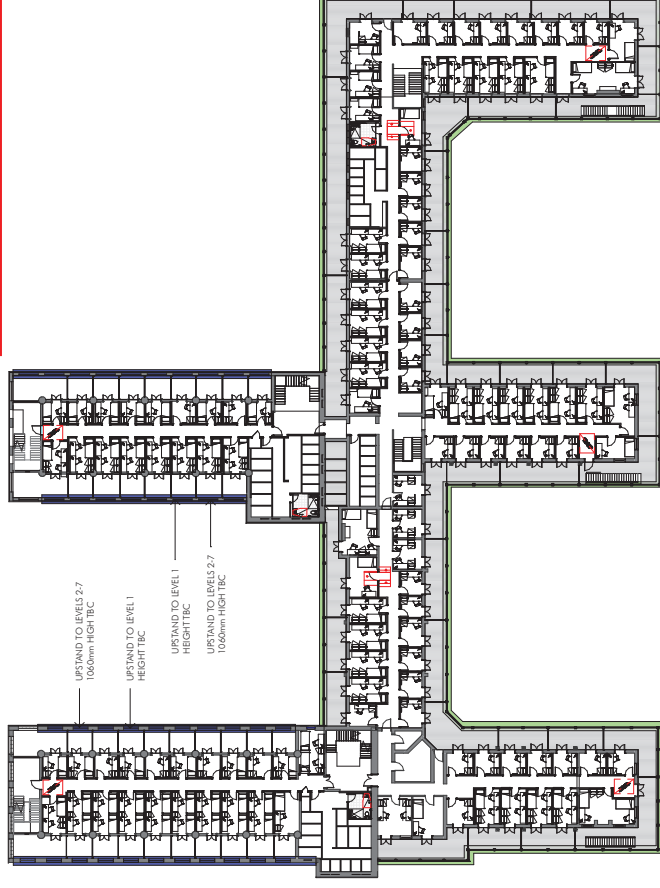


NORTH TOWER

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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## BALUSTRADE TYPE EXTENTS - TYPICAL

- BALUSTRADE TYPE 1 - TIMBER TO BE REMOVED AND REPLACED WITH COMPLIANT BALUSTRADE (USING TIMBER EQUAL OR SIMILAR TO EXISTING )WHERE EXISTING BALUSTRADE IS NOT STRUCTURALLY SOUND
- BALUSTRADE TYPE 2 - CONCRETE UPSTAND TO BE CLEANED/REPAIRED WITH ADDITIONAL TOP RAIL TO BE ADDED TO MAKE COMPLIANT



# 05.2.1 Balustrades

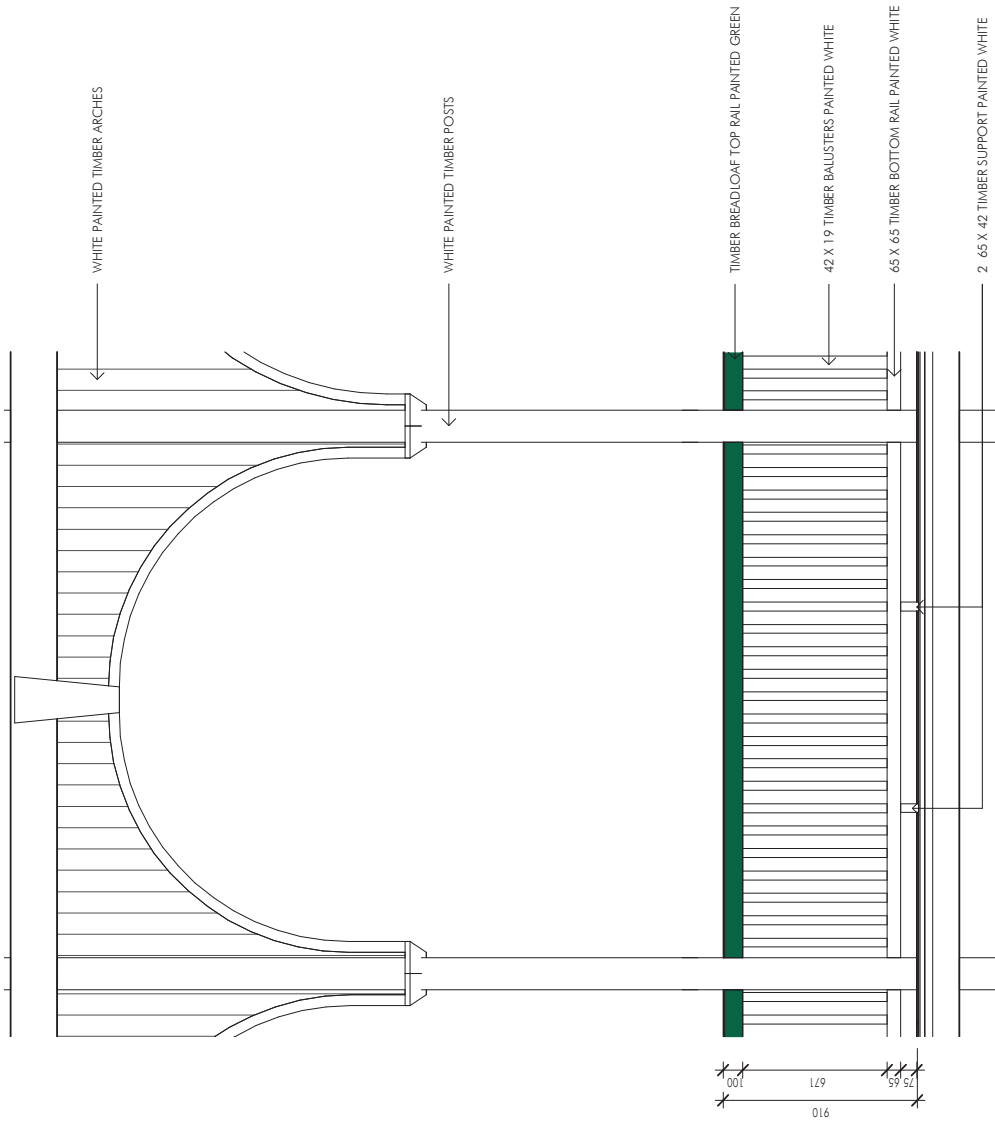
Existing Balustrade Type 1



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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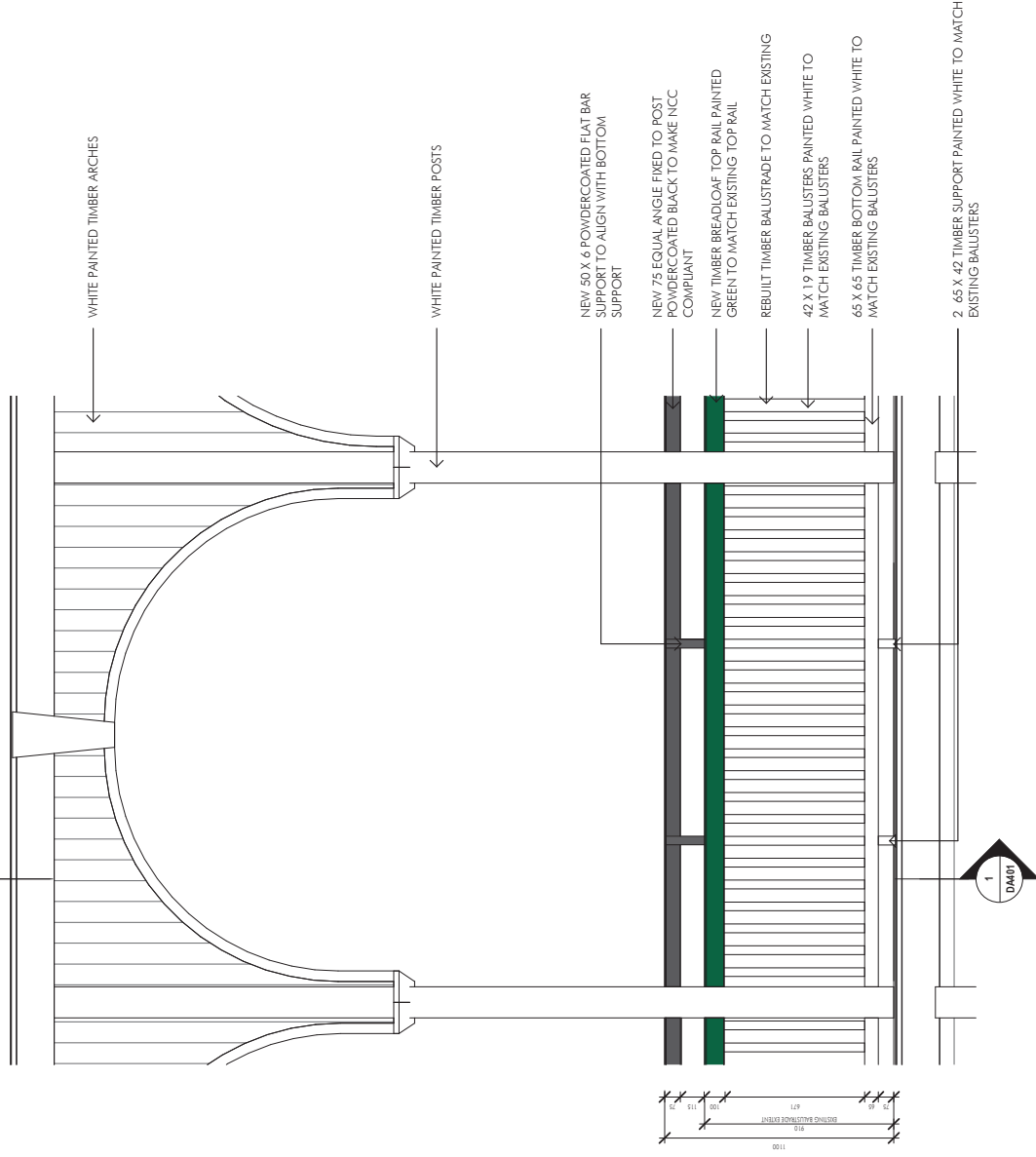


EXISTING BALUSTRADE ELEVATION  
1:25



# 05.2.2 Balustrades

## Proposed Balustrade Type 1

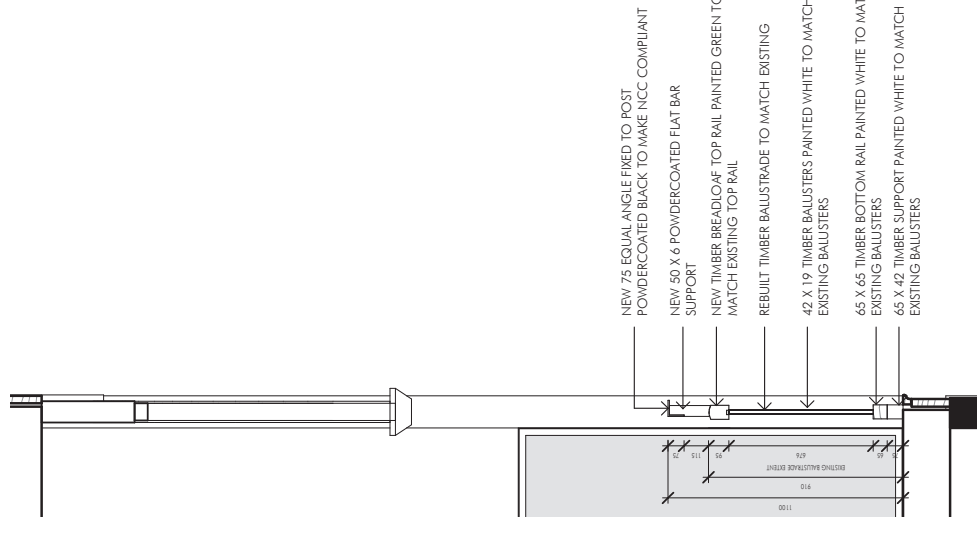


PROPOSED BALUSTRADE ELEVATION  
1:25

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1003

Date: 9 August 2019



PROPOSED BALUSTRADE SECTION  
1:25



## 05.2.2.3 Balustrades

Existing Balustrade Type 2 - Proposed



NORTH & SOUTH TOWER TYPICAL

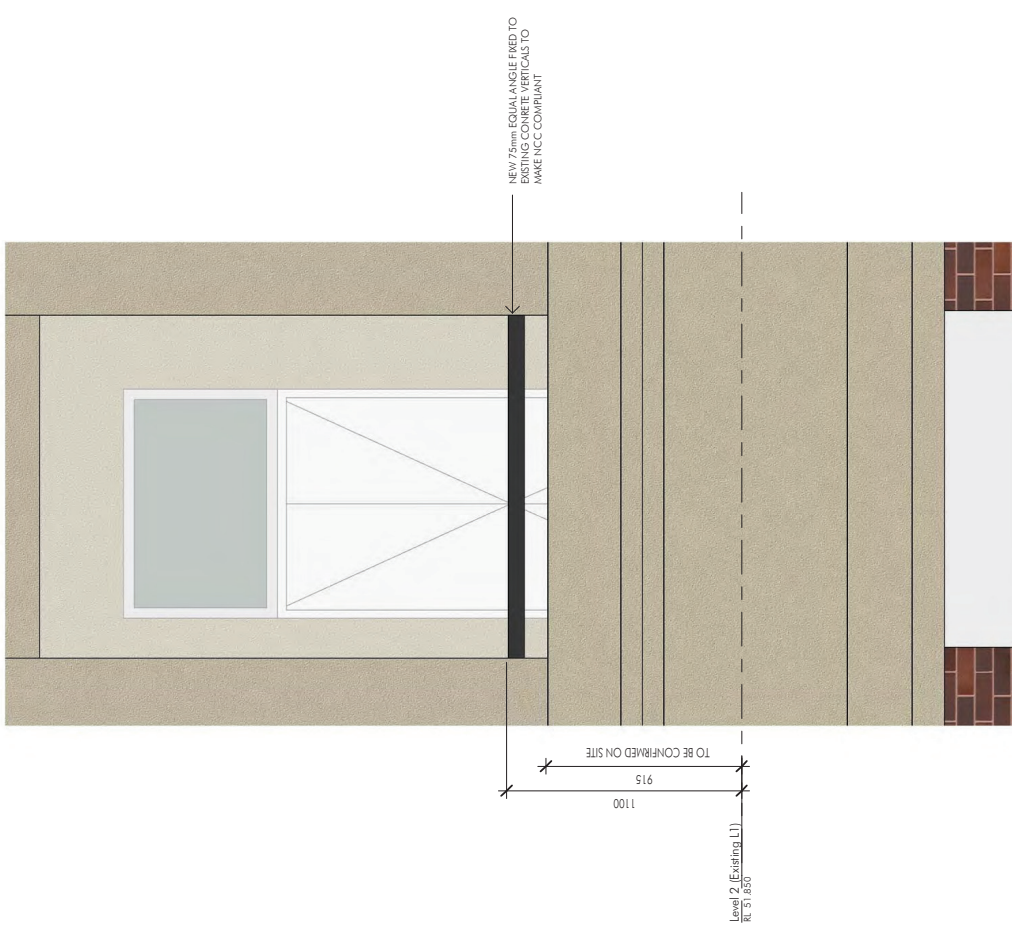


SOUTH TOWER - LVL 2

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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EXISTING TOWER (NORTH & SOUTH)  
LEVEL 2 BALUSTRADE ELEVATION  
1:25

NOTE: BALUSTRADE HEIGHTS TO BOTH TOWERS TO BE CONFIRMED ON SITE. BALUSTRADE HEIGHT WILL DETERMINE IF THE ADDITIONAL 75mm EQUAL ANGLE IS REQUIRED. TO BE CONFIRMED WITH CERTIFIER.

# 05.4 Front Courtyard

Existing

**AMENDED IN RED**

By: Sarah Hampstead

Date: 8 August 2019

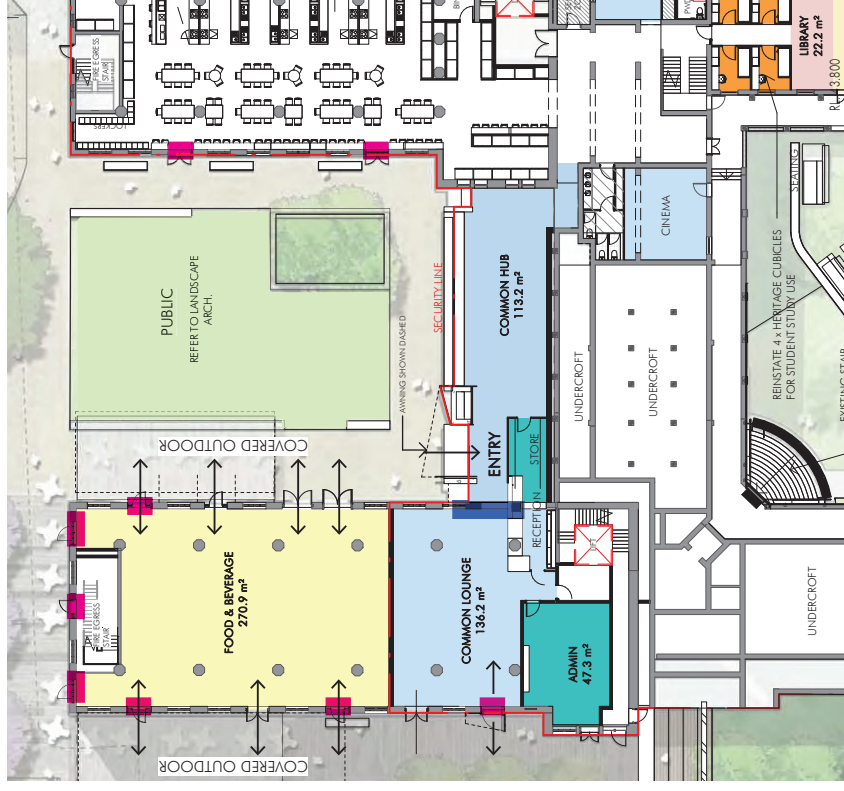
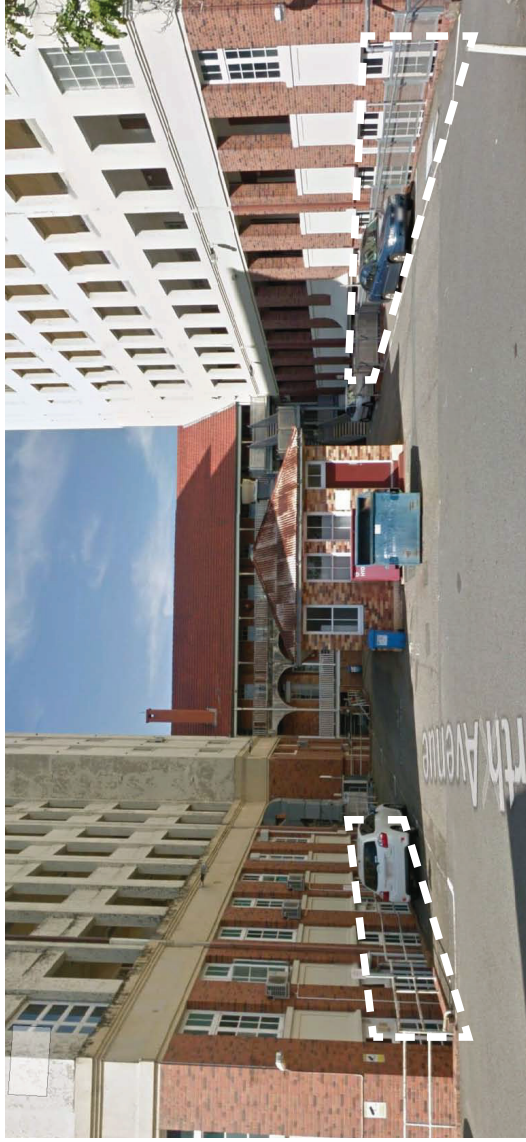


This approval does not include the internal design or layout of the Heritage Buildings. These items are subject to further assessment under separate Compliance Assessment.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1003

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- PARTIAL DEMOLITION OF EXTERNAL WALL REQUIRED FOR COMMON AREA/BUILDING ENTRY ACCESS
- EXISTING WINDOWS - TO BE REPLACED WITH FRENCH DOORS
- EXISTING WINDOWS - TO REMAIN/REFURBISHED WHERE NECESSARY



# 05.7 Tower Lift & Stair

Existing

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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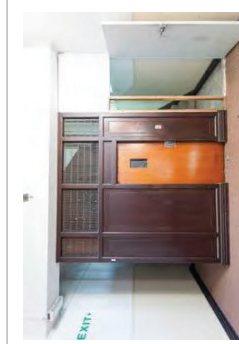
Date: 9 August 2019



Lift enclosures North and South towers

The lifts in the Tower blocks are enclosed in silky-oak panelling and demonstrate the quality of finishing that are characteristic of the towers.

SILKY OAK LIFT FACADE TO BE RETAINED AND ALTERED TO RECEIVE NEW LIFT DOORS

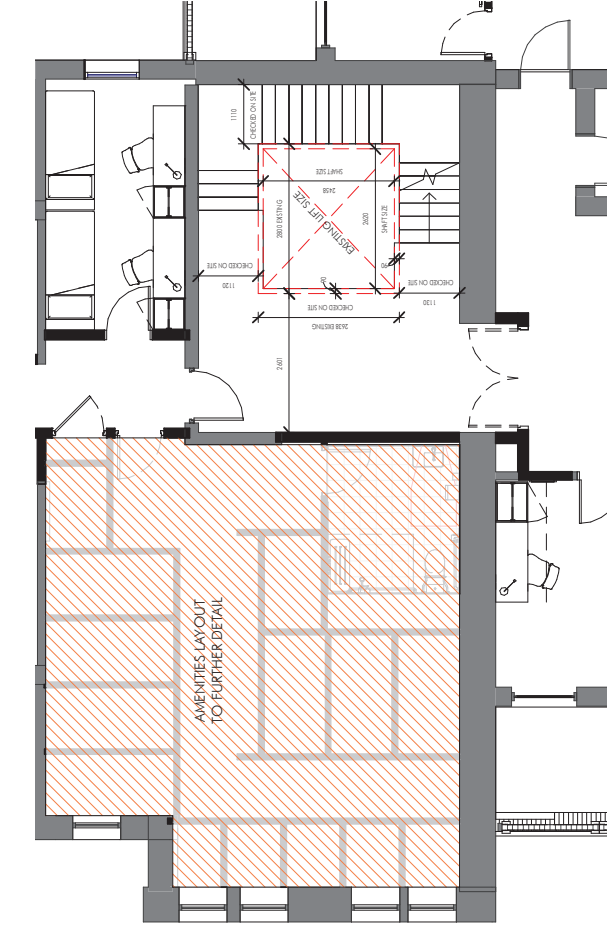


# 05.7 Tower Lift & Stair

Proposed

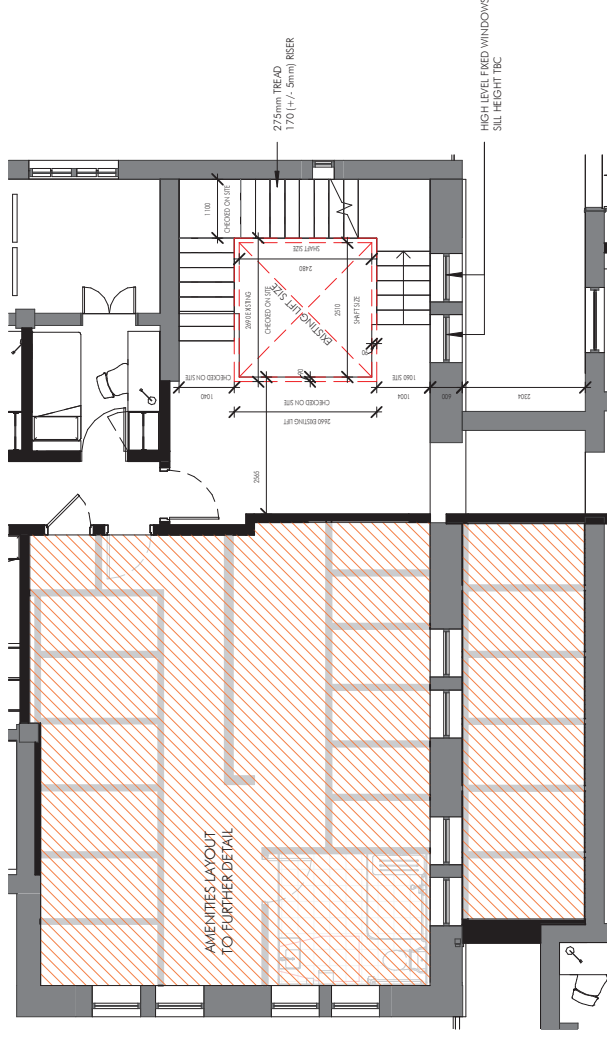
**PLANS AND DOCUMENTS**  
referred to in the PDA  
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**SOUTH TOWER LIFT & STAIR**  
1:100

SITE MEASURE AND INSPECTION REQUIRED TO CONFIRM LIFT SHAFT SIZE AND STAIR CLEARANCE  
STAIR WIDTH MAY REQUIRE ALTERATION TO ACHIEVE NCC COMPLIANCE REQUIREMENTS  
STAIR REFURBISHMENT/REPLACEMENT DEPENDENT ON LIFT  
SILKY OAK FACADE PANELING REQUIRES ALTERATION TO ACCOMMODATE COMPLIANT LIFT DOOR DETAIL.



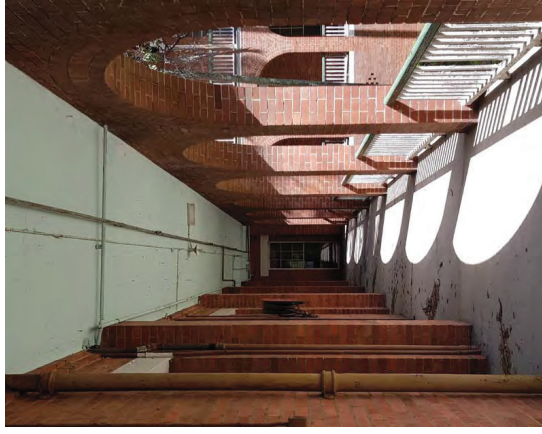
**NORTH TOWER LIFT & STAIR**  
1:100



# 05.10 Screening

Proposed Screening Intent & Locations

EXAMPLE OF CURRENT VERANDAH CONDITIONS



PRIVACY SCREEN LOOK & FEEL



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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PERFORATED PRIVACY SCREENS HAVE BEEN ALIGNED TO THE EXISTING TIMBER POSTS TO THE BALCONY TO MINIMISE DISRUPTION TO THE FACADE.

THE PERFORATED WHITE, METAL, SCREENS TO BE 1800mm HIGH

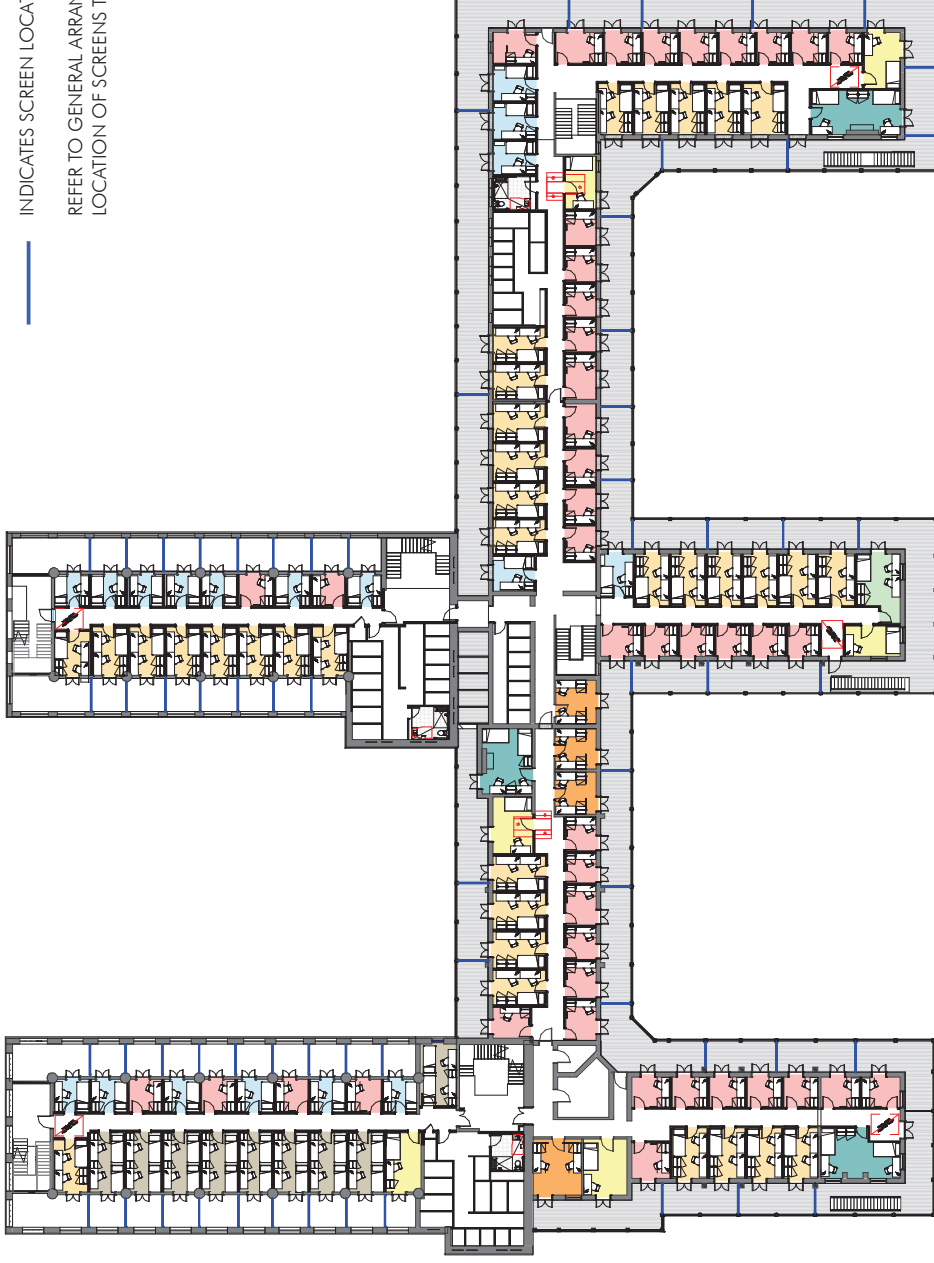
# 05.10 Screening Locations Typical

Proposed Screening Locations

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1003

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INDICATES SCREEN LOCATIONS

REFER TO GENERAL ARRANGEMENT PLANS FOR LOCATION OF SCREENS TO ALL LEVELS



# 05.11 Original Ceiling Locations

## Existing Ceilings

**PLANS AND DOCUMENTS** referred to in the PDA DEVELOPMENT APPROVAL  
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NEW SUSPENDED PLASTERBOARD CEILINGS ARE PROPOSED TO ALL AREAS UNLESS NOTED OTHERWISE ON THE FOLLOWING PLANS.

### METAL CEILINGS

1896 & 1914 Wing

"Original pressed metal and ripple iron ceilings survive in the 1896 and 1914 wings. Some of the ceilings have been covered with later suspended ceilings. Keep original metal and pressed metal ceilings even if new lowered ceilings are installed. Avoid damage to existing ceilings if new suspended ceilings are installed. Repair and reveal original ceilings in the main entrance and in other spaces where this can be done."

(Lady Lamington Nurses' home conservation management Plan Policy, pg.83)

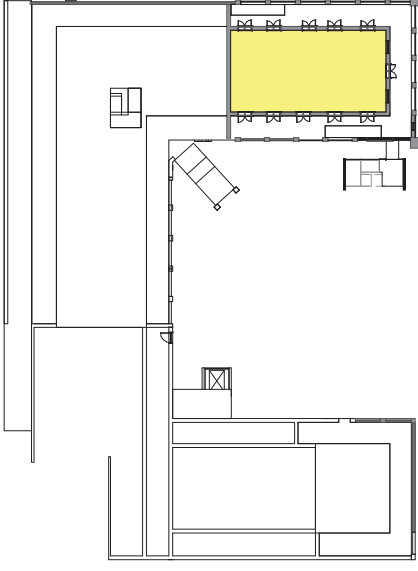


DECORATIVE METAL CEILING

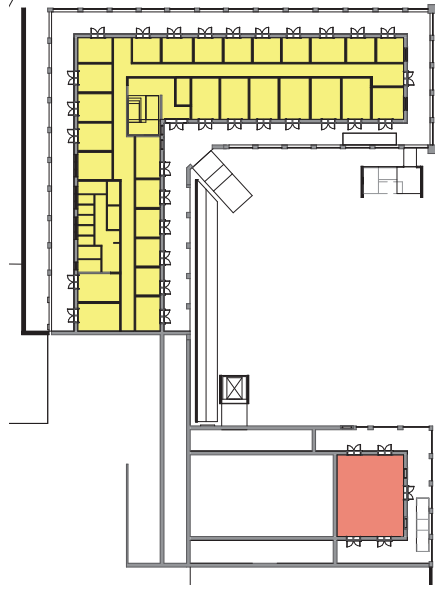
TIMBER CEILING



MINI ORB/RIPPLE IRON METAL SHEETING CEILING



**BASEMENT 2 - EXISTING CEILING LOCATIONS**  
1:500



**BASEMENT 1 - EXISTING CEILING LOCATIONS**  
1:500

### CEILING TYPES

- ORIGINAL MINI ORB/RIPPLE IRON METAL SHEETING TO BE RETAINED & TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- ORIGINAL TIMBER CEILING TO BE RESTORED/REPLACED
- EXISTING CONCRETE CEILING/SOFFT TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- ORIGINAL PRESSED METAL CEILING TO BE RETAINED & TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- ORIGINAL FLAT-SHEETED METAL CEILING TO BE RETAINED & TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- EXTENT OF ORIGINAL CEILINGS TO BE REPAIRED AND REVEALED

**NOTE:** CEILING TYPES HIGHLIGHTED ON PLANS REFLECTS THE ORIGINAL CEILING TYPE LOCATIONS AND DOES NOT INCLUDE AREAS WHERE THE ORIGINAL CEILINGS HAVE BEEN COVERED WITH SUSPENDED PLASTERBOARD CEILINGS. EXTENT OF SUSPENDED PLASTERBOARD TO BE CONFIRMED ON SITE

# 05.11 Original Ceiling Locations

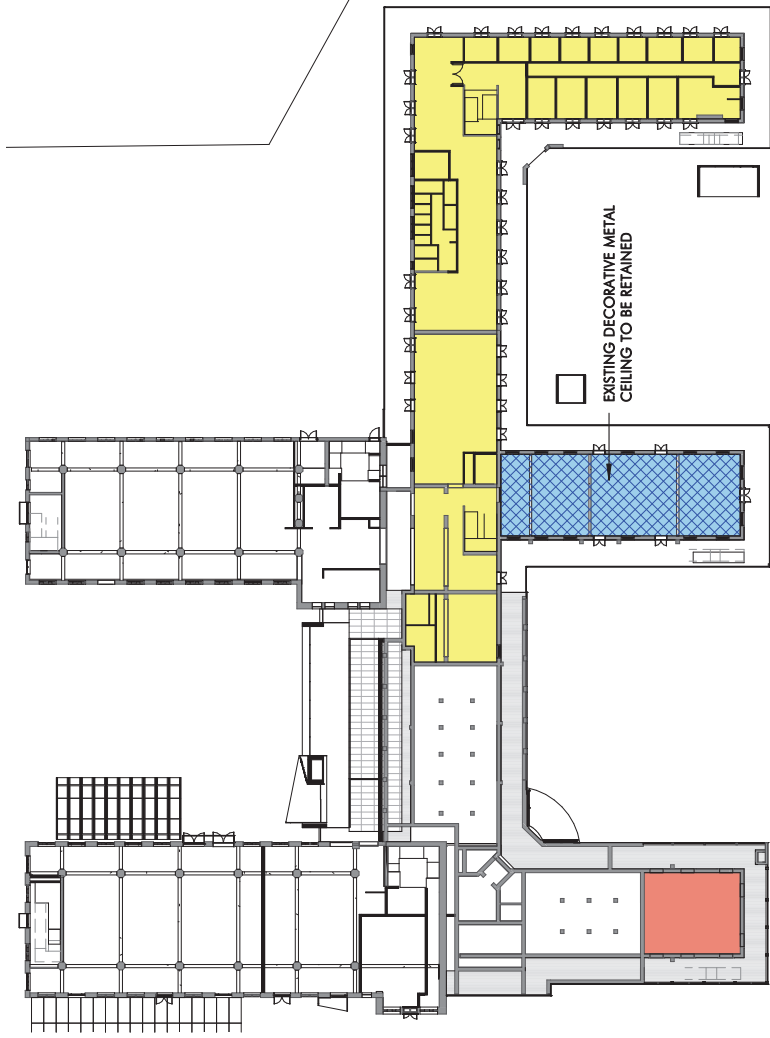
Existing Ceilings

  
**PLANS AND DOCUMENTS**  
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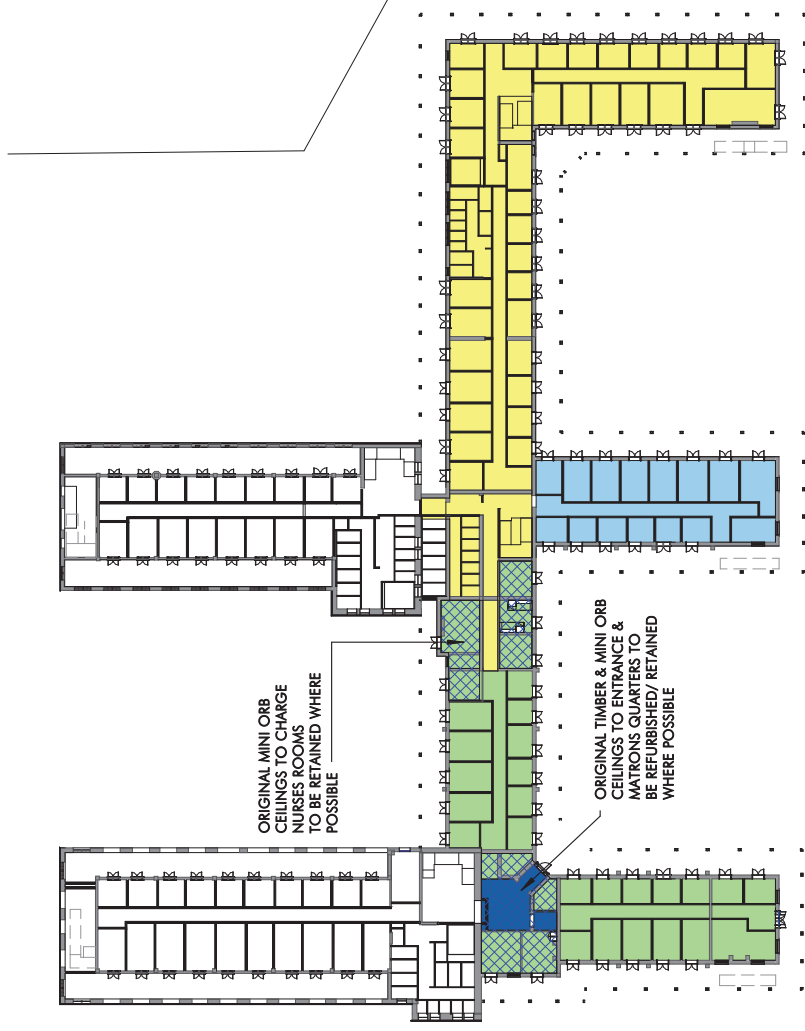
**CEILING TYPES**

- ORIGINAL MINI ORB/RIPPLE IRON METAL SHEETING TO BE RETAINED & TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- ORIGINAL TIMBER CEILING TO BE RESTORED/REPLACED
- EXISTING CONCRETE CEILING/SOFFIT
- TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- ORIGINAL FLAT-SHEETED METAL CEILING TO BE RETAINED & TO HAVE NEW SUSPENDED PB CEILING, UNLESS OTHERWISE NOTED
- EXTENT OF ORIGINAL CEILINGS TO BE REPAIRED AND REVEALED

**NOTE:**  
 CEILING TYPES HIGHLIGHTED ON PLANS REFLECTS THE ORIGINAL CEILING TYPE LOCATIONS AND DOES NOT INCLUDE AREAS WHERE THE ORIGINAL CEILINGS HAVE BEEN COVERED WITH SUSPENDED PLASTERBOARD CEILINGS.  
 EXTENT OF SUSPENDED PLASTERBOARD TO BE CONFIRMED ON SITE



**GROUND (EXISTING BASEMENT) - EXISTING CEILING LOCATIONS**  
 1:500



**LEVEL 1 (EXISTING GROUND) - EXISTING CEILING LOCATIONS**  
 1:500



# 05.11 Original Ceiling Locations

Existing Ceilings



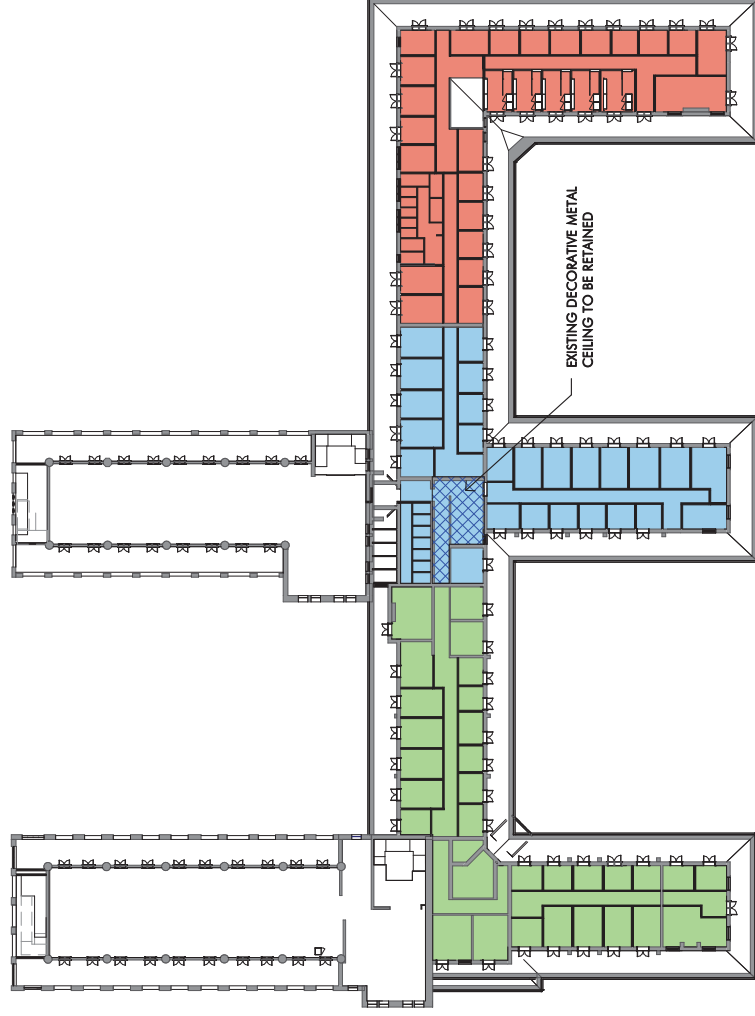
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**CEILING TYPES**

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- EXTENT OF ORIGINAL CEILINGS TO BE REPAIRED AND REVEALED

**NOTE:**  
CEILING TYPES HIGHLIGHTED ON PLANS REFLECTS THE ORIGINAL CEILING TYPE LOCATIONS AND DOES NOT INCLUDE AREAS WHERE THE ORIGINAL CEILINGS HAVE BEEN COVERED WITH SUSPENDED PLASTERBOARD CEILINGS. EXTENT OF SUSPENDED PLASTERBOARD TO BE CONFIRMED ON SITE



**LEVEL 2 (EXISTING LEVEL 1) - EXISTING CEILING LOCATIONS**  
1:500