

13 MAY 2013

MEDQ



SITE PLAN

LOT SIZES			NO. OF LOTS			RATIO		
250-319m ²	42	9%	320-374m ²	73	17%	375-449m ²	96	29%
450-539m ²	13	5%	> 600m ²	3	7%	Attached Housing	1	1%
Sales Centre & Cafe	1	1%						

Legend:

- Site Boundary
- Stage Boundary
- Open Space
- Footpath
- Display Home Lots
- Proposed Easement (6m Wide)

CLIENT

SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

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- (iii) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	DRAINAGE	AREA OF PARK	TOTAL AREA
1	78	1630m	1.172ha	0.5ha	9.063ha
2	74	885m	0.0601ha	-	5.02ha
3	69	1000m	-	-	5.157ha
4	25	815m	2.992ha	-	5.544ha
FUTURE	4	60m	-	2.848ha	3.681ha
TOTAL	260	4390m	4.2241ha	3.348ha	48.0ha



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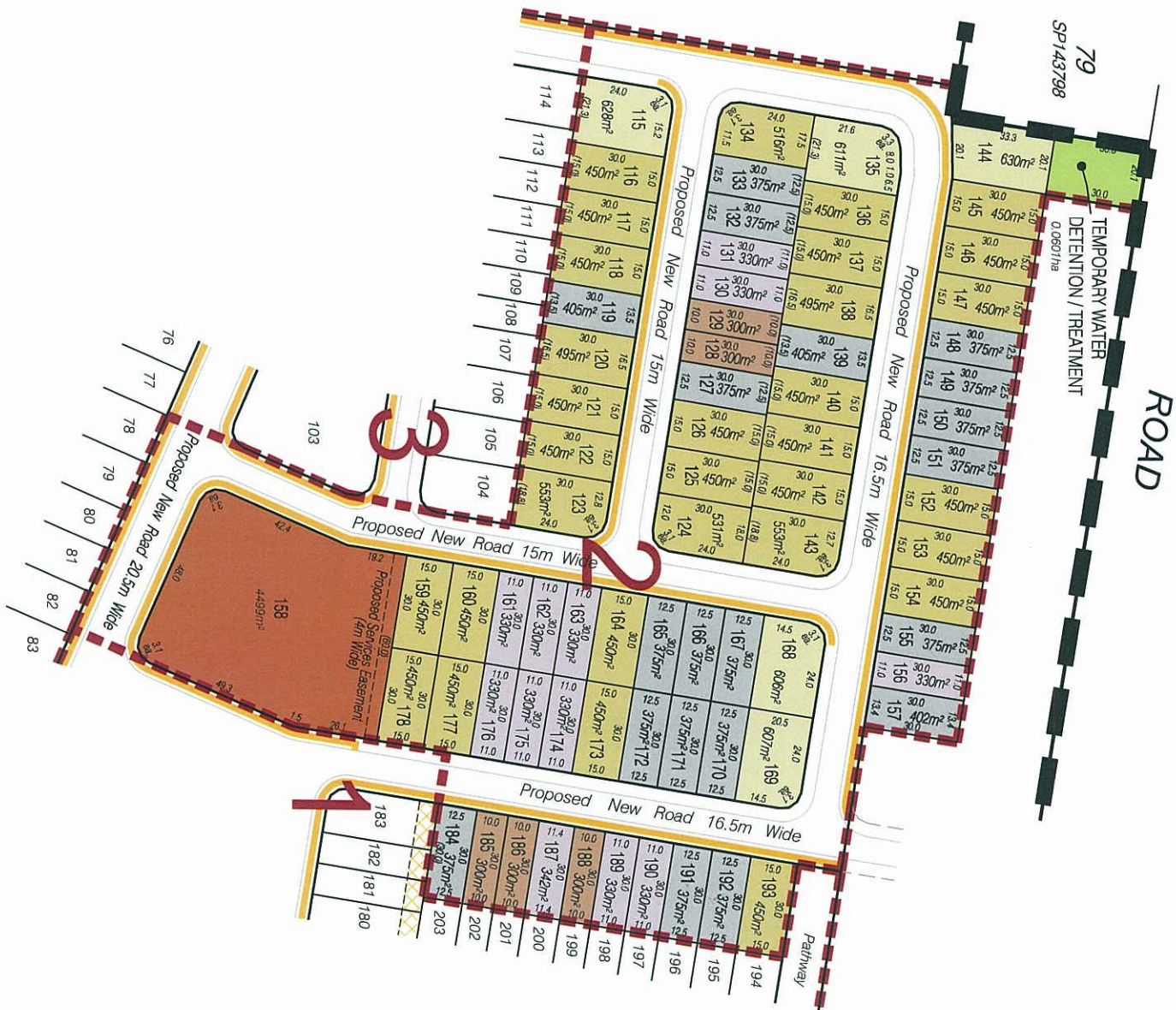
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FS 535053

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LEVEL ORIGIN	N/A		
CONTOUR INTERVAL	N/A		
COMPUTER FILE	364900UK		
DRAWN	LFB	DATE	10/03/2013
CHECKED	PUH	DATE	12/03/2013
APPROVED	-	DATE	-
PLAN NUMBER	SHEET 1 OF 6		
BRSS3649.000-146	REV J		

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

13 MAY 2013

MEDQ



Legend:

- Site Boundary
- Stage Boundary
- Open Space
- Footpath
- Proposed Easement (6m Wide)

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	5	7%
320-374m ²	12	16%
375-445m ²	20	27%
450-558m ²	31	42%
>600m ²	5	7%
Attached Housing	1	1%
Sales Centre & Café	-	-

STAGE 2

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES

CLIENT

SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

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STAGE	No. OF LOTS	NEW ROAD	DRAINAGE AREA OF PARK	TOTAL AREA
1	78	1630m	1.172ha	0.5ha
2	74	885m	0.0601ha	-
3	69	1000m	-	5.157ha
4	25	815m	2.992ha	-
FUTURE	4	60m	-	2.846ha
TOTAL	250	4390m	4.2241ha	3.348ha

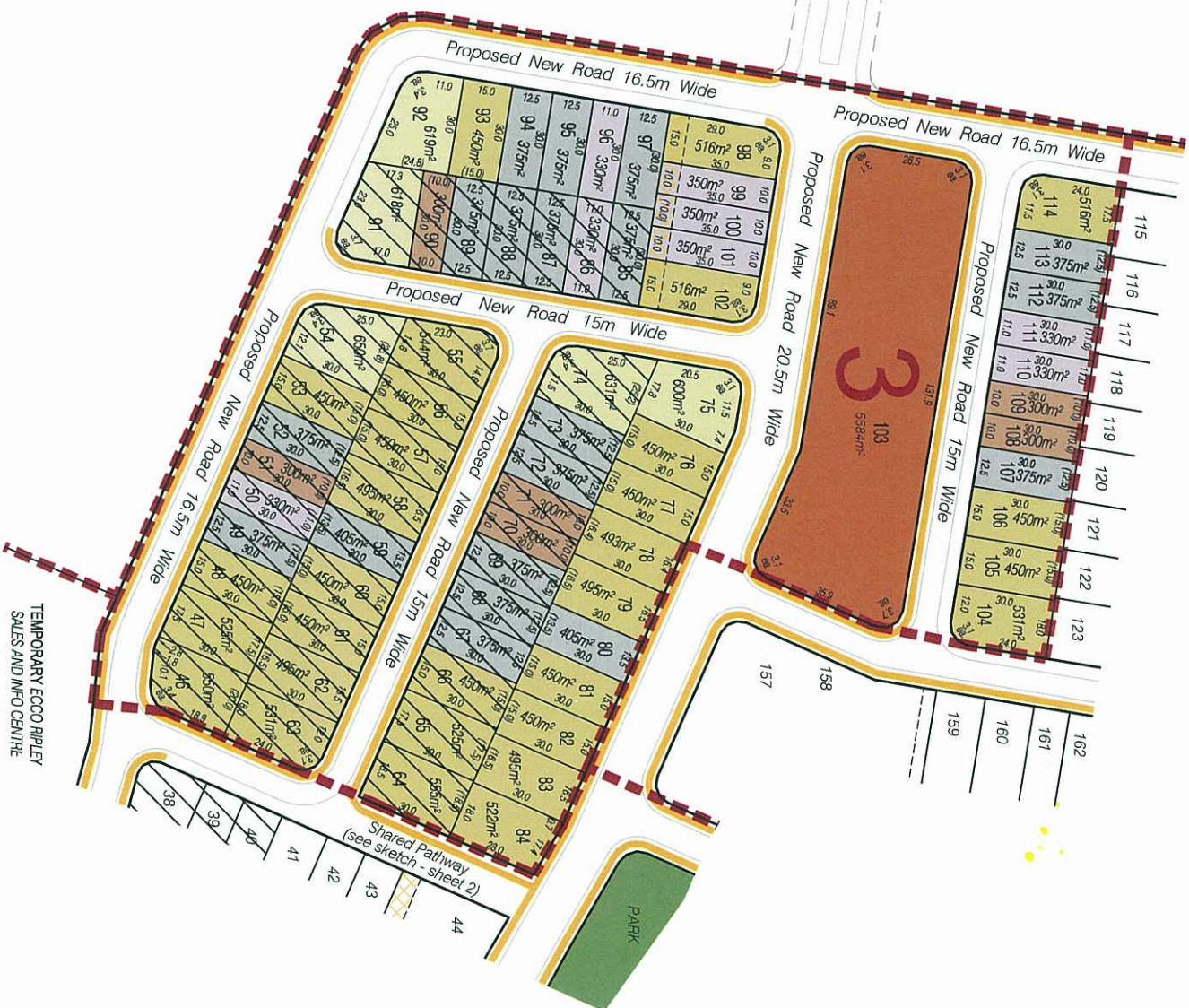
SCALE BAR

30m 0 50 100m

SCALE 1:2000 @ A3



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LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900.LK
DRAWN	LFB
CHECKED	PUH
APPROVED	-
PLAN NUMBER	SHEET 3 OF 6
BRSS3649.000-146	REV J



Legend:

- Site Boundary
- Stage Boundary
- Open Space
- Footpath
- Proposed Easement (6m Wide)
- Display Home Lots

LOT SIZES	NO. OF LOTS	RATIO
250-319m²	6	9%
320-374m²	8	12%
375-445m²	19	28%
450-599m²	30	43%
>600m²	5	7%
Attached Housing	1	1%
Sales Centre & Cafe	-	-

STAGE 3

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES

CLIENT

SEKISUI HOUSE

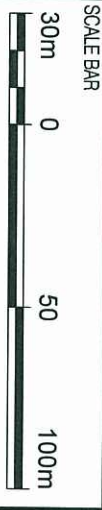
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OF LOT 179 ON SP143798,
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& LOT 182 ON S151860

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

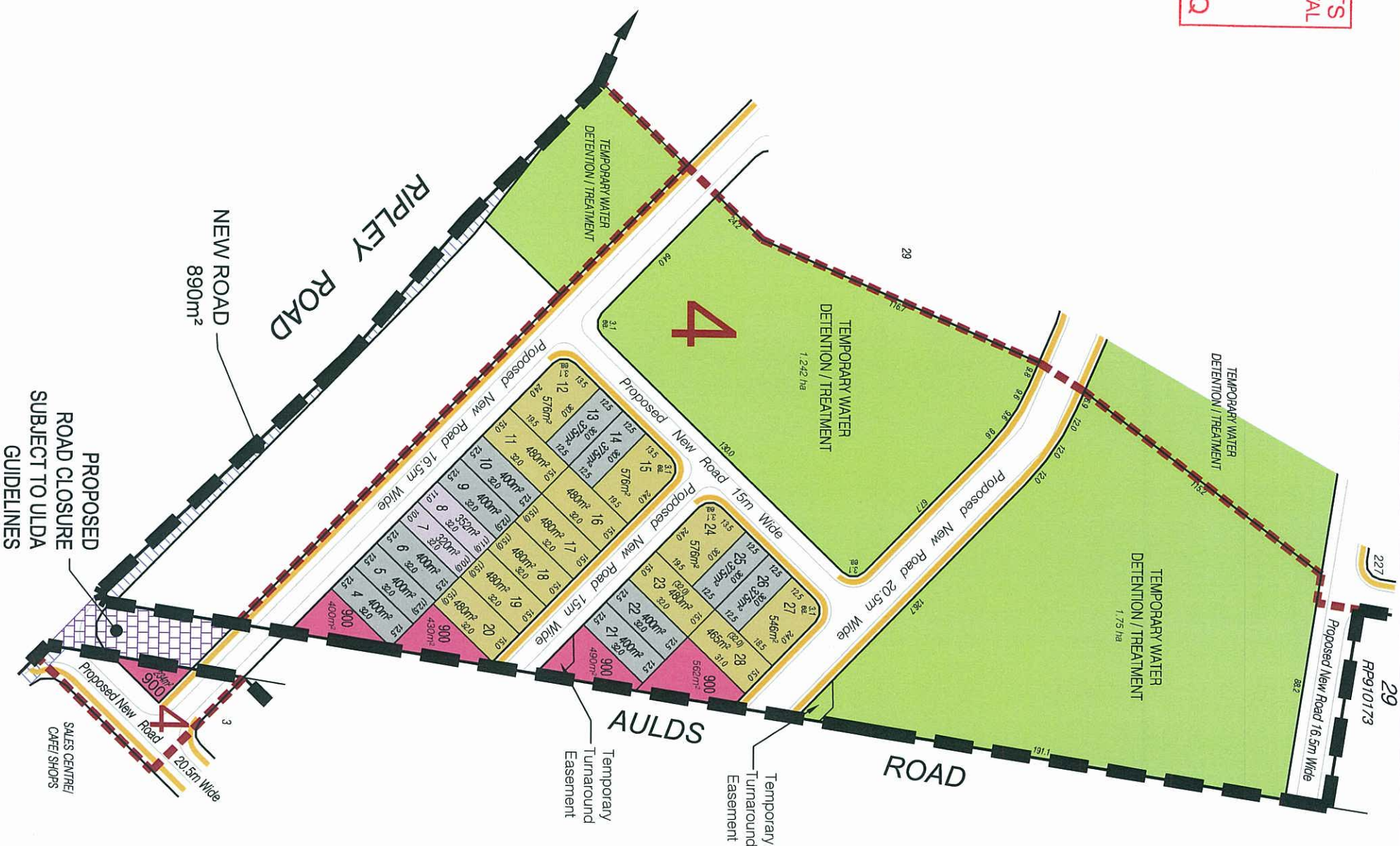
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2	74	885m	0.0601ha	-	5.02ha
3	69	1000m	-	-	5.157ha
4	25	815m	2.992ha	-	5.544ha
FUTURE	4	60m	-	2.840ha	3.681ha
TOTAL	250	4390m	4.2241ha	3.340ha	48.0ha



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Legend:

- Site Boundary
- Stage Boundary
- Open Space
- Footpath
- Proposed Easement (6m Wide)

LOT SIZES	NO. OF LOTS	RATIO
250-319m²	-	-
320-374m²	2	8%
375-445m²	11	44%
450-599m²	12	48%
>600m²	-	-
Attached Housing	-	-
Sales Centre & Cafe	-	-

STAGE 4

CLIENT

SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY
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TOTAL	250	4390m	4.2241ha	3.348ha	48.0ha

SCALE BAR



SCALE 1:2000 @ A3



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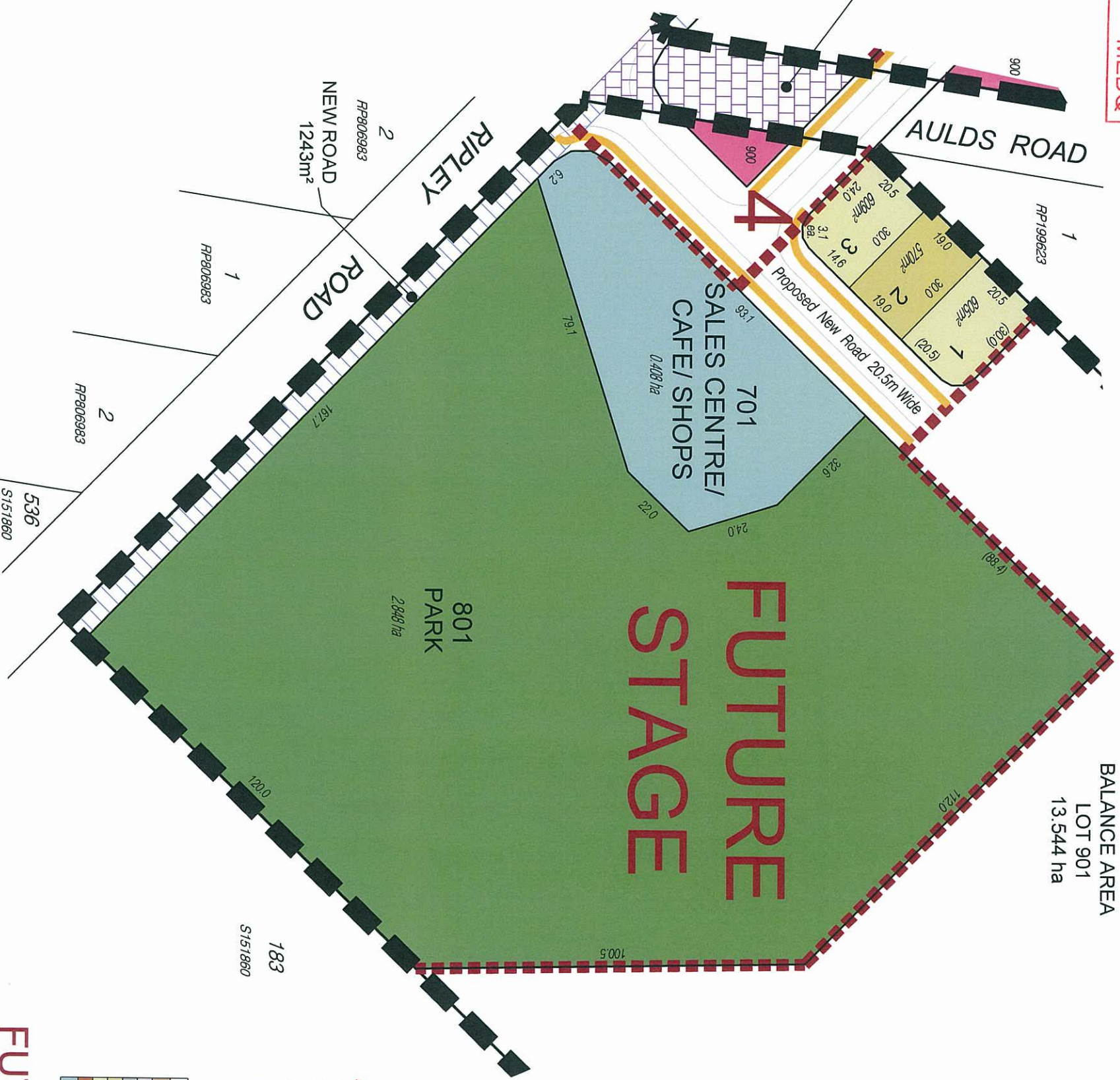
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PLAN NUMBER	SHEET 5 OF 6		
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PROPOSED
ROAD CLOSURE
SUBJECT TO ULDA
GUIDELINES



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FUTURE STAGE

Legend:

- Site Boundary
- Stage Boundary
- Open Space
- Footpath
- Proposed Easement (6m Wide)

LOT SIZES	NO. OF LOTS	RATIO
250-319m²	-	-
320-374m²	-	-
375-445m²	-	-
446-559m²	1	25%
>560m²	2	50%
Attached Housing	-	-
Sales Centre & Cafe	1	25%

CLIENT

SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
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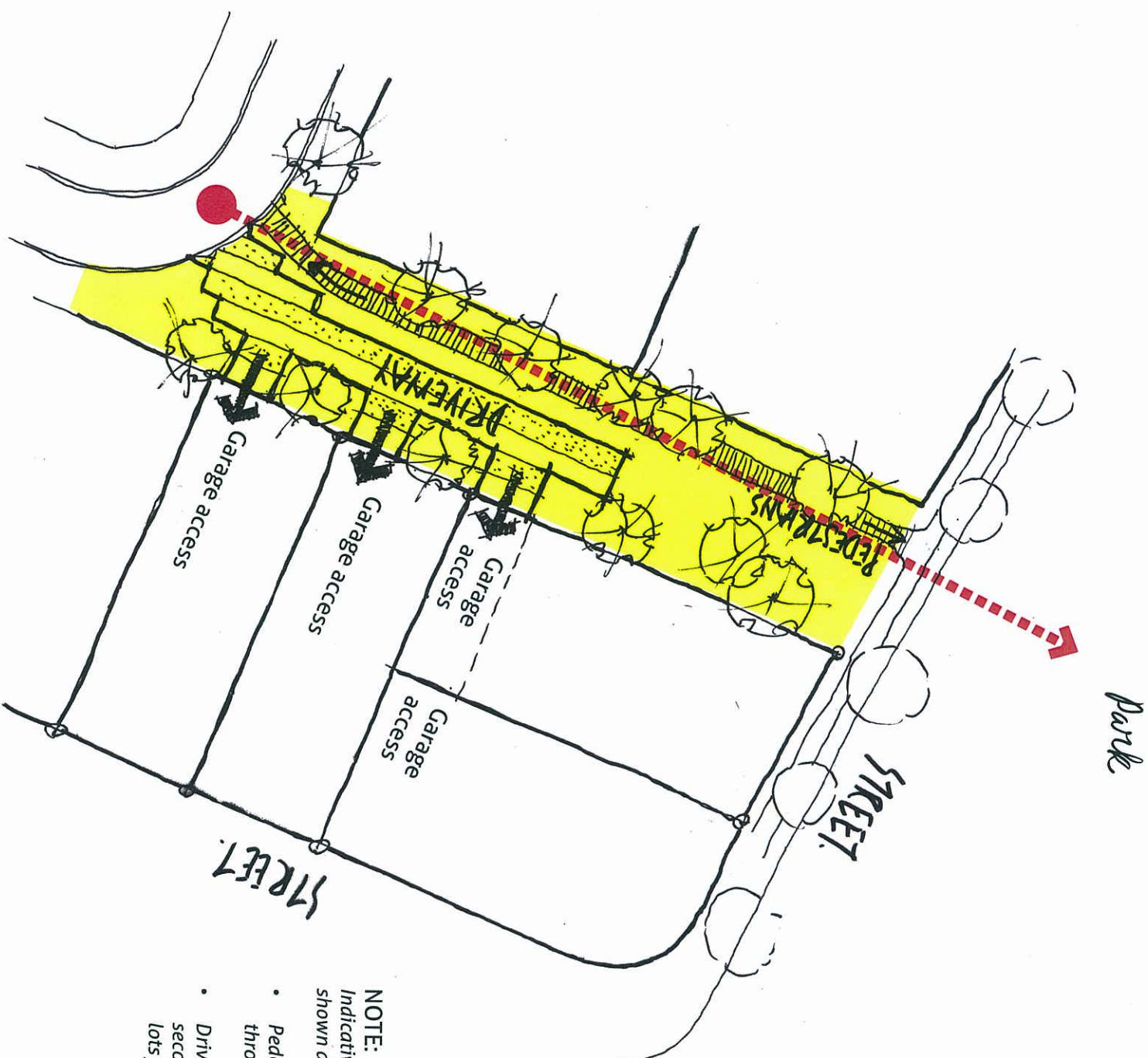
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FUTURE	4	60m	-	2.849ha
TOTAL	250	4390m	4.2241ha	3.348ha



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PLAN NUMBER		SHEET 6 OF 6		REV
BRSS3649.000-146				J



Location Plan



Driveway / Path sketch

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- NOTE:
Indicative Open Space sketch to
shown an example of:
- Pedestrian connectivity
through to the Park space
 - Driveway access to the rear /
secondary frontage of the entry
lots for vehicular access



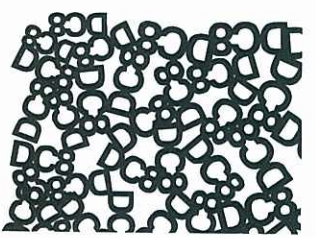
Ripley Area 1 - Driveway sketch

12 March 2013.

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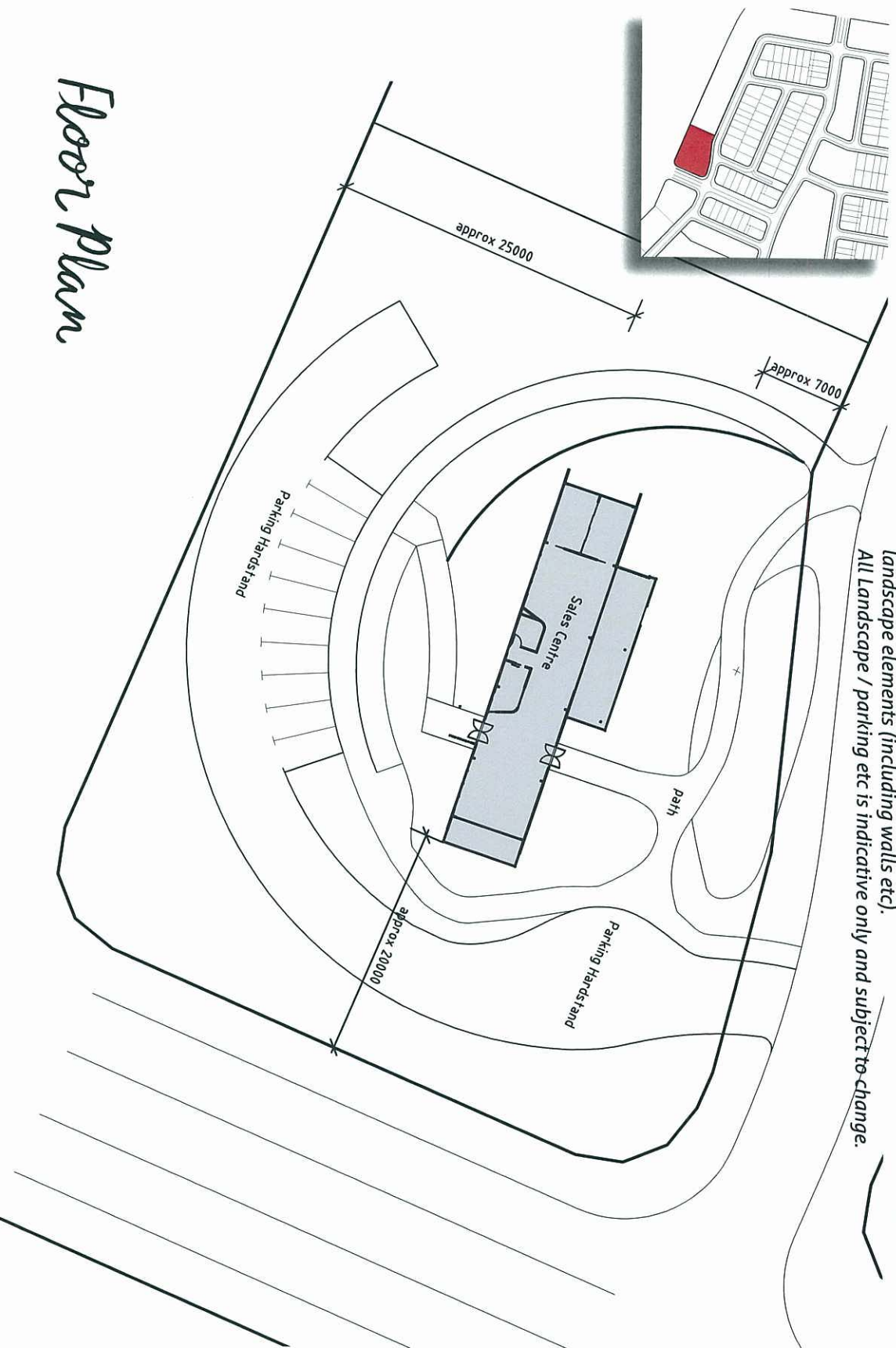


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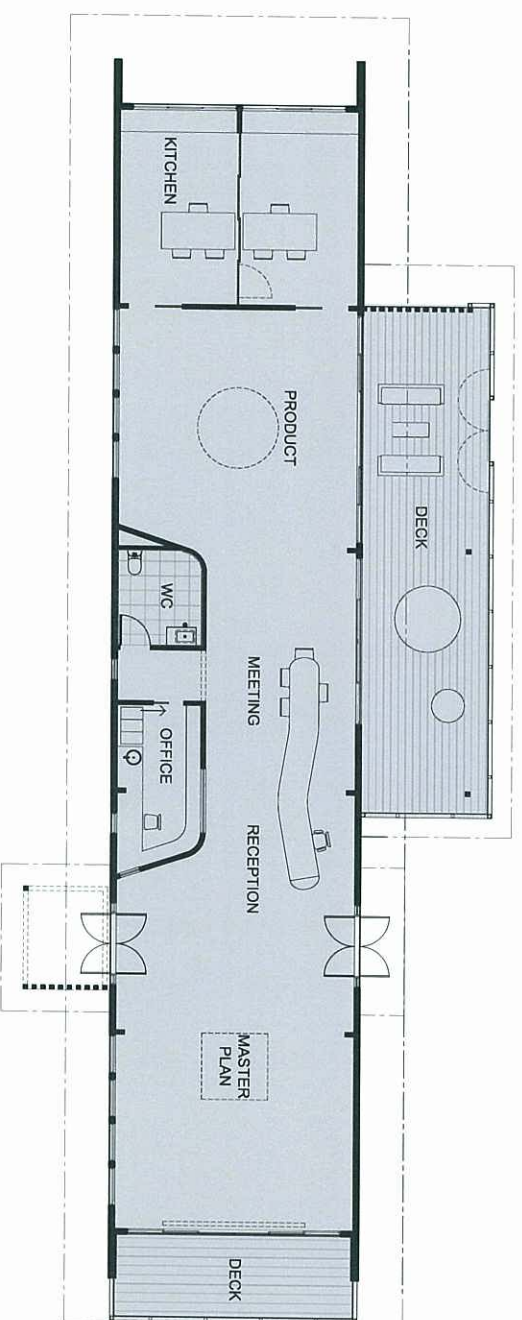


Site Plan

NOTE:
Approximate setbacks are to walls and do not include stairs, ramps, parking or landscape elements (including walls etc).
All Landscape / parking etc is indicative only and subject to change.



Floor Plan



Ripley Area 1 - Sales Centre

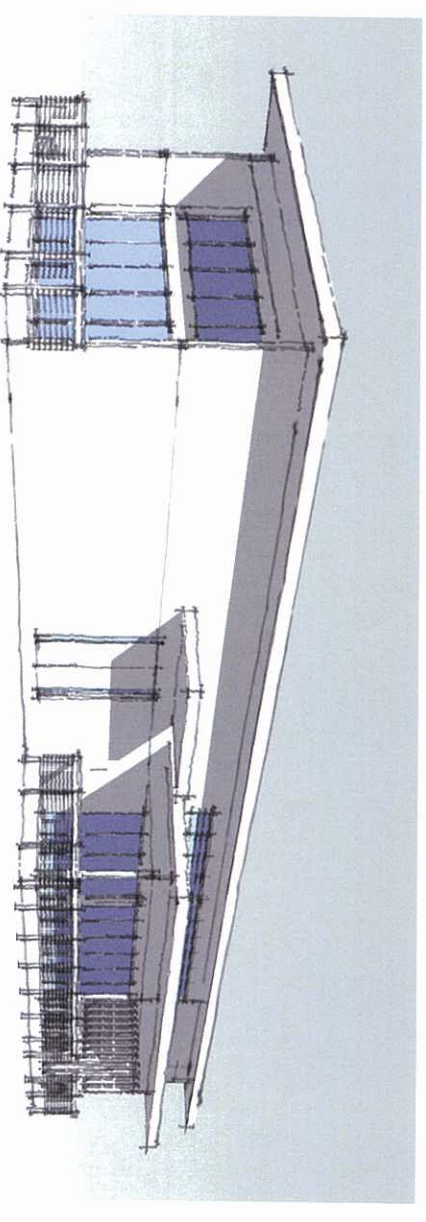
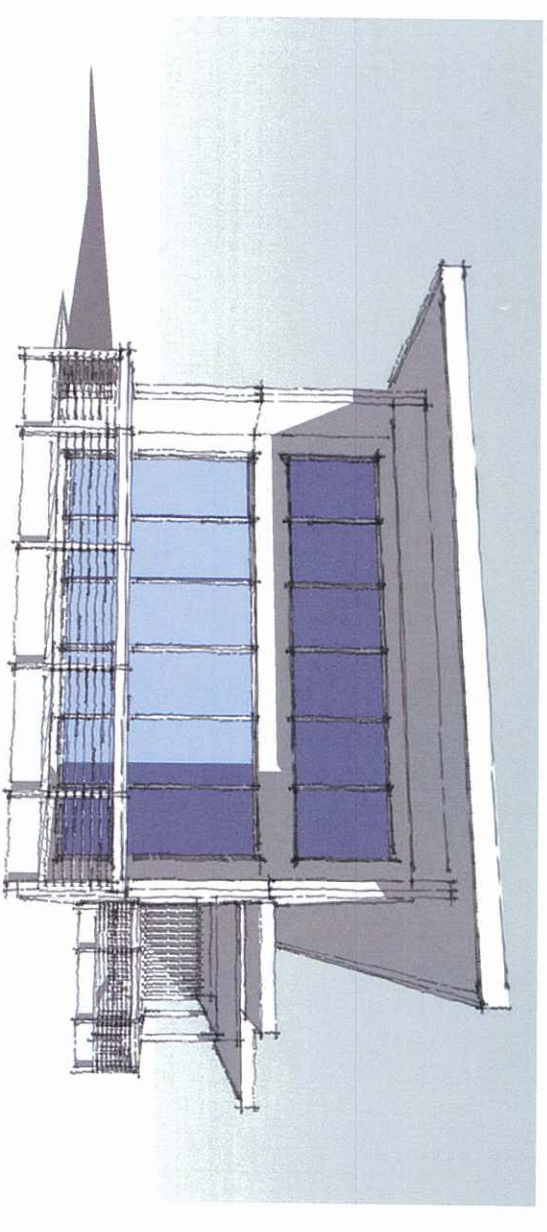
12 March 2013.

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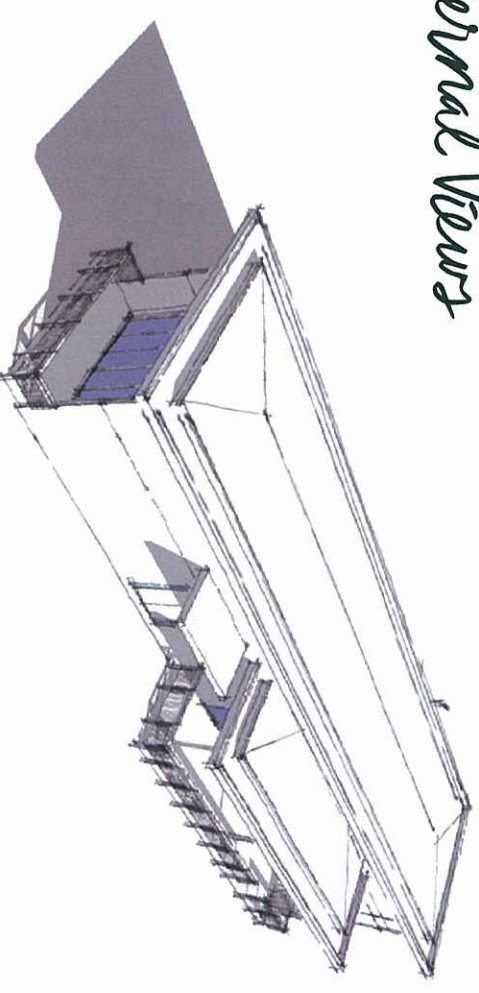
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External Views



NOTE:

Building Plan and External Views are indicative only



SEKISUI HOUSE

ECCO
RIPLEY

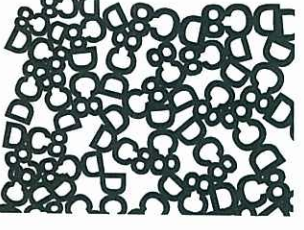
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SITE DEVELOPMENT TABLE			Villa Allotments(1)			Villa Allotments(2)			Courtyard Allotments(1)			Courtyard Allotments(2)			Traditional Allotments		
			250-319m ² 10-12m Frontage			320-374m ² 10-13m Frontage			375-449m ² >12m Frontage			450-599m ² >14m Frontage			≥600m ² >17m Frontage		
Front Primary Frontage	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	First Floor
Rear	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m
Side - General Lots	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a
Non Build to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m	3.0m
Lane/Lot	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from Lane/Lot)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

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- Notes -
- General:
- a. All development is to be undertaken generally in accordance with the Development Approval.
 - b. These notes contained within this Plan of Development apply also to the display home lots.
 - c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.

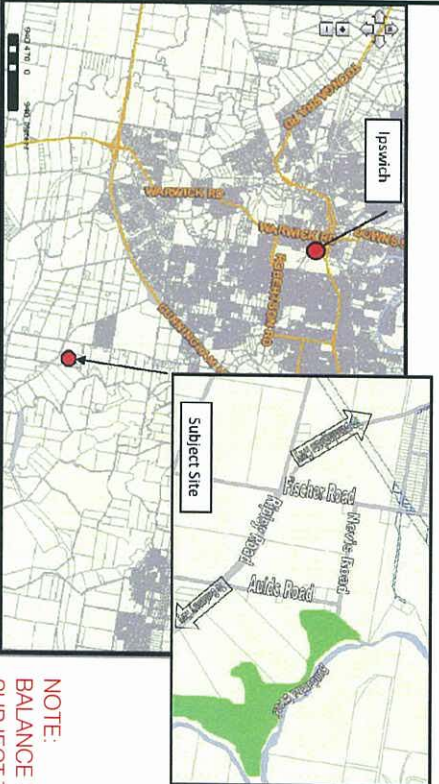
- Orientation:
3. Eaves - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.



LOCALITY PLAN



NOTE: BALANCE LOT 900 TO BE FURTHER SUBDIVIDED
SUBJECT TO FUTURE ROAD CLOSURE OF AULDS ROAD

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SITE PLAN

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	22	9%
320-374m ²	42	17%
375-445m ²	73	29%
450-599m ²	96	38%
>600m ²	13	5%
Attached housing	3	1%
Sales Centre & Cafe	1	1%

- Legend:
- Site Boundary
 - Stage Boundary
 - Built to Boundary Wall (Non Mandatory)
 - Primary Frontage
 - Open Space
 - Footpath
 - Proposed Easement (6m Wide)
 - Display Home Lots

- Parking:
10. Minimum off-street parking requirements 2 spaces per dwelling, which may be in tandem on driveway
11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m.
- Double garages may be permitted on a single story dwelling on a lot less than 12.5m wide.
- Double garages may be permitted on double story buildings with frontages less than 12.5m.
- Subject to the garage being setback 1.5m behind the face of the main dwelling.
12. Parking spaces on driveways do not have to comply with AS2890
13. Garages and Carports served off a Lane/way must be built with a minimum 1.0 metre Rear Setback.
- Site Cover and Amenities:
14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Lot Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.
- Fencing
16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc.).

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LEVEL DATUM	N/A
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CHECKED	PUH/SRS
APPROVED	-
PLAN NUMBER	BRSS3649.000-133
SHEET 1 OF 6	REV Q

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STAGE	No. OF LOTS	NEW ROAD	DRAINAGE	AREA OF PARK	TOTAL AREA
1	78	1630m	1.172ha	0.5ha	9.0639ha
2	74	885m	0.0601ha	-	5.02ha
3	69	1000m	-	-	5.157ha
4	25	815m	2.9921ha	-	5.544ha
FUTURE	4	60m	-	2.848ha	3.6811ha
TOTAL	250	4390m	4.2241ha	3.348ha	48.0ha

SCALE BAR



SCALE 1:2000 @ A3



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ISO 9001:2008
FS 535053

LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900JM
DRAWN	LFB
CHECKED	PJH/SRS
APPROVED	-
PLAN NUMBER	BRSS3649.000-133
SHEET 2 OF 6	REV
Q	Q

SITE DEVELOPMENT TABLE		Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
Front Primary Frontage	Ground Floor	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	First Floor	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	2.0m
Side - General Lots		0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Build to Boundary		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.2m	2.0m
Non Build to Boundary		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	3.0m	3.0m
Come Lots - Secondary Frontage		1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m		
Lane/Lot		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m		
Rear of Lot (from Lane/Lot Body)		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m		

Notes -

- General:
- a. All development is to be undertaken generally in accordance with the Development Approval.
 - b. These notes contained within this Plan of Development apply also to the display home lots.
 - c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.

8. Boundary setbacks are measured to the wall of the structure.

9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

10. Minimum off-street parking requirements
2 spaces per dwelling, which may be in tandem on driveway

11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m.
Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide. Double garages may be permitted on double storey buildings with frontages less than 12.5m. Subject to the garage being setback 1.5m behind the face of the main dwelling.

12. Parking spaces on driveways do not have to comply with AS2890.
13. Garages and Carports served off a Lane/Lot must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenities:

14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Lot Homes) above ground level must not be less than 8sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.

- Fencing
16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc.).

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath
- Proposed Easement (6m Wide)

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	11	14%
320-374m ²	20	26%
375-449m ²	23	30%
450-599m ²	22	28%
>600m ²	1	1%
Attached Housing	1	1%
Sales Centre & Café	-	-



- NOTE:
- Proposed Open Space related to shown on example of.
 - Federation connectivity through to the park space.
 - Driveway access to the rear / secondary frontage of the entry lots for vehicular access.

Sketch provided by DOB Studio 12th March 2013

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

SITE DEVELOPMENT TABLE		Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Front Primary Frontage	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
	Rear	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
	Side - General Lots	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
	Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
	Non Build to Boundary	0.5m	0.5m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage Laneway/Lots		1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Rear of Lot (from Laneway/Bdy)		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Notes -

General:

- All development is to be undertaken generally in accordance with the Development Approval.
- These notes contained within this Plan of Development apply also to the display home lots.
- The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.

- The maximum height of building shall not exceed 9m.

Orientation:

- Entrances - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

- Setbacks are as per the Site Development Table unless otherwise specified.

- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.

- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.

- Boundary setbacks are measured to the wall of the structure.

- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
2 spaces per dwelling, which may be in tandem on driveway

- Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 3.5m.
Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide. Double garages may be permitted on double storey buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.

- Parking spaces on driveways do not have to comply with AS2890.

- Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenities

- Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.

- Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.

- Fencing
16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc.).



Legend:		
	Site Boundary	
	Stage Boundary	
	Built to Boundary Wall (Non Mandatory)	
	Primary Frontage	
	Open Space	
	Footpath	
	Proposed Easement (6m Wide)	
LOT SIZES		
	NO. OF LOTS	RATIO
250-319m ²	5	7%
320-374m ²	12	16%
375-449m ²	20	27%
450-599m ²	31	42%
>600m ²	5	7%
Allocated Housing	1	1%
Sales Centre & Cafe	-	-

STAGE 2

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

13 MAY 2013

MEDQ

CLIENT

SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY

ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

- This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
- LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (i) or (ii) hereof.
- The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.
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STAGE	No. OF LOTS	NEW ROAD	DRAINAGE	AREA OF PARK	TOTAL AREA
1	78	1630m	1.172ha	0.5ha	9.0631ha
2	74	885m	0.0601ha	-	5.021ha
3	69	1000m	-	-	5.1571ha
4	25	815m	2.9921ha	-	5.5441ha
FUTURE	4	60m	-	2.848ha	3.6811ha
TOTAL	280	4390m	4.2241ha	3.348ha	48.01ha

SCALE BAR



SCALE 1:2000 @ A3



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ISO 9001:2008
FS 535053

LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900JM
DRAWN	LFB
CHECKED	PUH/SRS
APPROVED	-
PLAN NUMBER	BRSS3649.000-133
SHEET 3 OF 6	REV Q

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage				Villa Allotments(2) 320-374m ² 10-13m Frontage				Courtyard Allotments(1) 375-449m ² >12m Frontage				Courtyard Allotments(2) 450-599m ² >14m Frontage				Traditional Allotments ≥600m ² >17m Frontage			
	Front Primary Frontage	Rear	Side - General Lots	Build to Boundary	Non Build to Boundary	Corned Lots - Secondary Frontage	Lane/Lot	Rear of Lot (from Lane/Lot)	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
	3.0m	1.0m	1.0m	0.0m	0.0m	1.5m	1.5m	0.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
	1.0m	1.0m	1.0m	0.0m	0.0m	1.5m	1.5m	0.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
	0.0m	0.0m	0.0m	0.0m	0.0m	2.0m	2.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
	0.0m	0.0m	0.0m	0.0m	0.0m	2.0m	2.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Notes -

General:

- a. All development is to be undertaken generally in accordance with the Development Approval.
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- c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.

2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entrances - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

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6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.

7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.

8. Boundary setbacks are measured to the wall of the structure.

9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

10. Minimum off-street parking requirements
2 spaces per dwelling, which may be in tandem on driveway

11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5m.
Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide. Double garages may be permitted on double story buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.

12. Parking spaces on driveways do not have to comply with AS2890.

13. Garages and Carports served off a Lane/Lot must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenities:

14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc.).



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

13 MAY 2013

MEDQ

CLIENT

SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY

ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

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- (ii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.
- (iii) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	DRAINAGE	AREA OF PARK	TOTAL AREA
1	78	1630m	1.172ha	0.5ha	9.063ha
2	74	885m	0.0601ha	-	5.02ha
3	69	1000m	-	-	5.157ha
4	25	815m	2.992ha	-	5.544ha
FUTURE	4	60m	-	2.848ha	3.681ha
TOTAL	250	4390m	4.2241ha	3.348ha	48.0ha

SCALE BAR



SCALE 1:2000 @ A3



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FS 555063

Legend:		
	Site Boundary	
	Stage Boundary	
	Built to Boundary Wall (Non Mandatory)	
	Primary Frontage	
	Open Space	
	Footpath	
	Proposed Easement (6m Wide)	
	Display Home Lots	
LOT SIZES		
LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	6	9%
320-374m ²	8	12%
375-449m ²	19	28%
450-599m ²	30	43%
>600m ²	5	7%
Attached Housing	1	1%
Sales Centre & Cafe	-	-

STAGE 3

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900J.M
DRAWN	LFB
CHECKED	PJH/SNS
APPROVED	-
PLAN NUMBER	BRSS3649.000-133
SHEET 4 OF 6	REV Q

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-15m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Build to Boundary	0.0m	0.0m	0.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Non Build to Boundary	0.0m	0.0m	0.0m	1.0m	1.0m	1.5m	2.0m	2.0m	3.0m	3.0m
Come Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m		
Lane/Lot	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from Lane/Lot Body)										

- Notes -
- General:
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- The maximum height of building shall not exceed 9m.

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- Setbacks
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- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.
- Parking:
 - Minimum off-street parking requirements
 - 2 spaces per dwelling, which may be in tandem on driveway
- Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide. Double garages may be permitted on double story buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
- Parking spaces on driveways do not have to comply with AS2890.
- Garages and Carports served off a Lane/Lot must be built with a minimum 1.0 metre Rear Setback.
- Site Cover and Amenities:
 - Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot
 - Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Lot Homes) above ground level must not be less than 15sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.
- Fencing
 - Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc.).



PLANS AND DOCUMENTS
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CLIENT

SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
OF LOT 179 ON SP143798,
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LOCAL AUTHORITY

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NOTES

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3	69	1000m	-	-	5.1371a
4	25	815m	2.992ha	-	5.5441a
FUTURE	4	60m	-	2.8481a	3.6811a
TOTAL	280	4390m	4.2241ha	3.3481a	48.01a

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SCALE 1:2000 @ A3



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BSI 9001:2008
FS 535853

Legend:			
	Site Boundary		
	Stage Boundary		
	Built to Boundary Wall (Non Mandatory)		
	Primary Frontage		
	Open Space		
	Footpath		
	Proposed Easement (6m Wide)		
LOT SIZES	NO. OF LOTS	RATIO	
250-319m ²	-	8%	
320-374m ²	2	44%	
375-449m ²	11		
450-599m ²	12	48%	
>600m ²	-	-	
Attached Housing	-	-	
Sales Centre & Cafe	-	-	

STAGE 4

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

PLAN NUMBER	SHEET 5 OF 6	REV
BRSS3649.000-133	Q	Q

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage	Villa Allotments(2) 320-374m ² 10-13m Frontage	Courtyard Allotments(1) 375-449m ² >12m Frontage	Courtyard Allotments(2) 450-599m ² >14m Frontage	Traditional Allotments ≥600m ² >17m Frontage
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m
Side - General Lots	0.0m	1.0m	0.0m	0.0m	n/a
Built to Boundary	0.9m	0.9m	1.0m	1.0m	n/a
Non Built to Boundary	1.5m	1.5m	1.5m	1.5m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	2.0m	2.0m	3.0m
LaneWAY Lots	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from LaneWAY Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m

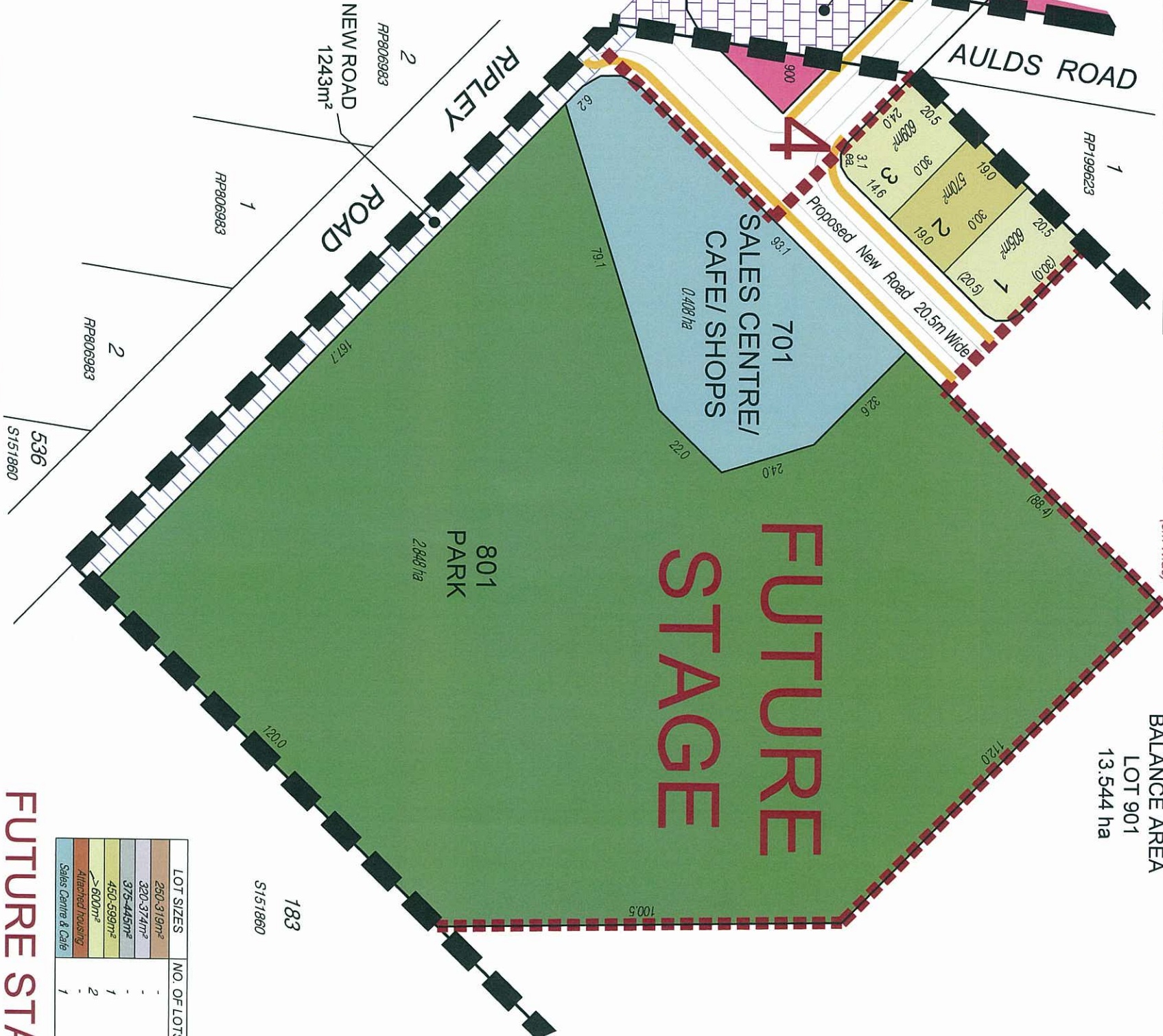
- Legend:**
- Site Boundary
 - Stage Boundary
 - Built to Boundary Wall (Non Mandatory)
 - Primary Frontage
 - Open Space
 - Footpath
 - Proposed Easement (6m Wide)

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
13 MAY 2013
MEDQ

BALANCE AREA
LOT 901
13.544 ha

PROPOSED
ROAD CLOSURE
SUBJECT TO UDA
GUIDELINES

- Notes -
General:
1. a. All development is to be undertaken generally in accordance with the Development Approval.
b. These notes contained within this Plan of Development apply also to the display home lots.
c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.
Orientation:
3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.
Setbacks
5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.
Parking:
10. Minimum off-street parking requirements
2 spaces per dwelling, which may be in tandem on driveway
11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m.
Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide. Double garages may be permitted on double story buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
12. Parking spaces on driveways do not have to comply with AS2890.
13. Garages and Carports served off a LaneWAY must be built with a minimum 1.0 metre Rear Setback.
Site Cover and Amenity:
14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.
Fencing
16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (treedges etc.).



LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	-	-
375-449m ²	1	25%
450-599m ²	2	50%
≥600m ²	-	-
Affected Housing	1	25%
Sales Centre & Cafe	1	25%

STAGE	No. OF LOTS	NEW ROAD	DRAINAGE	AREA OF PARK	TOTAL AREA
1	78	1630m	1.172ha	0.51ha	9.063ha
2	74	885m	0.0601ha	-	5.021ha
3	69	1000m	-	-	5.157ha
4	25	815m	2.9921ha	-	5.544ha
FUTURE	4	60m	-	2.848ha	3.681ha
TOTAL	250	4390m	4.2241ha	3.348ha	48.01ha

SCALE BAR
0 5 10 20 30 50 80m
SCALE 1:1250 @ A3



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ISO 9001:2008
FS 535063

LEVEL DATUM N/A

LEVEL ORIGIN N/A

CONTOUR INTERVAL N/A

COMPUTER FILE 364900JM

DRAWN LFB DATE 05/04/2013

CHECKED PJH/SRS DATE 05/04/2013

APPROVED - DATE -

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REV Q