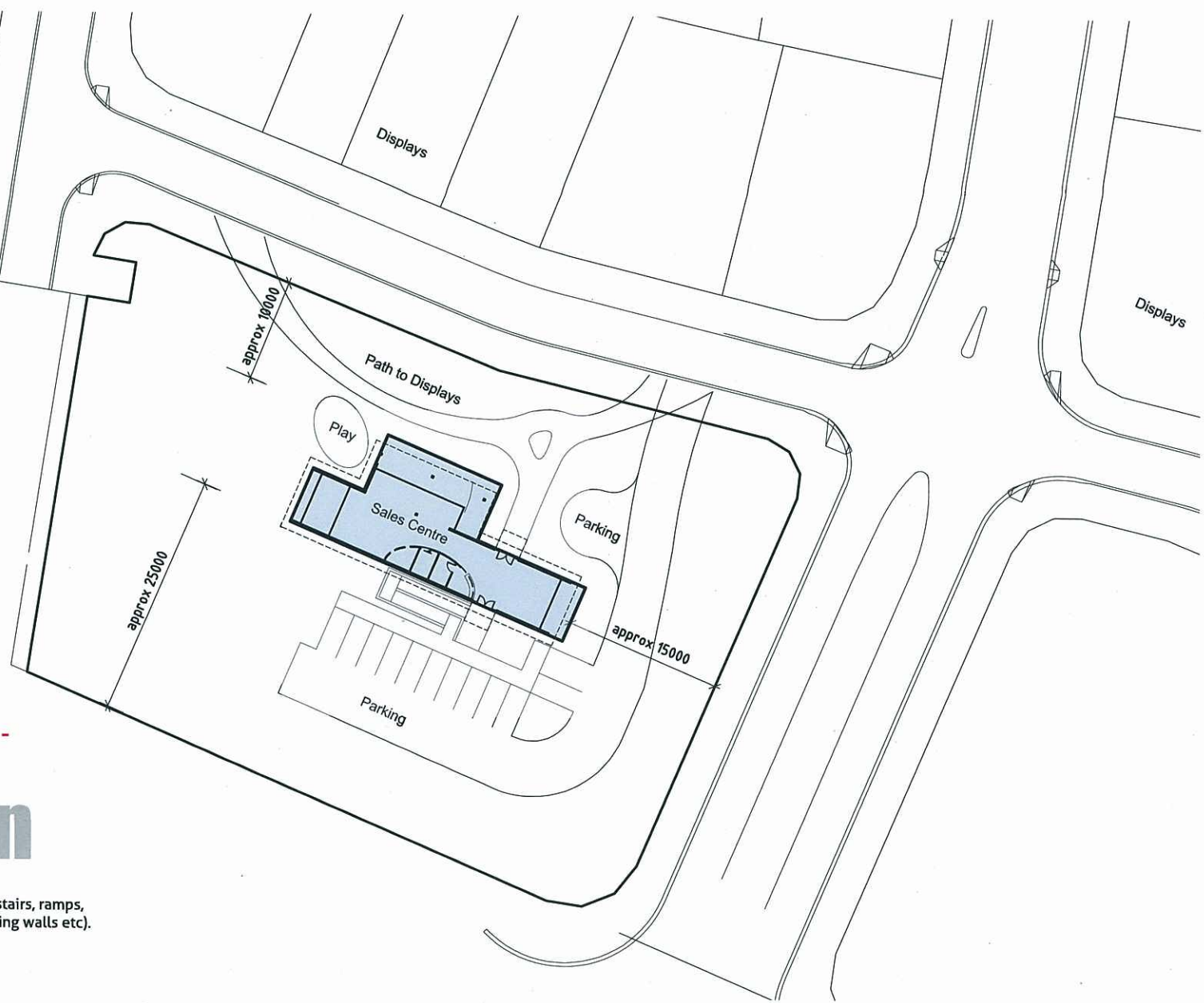


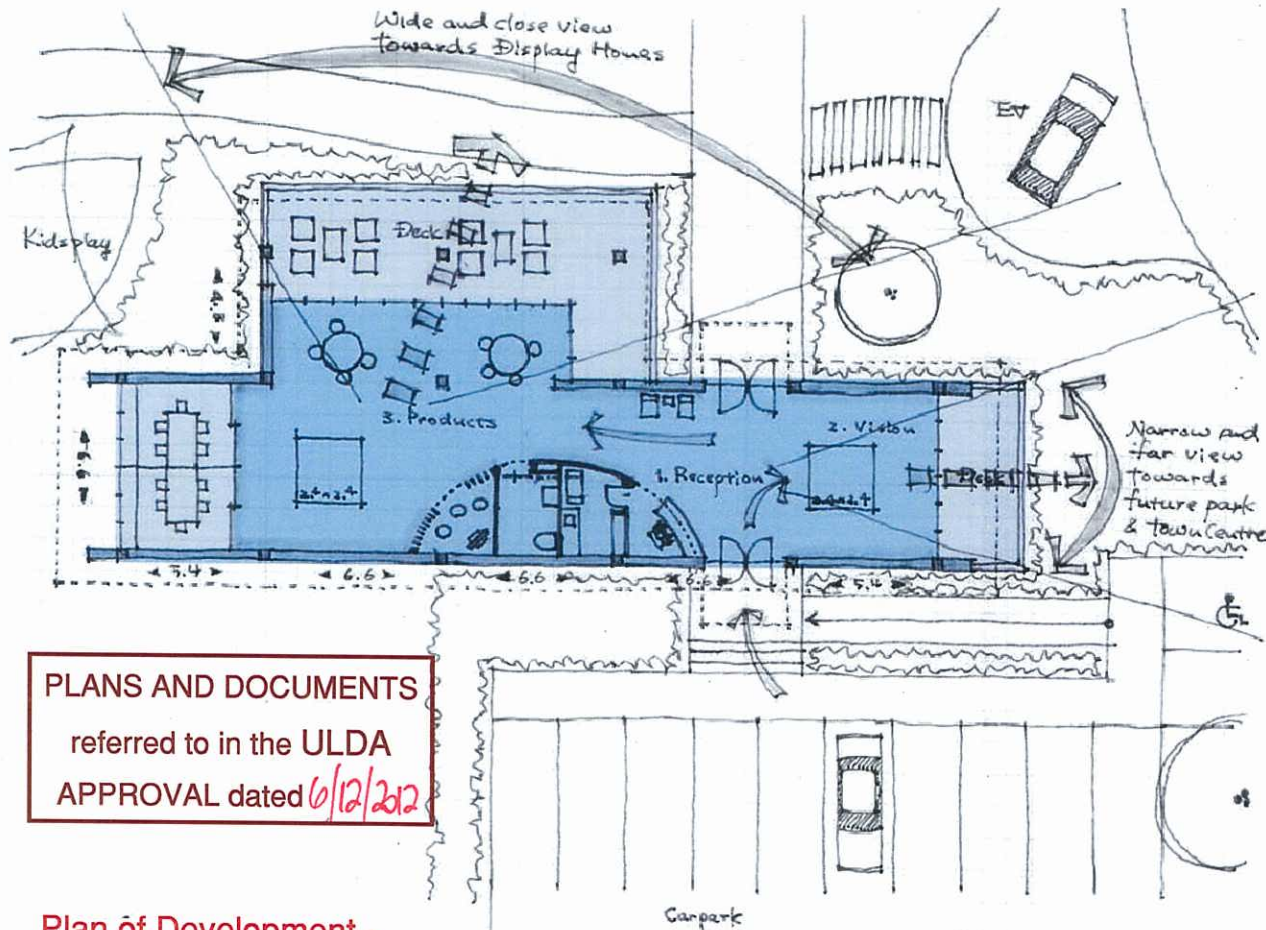
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 6/12/2012

AMENDED IN RED
By: A MARILL (name)
of the ULDA



Plan of Development -
site plan

NOTE:
Approximate Setbacks do not include stairs, ramps,
parking or landscape elements (including walls etc).



Plan of Development -

plan

AMENDED IN RED

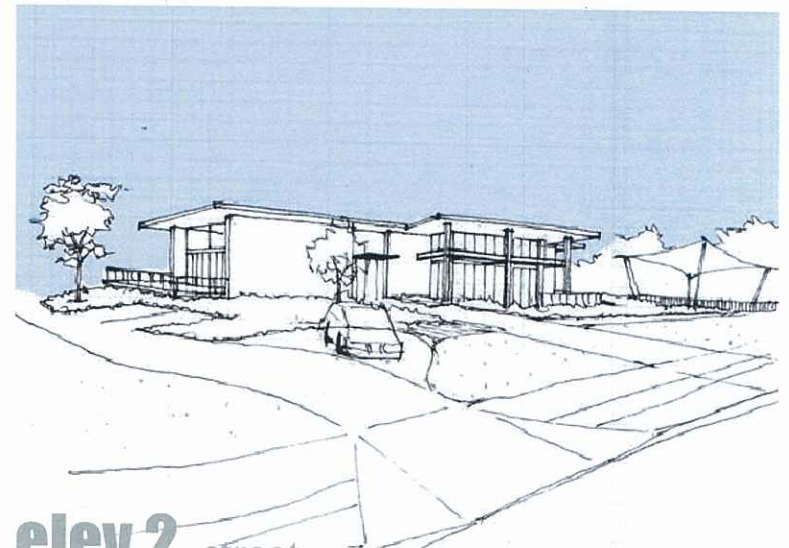
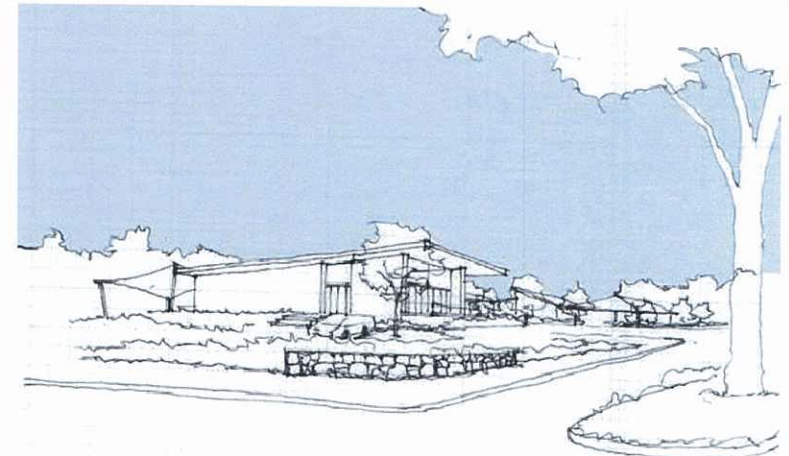
By: A. HAVILL (name)
of the ULDA

Ripley - Area 1 Sales Display

SHA201-SK2. 28.11.2012. Drawing not to scale

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elev 1 entry



elev 2 street

 **SEKISUI HOUSE**

DC8
STUDIO

p. 07 3252 1188

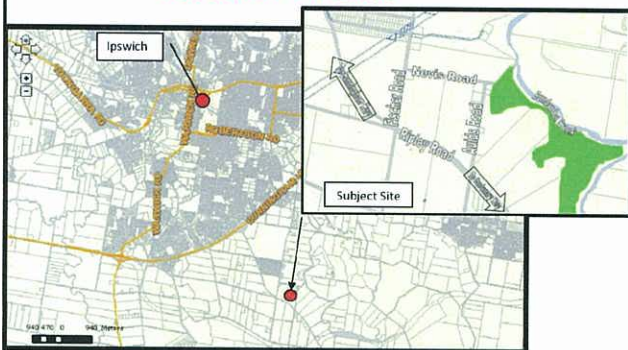
a. 5a morse street
newstead
queensland 4006
australia

w. www.dc8studio.com
e. info@dc8studio.com





LOCALITY PLAN



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	1	-
320-374m ²	37	15%
375-445m ²	51	20%
450-599m ²	119	46%
>600m ²	36	14%
Attached housing	12	5%
Sales Centre & Cafe	1	-

SITE PLAN

CLIENT	
SEKISUI HOUSE	
PROJECT	
PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860	
LOCAL AUTHORITY	
URBAN LAND DEVELOPMENT AUTHORITY	
NOTES	
(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.	
(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.	
(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.	
(iv) This plan may not be copied unless these notes are included.	
STAGE	No. OF LOTS
NEW ROAD	AREA OF PARK
TOTAL	TOTAL AREA
257	4470m
3.347ha	34.456ha
SCALE BAR	
80m	0 120 240m
SCALE 1:5000 @ A3	
	
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(07) 3842 1000 (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au	
ISO 9001:2008 FS 535053	
LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	0.5m
COMPUTER FILE	364900IW
DRAWN	MEA
DATE	29/11/2012
CHECKED	LFB
DATE	29/11/2012
APPROVED	SRS
DATE	30/11/2012
PLAN NUMBER	SHEET 1 OF 9
BRSS3649.000-146	REV H

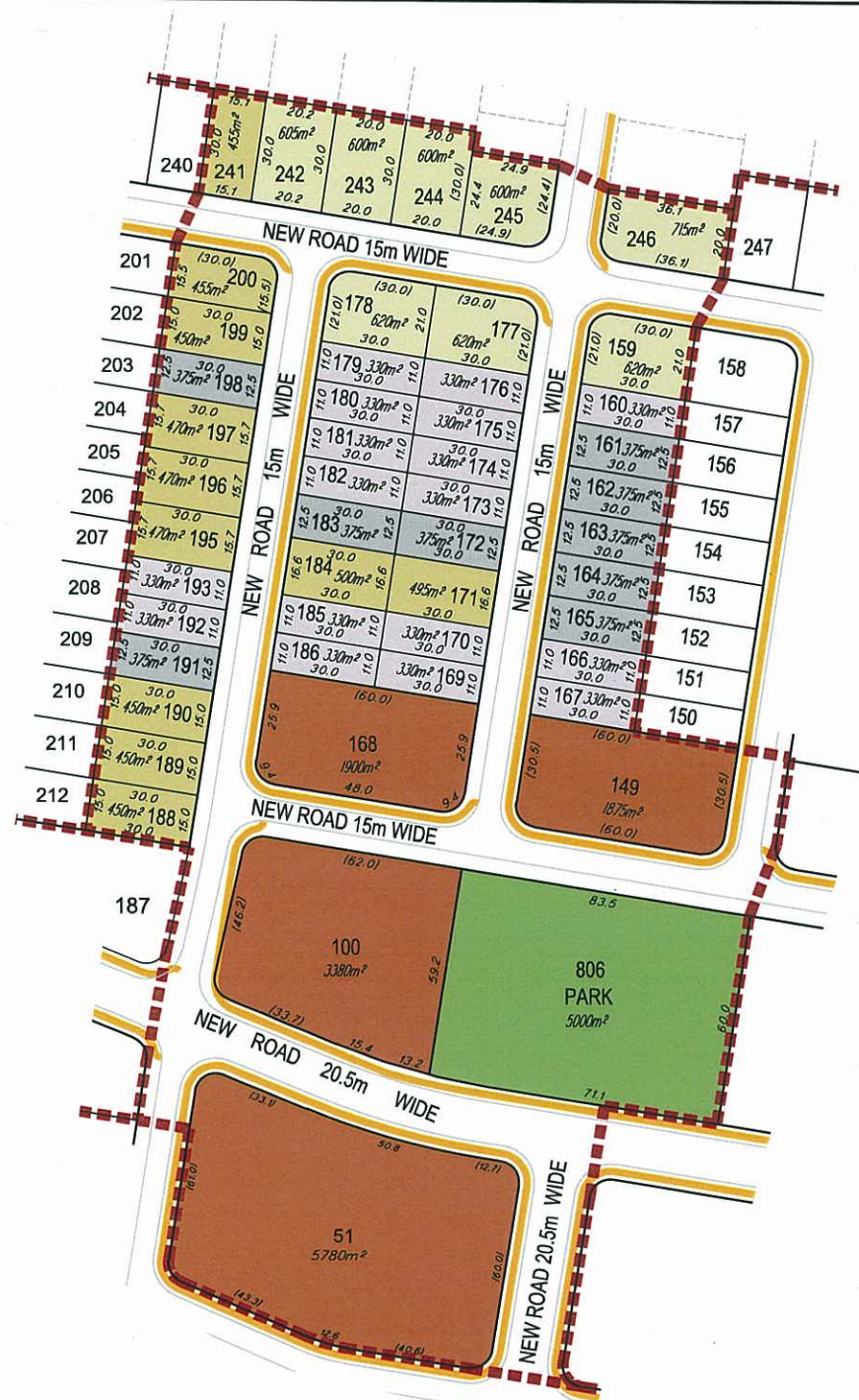


LOT SIZES	NO. OF LOTS	RATIO
250-319m²	1	3%
320-374m²	2	7%
375-445m²	6	19%
450-599m²	16	52%
≥600m²	6	19%
Attached housing	-	-
Sales Centre & Cafe	-	-

STAGE 1

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

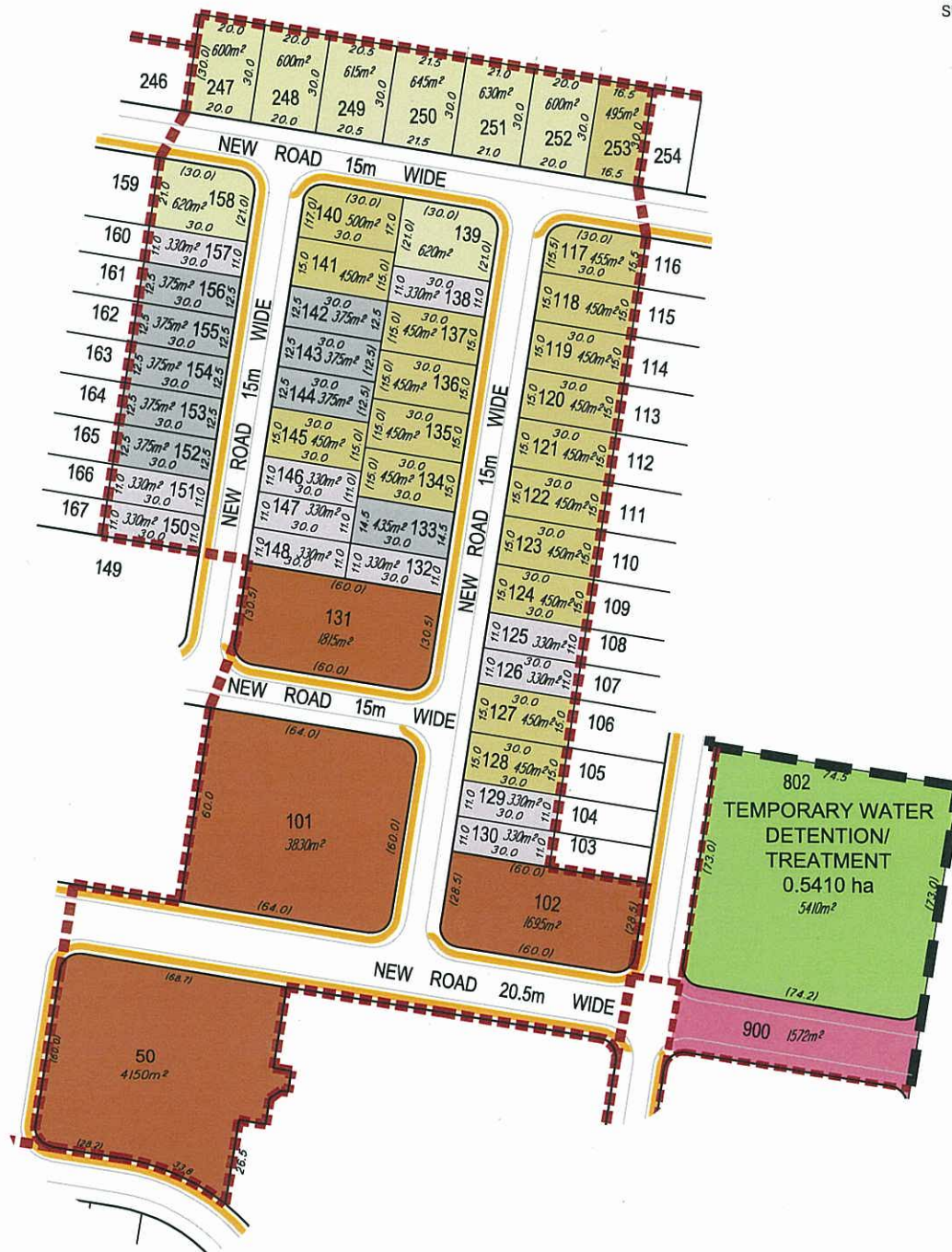
CLIENT SEKISUI HOUSE				
PROJECT PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
1	31	840m	-	4.672ha
TOTAL 257 4470m 3.347ha 34.456ha				
SCALE BAR 0m 20 60 100m SCALE 1:1500 @ A3				
 LANDPARTNERS built environment consultants				
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LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		0.5m		
COMPUTER FILE		364900IW		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 2 OF 9		REV
BRSS3649.000-146				H



LOT SIZES	NO. OF LOTS	RAT
250-319m ²	—	—
320-374m ²	17	35%
375-445m ²	9	18%
450-599m ²	11	23%
>600m ²	8	16%
Attached housing	4	8%
Sales Centre & Cafe	—	—

STAGE 2

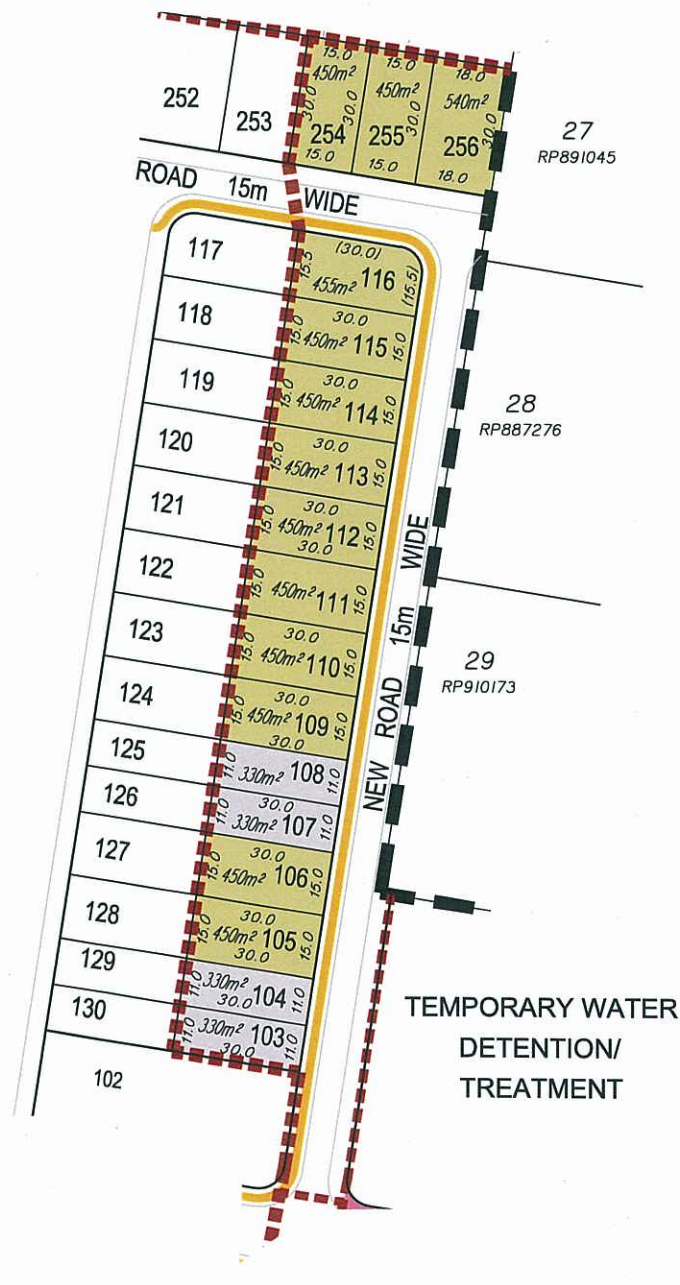
CLIENT SEKISUI HOUSE				
PROJECT PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
2	49	915m	0.5ha	5.191ha
TOTAL	257	4470m	3.347ha	34.456ha
SCALE BAR 0m 20 60 100m				
SCALE 1:1500 @ A3				
LANDPARTNERS built environment consultants				
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LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		0.5m		
COMPUTER FILE		364900IW		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 3 OF 9		REV
BRSS3649.000-146				H



LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	—	—
320-374m ²	12	23%
375-445m ²	9	18%
450-599m ²	18	35%
>600m ²	8	16%
Attached housing	4	8%
Sales Centre & Cafe	—	—

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

CLIENT SEKISUI HOUSE				
PROJECT PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
3	51	720m	-	4.387ha
TOTAL	257	4470m	3.347ha	34.456ha
SCALE BAR 0m 20 60 100m  SCALE 1:1500 @ A3				
 LANDPARTNERS built environment consultants				
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3918 South Brisbane BC QLD 4101 (t) 07 3842 1000 (f) 07 3842 1001 e info@landpartners.com.au w www.landpartners.com.au  ISO 9001:2008 FS 330063				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		0.5m		
COMPUTER FILE		364900IW		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 4 OF 9		REV
BRSS3649.000-146				H

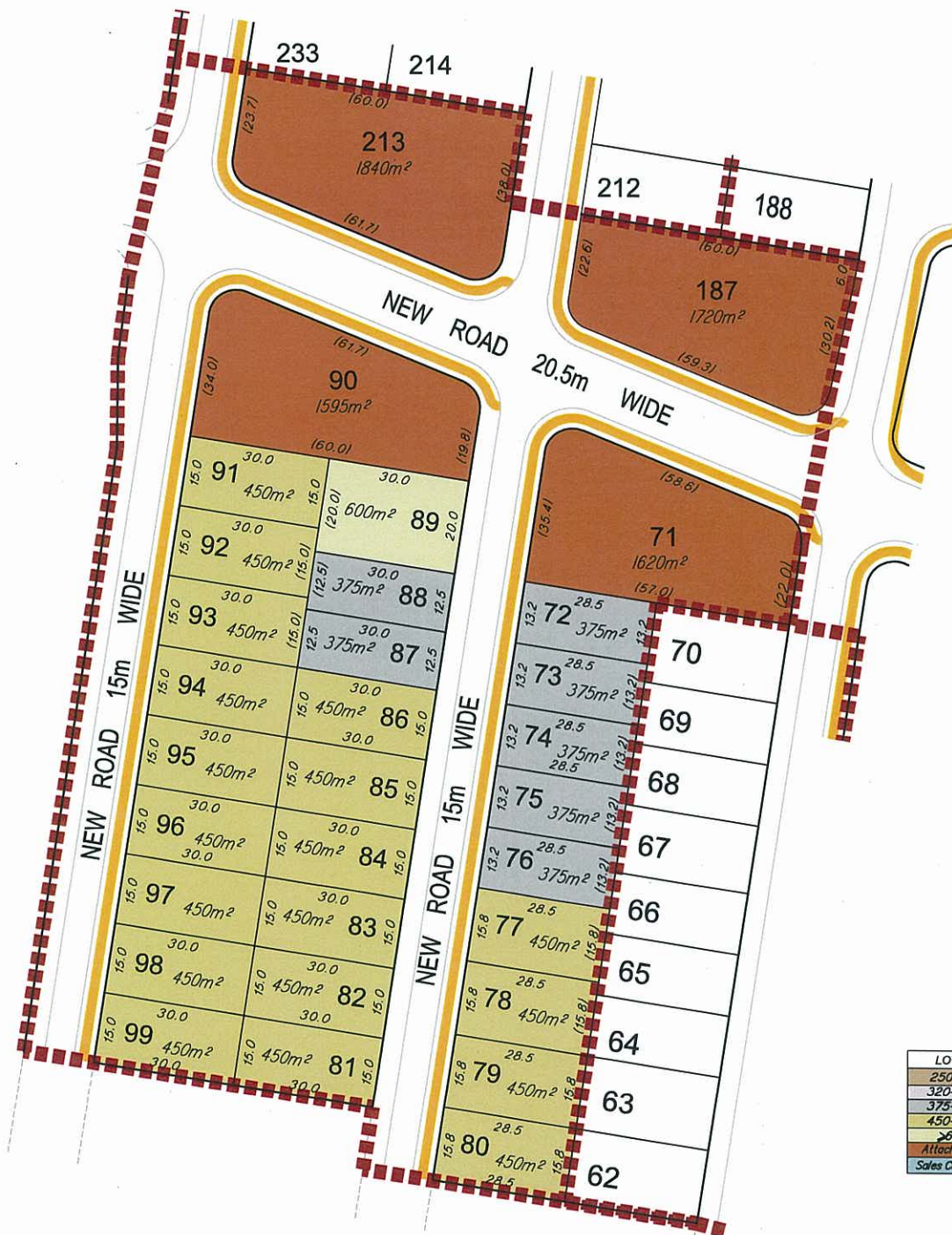


LOT SIZES	NO. OF LOTS	RATIO
250-319m²	-	-
320-374m²	4	24%
375-445m²	-	-
450-599m²	13	76%
>600m²	-	-
Attached housing	-	-
Sales Centre & Cafe	-	-

STAGE 4

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

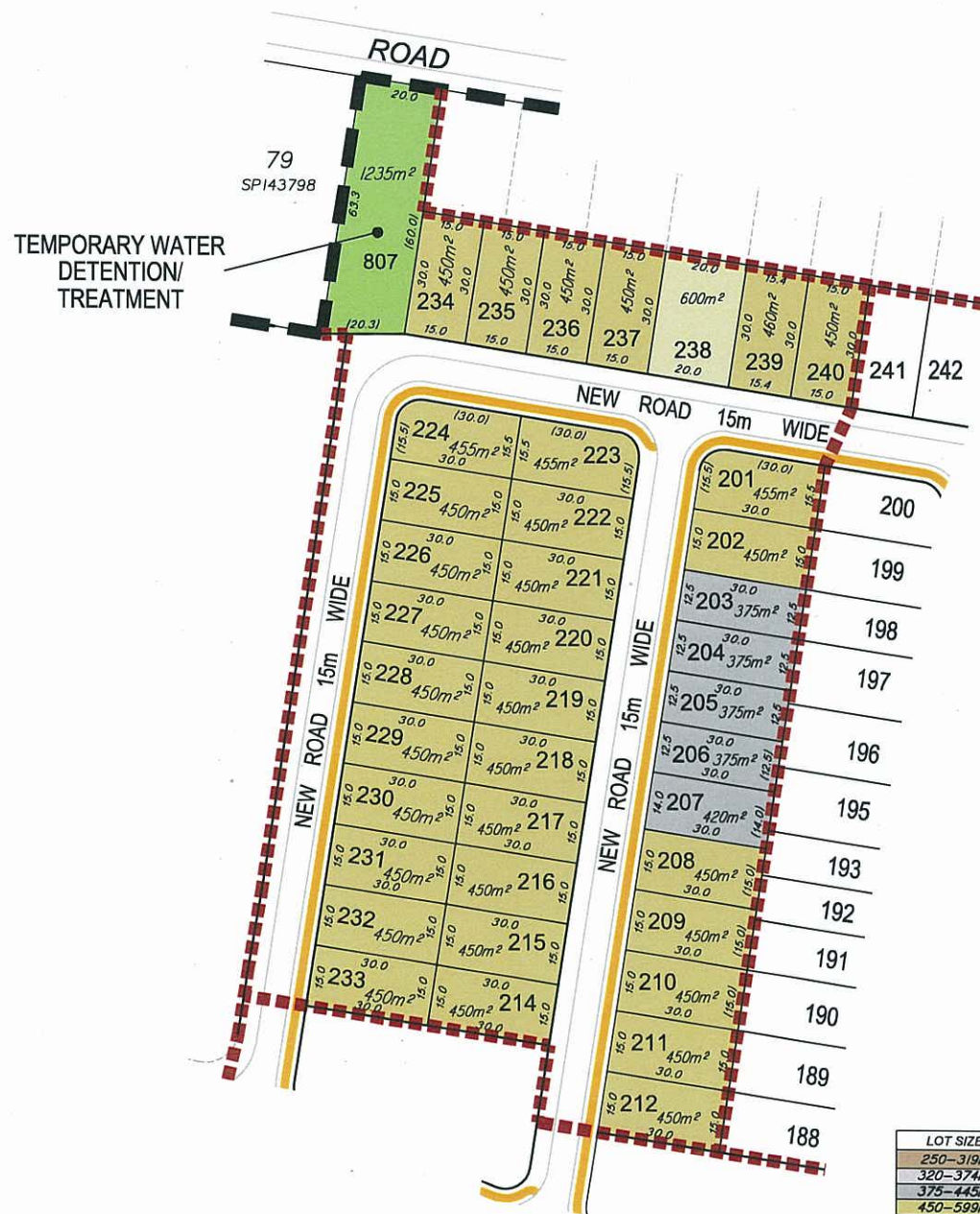
CLIENT			
SEKISUI HOUSE			
PROJECT			
PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860			
LOCAL AUTHORITY			
URBAN LAND DEVELOPMENT AUTHORITY			
NOTES			
(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.			
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(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.			
(iv) This plan may not be copied unless these notes are included.			
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK
4	17	265m	-
TOTAL	257	4470m	3.347ha
			34.456ha
SCALE BAR			
0 5 10 20 30 50 80m			
SCALE 1:1250 @ A3			
 LANDPARTNERS built environment consultants			
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ISO 9001:2008 FS 535083			
LEVEL DATUM		N/A	
LEVEL ORIGIN		N/A	
CONTOUR INTERVAL		0.5m	
COMPUTER FILE		364900IW	
DRAWN	MEA	DATE	29/11/2012
CHECKED	LFB	DATE	29/11/2012
APPROVED	SRS	DATE	30/11/2012
PLAN NUMBER		SHEET 5 OF 9	
BRSS3649.000-146		REV H	



LOT SIZES	NO. OF LOTS	RAT
250-319m ²	-	-
320-374m ²	-	-
375-445m ²	7	23.
450-599m ²	19	61.
≥600m ²	1	3.
Attached housing	4	13.
Sales Centre & Cafe	-	-

STAGE 5

CLIENT SEKISUI HOUSE				
PROJECT PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited assumes no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii),(iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless those notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
5	31	535m	-	2.764ha
			(incl 0.052ha Road Reserve)	
TOTAL	257	4470m	3.347ha	34.456ha
SCALE BAR				
				
SCALE 1:1000 @ A3				
 LANDPARTNERS built environment consultants				
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 (07) 3842 1000 (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au 				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		0.5m		
COMPUTER FILE		364900IW		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 6 OF 9		REV
BRSS3649.000-146				H

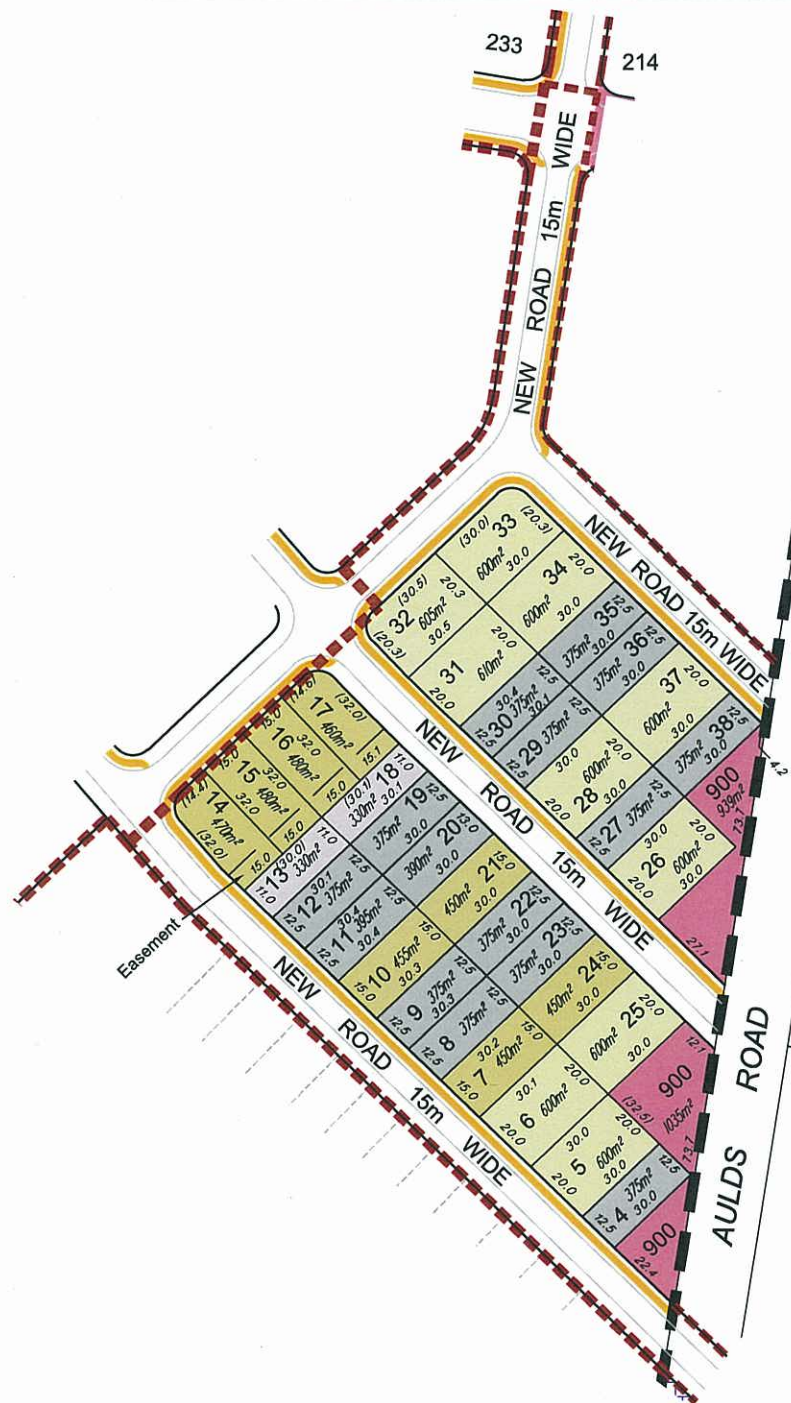


LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	-	-
375-445m ²	5	13%
450-599m ²	33	85%
>600m ²	1	2%
Attached housing	-	-
Sales Centre & Cafe	-	-

STAGE 6

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

CLIENT				
SEKISUI HOUSE				
PROJECT PROPOSED RECONFIGURATION OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
6	39	435m	-	2.528ha
TOTAL 257 4470m 3.347ha 34.456ha				
SCALE BAR 0 5 10 20 30 50 80m				
SCALE 1:1250 @ A3				
 LANDPARTNERS built environment consultants				
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LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		0.5m		
COMPUTER FILE		364900IW		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 7 OF 9		REV
BRSS3649.000-146				H



NOTE:
BALANCE LOT 900 TO BE FURTHER SUBDIVIDED
SUBJECT TO FUTURE ROAD CLOSURE OF AULDS ROAD

SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY
URBAN LAND DEVELOPMENT AUTHORITY

NOTES
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SEKISUI HOUSE to accompany an application to URBAN LAND
DEVELOPMENT AUTHORITY for approval to reconfigure the land
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suffered howsoever arising to any person or corporation who may use
or rely on this plan in contravention of the terms of this clause or
clauses (ii), (iii) or (iv) hereof.
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this application. The accuracy of the contours has not been verified and
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other than the purpose of this application for reconfiguration.
(iii) The dimensions, areas, number of lots, size and location of
improvements & flood information (if shown) are approximate only and
may vary.
(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
7	35	700m	-	2.9ha
TOTAL	257	4470m	3.347ha	34.456ha

SCALE BAR
0m 20 60 100m

SCALE 1:1500 @ A3



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ISO 9001:2008
FS 530051

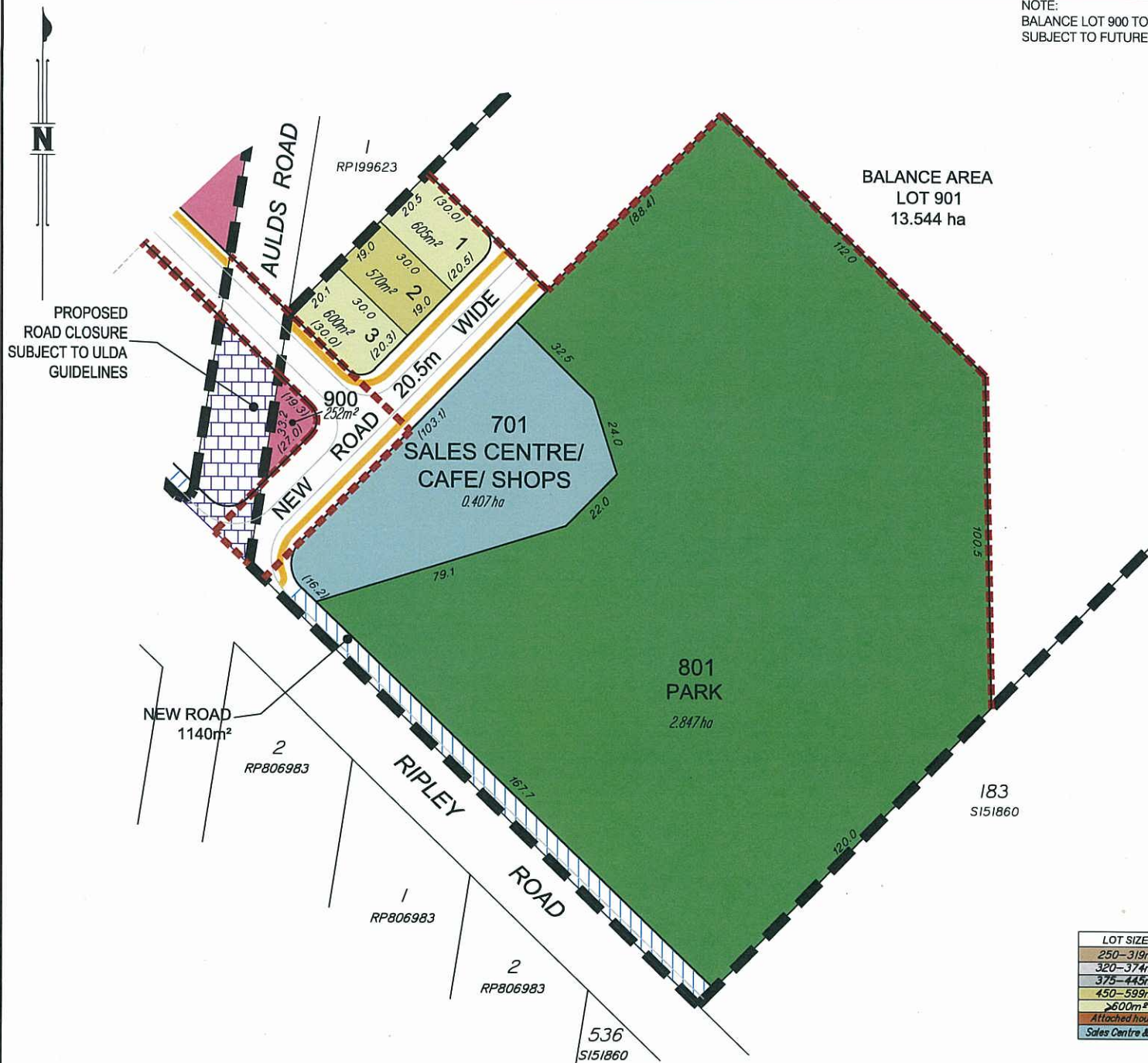
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CONTOUR INTERVAL	0.5m
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DRAWN	MEA
CHECKED	LFB
APPROVED	SRS
DATE	29/11/2012
DATE	29/11/2012
DATE	30/11/2012

PLAN NUMBER
BRSS3649.000-146

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	2	6%
375-445m ²	15	43%
450-599m ²	8	23%
>600m ²	10	28%
Attached housing	-	-
Sales Centre & Cafe	-	-

STAGE 7



NOTE:
BALANCE LOT 900 TO BE FURTHER SUBDIVIDED
SUBJECT TO FUTURE ROAD CLOSURE OF AULDS ROAD

SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY
URBAN LAND DEVELOPMENT AUTHORITY

NOTES
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(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
FUTURE	4	60m	2.847ha	3.677ha
TOTAL	257	4470m	3.347ha	34.456ha

SCALE BAR



SCALE 1:1250 @ A3



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www.landpartners.com.au
ISO 9001:2008
FS 530061

LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	0.5m
COMPUTER FILE	364900IW
DRAWN	MEA
DATE	29/11/2012
CHECKED	LFB
DATE	29/11/2012
APPROVED	SRS
DATE	30/11/2012

PLAN NUMBER
BRSS3649.000-146

SHEET 9 OF 9
REV
H

FUTURE STAGE

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-445m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments >600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots										
Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Build to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from Laneway Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Display
Home Lots

Notes -

General:

- a. All development is to be undertaken generally in accordance with the Development Approval.
- b. These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
- c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.

2. The maximum height of building shall not exceed 9m.

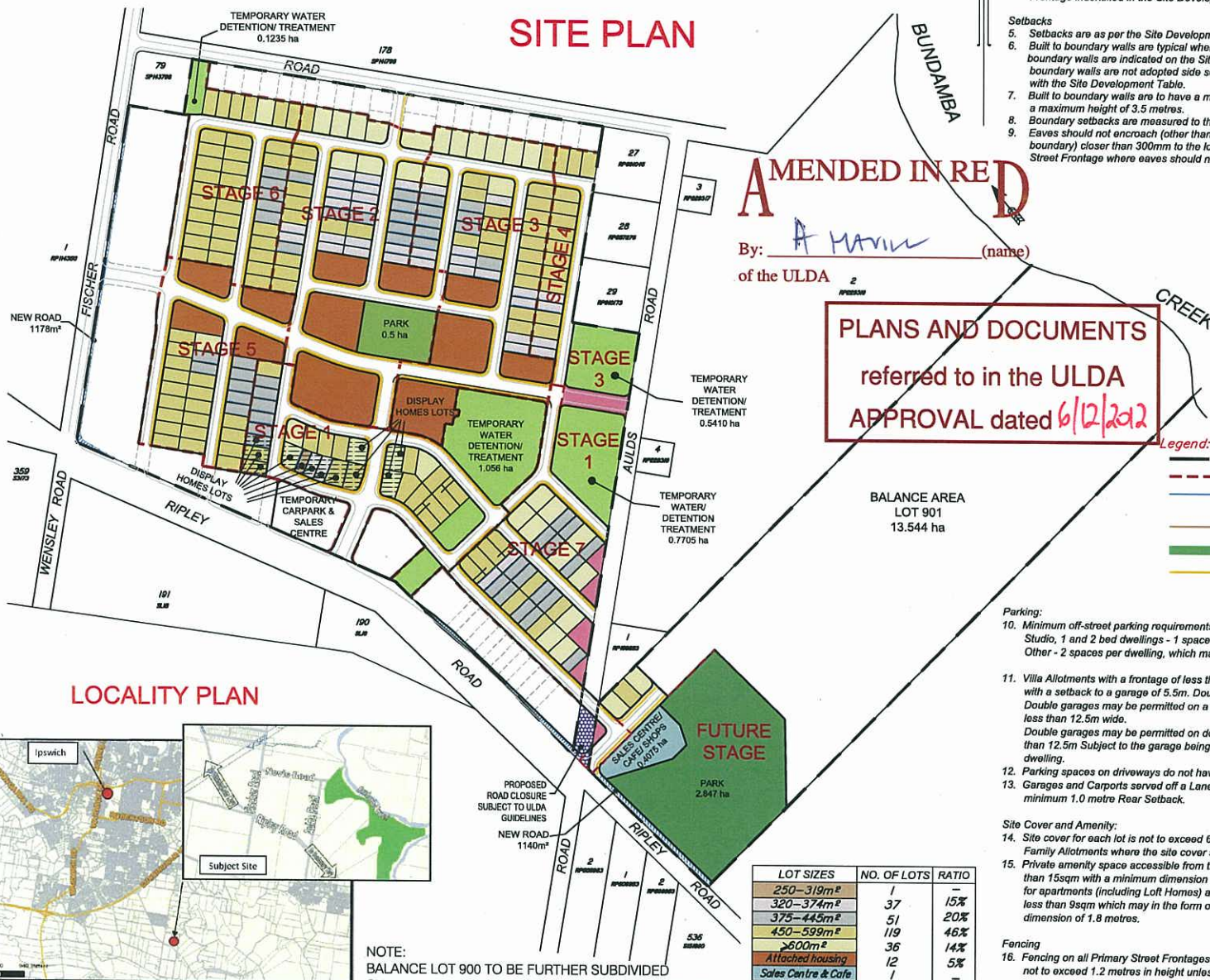
Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where buildings are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

SITE PLAN



AMENDED IN RED
By: A. MARIN (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 6/12/2012

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath

Parking:

10. Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
Double garages may be permitted on double storey buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
12. Parking spaces on driveways do not have to comply with AS2890.
13. Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

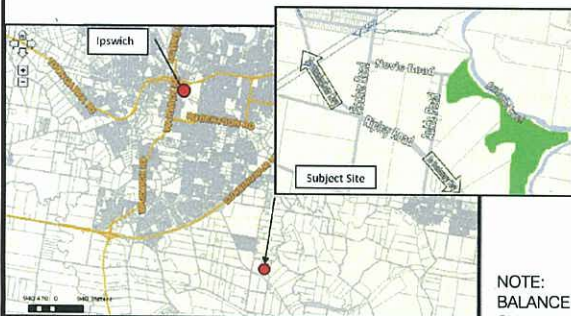
14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc.).

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	1	15%
320-374m ²	37	20%
375-445m ²	51	46%
450-599m ²	119	14%
>600m ²	36	5%
Attached housing	12	-
Sales Centre & Cafe	1	-

LOCALITY PLAN



NOTE:
BALANCE LOT 900 TO BE FURTHER SUBDIVIDED
SUBJECT TO FUTURE ROAD CLOSURE OF AULDS ROAD
NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

CLIENT SEKISUI HOUSE	
PROJECT PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860	
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY	
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.	
STAGE	No. OF LOTS
NEW ROAD	AREA OF PARK
TOTAL AREA	
TOTAL	257
NEW ROAD	4470m
AREA OF PARK	3.347ha
TOTAL AREA	34.456ha
SCALE BAR 80m 0 120 240m SCALE 1:5000 @ A3	
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 (07) 3842 1000 (07) 3842 1001 info@landpartners.com.au www.landpartners.com.au	
LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900IV
DRAWN	MEA
DATE	29/11/2012
CHECKED	LFB
DATE	29/11/2012
APPROVED	SRS
DATE	30/11/2012
PLAN NUMBER	SHEET 1 OF 9
BRSS3649.000-133	REV N

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots										
Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Build to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from Laneway Bay)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Notes -

General:

- All development is to be undertaken generally in accordance with the Development Approval.
- These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
- The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.

- The maximum height of building shall not exceed 9m.

Orientation:

- Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

Parking:

- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
- Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
- Double garages may be permitted on double storey buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.

CLIENT SEKISUI HOUSE				
PROJECT PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered however arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
1	31	840m	-	4.672ha
TOTAL 257 4470m 3.347ha 34.456ha				
SCALE BAR 0m 20 60 100m SCALE 1:1500 @ A3				
 LANDPARTNERS built environment consultants Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 1 (07) 3842 1000 1 (07) 3842 1001 info@landpartners.com.au www.landpartners.com.au ISO 9001:2008 FS 530603				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		N/A		
COMPUTER FILE		364900IV		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 2 OF 9		REV
BRSS3649.000-133				N



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

STAGE 1

Notes -

General:

1. a. All development is to be undertaken generally in accordance with the Development Approval.
- b. These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
- c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

Parking:

10. Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
Double garages may be permitted on double storey buildings with frontages less than 12.5m. Subject to the garage being setback 1.5m behind the face of the main dwelling.
12. Parking spaces on driveways do not have to comply with AS2890.
13. Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm, which may in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (mangos etc).

PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 6/12/2012

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	17	18%
375-445m ²	9	23%
450-599m ²	11	16%
>600m ²	8	8%
Attached housing	4	-
Sales Centre & Cafe	-	-

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments >600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Build to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Non Build to Boundary	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Corner Lots - Secondary Frontage	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Laneway Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from Laneway Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

STAGE 2

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath

CLIENT

SEKISUI HOUSE

PROJECT

PLAN OF DEVELOPMENT
OF LOT 179 ON SP143798,
LOT 180 ON RP910173,
& LOT 182 ON S151860

LOCAL AUTHORITY

URBAN LAND DEVELOPMENT AUTHORITY

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
2	49	915m	0.5ha	5.191ha
TOTAL	257	4470m	3.347ha	34.456ha

SCALE BAR



SCALE 1:1500 @ A3



Brisbane Office
13 Railway Terrace
Milton QLD 4064
PO Box 9916
South Brisbane BC QLD 4101

(07) 3842 1000
(07) 3842 1001
e info@landpartners.com.au
www.landpartners.com.au



LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900IV
DRAWN	MEA
CHECKED	LFB
APPROVED	SRS
PLAN NUMBER	SHEET 3 OF 9
BRSS3649.000-133	REV N

Notes -

General:

- All development is to be undertaken generally in accordance with the Development Approval.
 - These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
 - The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building shall not exceed 9m.

Orientation:

- Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

Parking:

- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway

PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 6/12/2022

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments >600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Built to Boundary	0.0m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Non Built to Boundary	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Center Lots - Secondary Frontage	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Laneway Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from Laneway Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

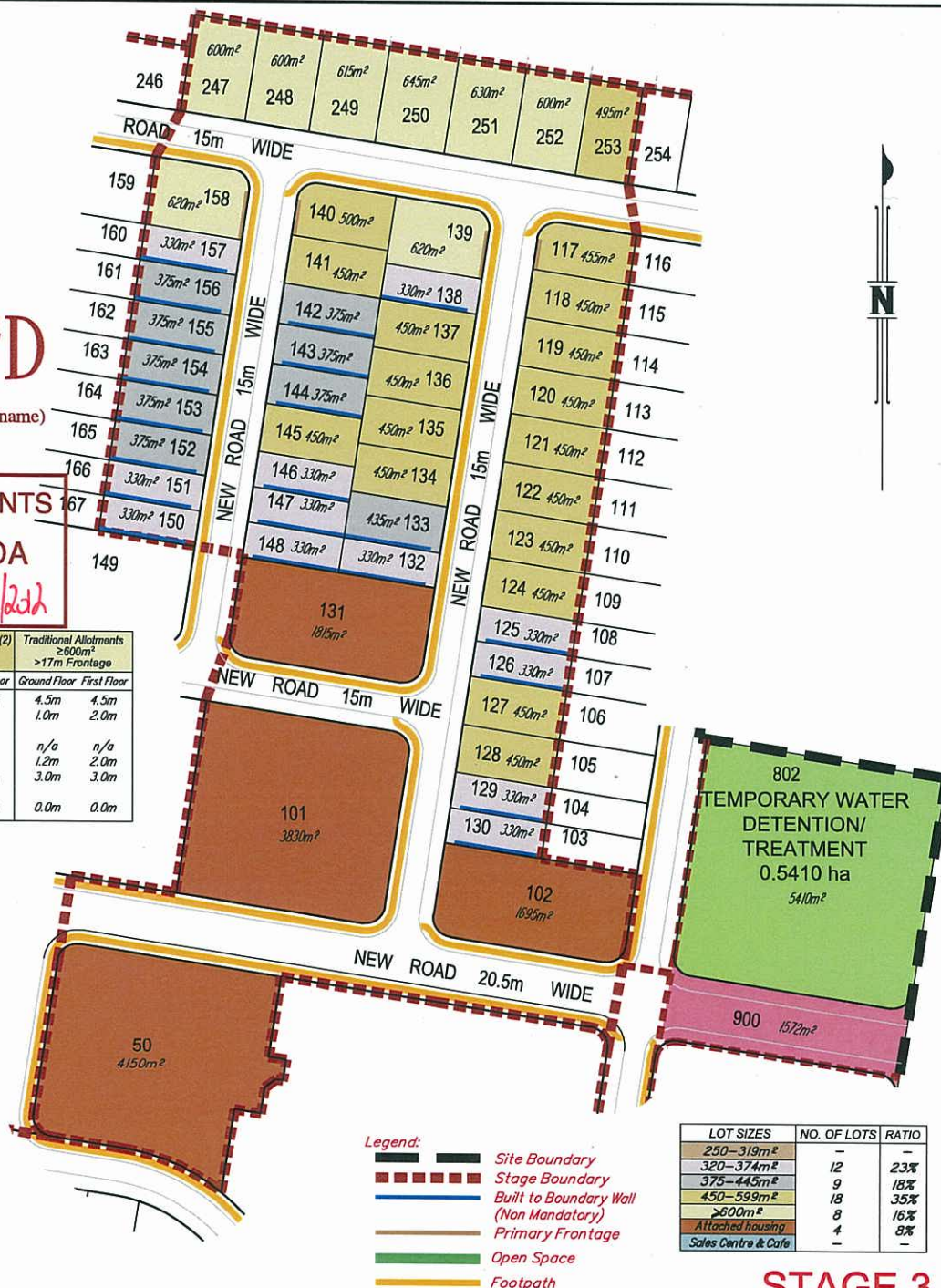
- Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide. Double garages may be permitted on double storey buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
- Parking spaces on driveways do not have to comply with AS2890.
- Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
- Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc).



STAGE 3

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

CLIENT SEKISUI HOUSE				
PROJECT PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
3	51	720m	-	4,387ha
TOTAL 257 4470m 3.347ha 34.456ha				
SCALE BAR 0m 20 60 100m SCALE 1:1500 @ A3				
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 (07) 3842 1000 (07) 3842 1001 info@landpartners.com.au www.landpartners.com.au ISO 9001:2008 FS 335063				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		N/A		
COMPUTER FILE		364900IV		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 4 OF 9		REV
BRSS3649.000-133				N



PLANS AND DOCUMENTS

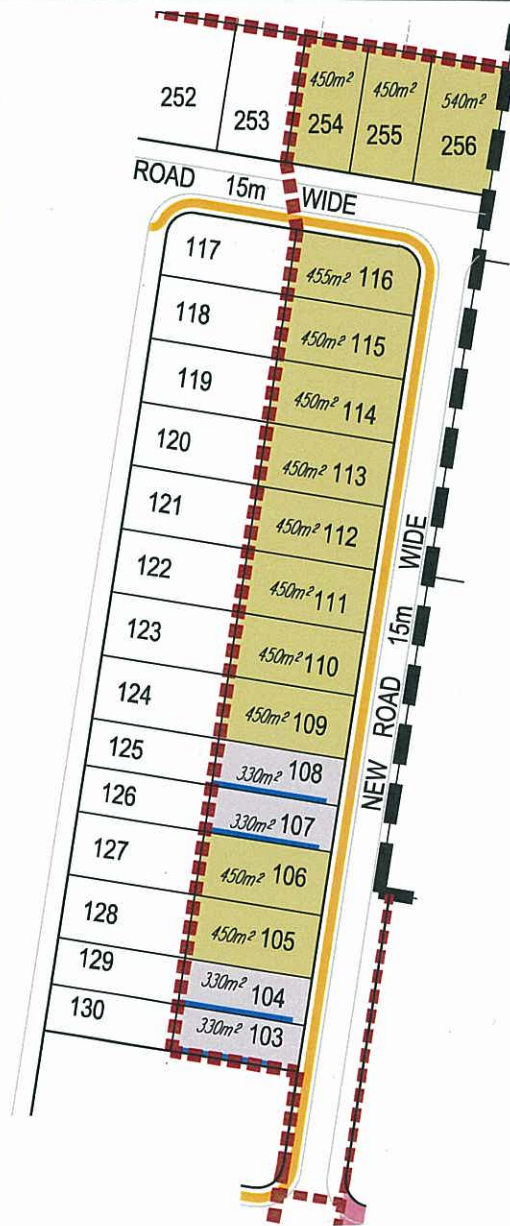
referred to in the ULDA
APPROVAL dated 6/2/2012

AMENDED IN RED

By: A. HAVILL (name)
of the ULDA

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath



SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m² 10-12m Frontage		Villa Allotments(2) 320-374m² 10-13m Frontage		Courtyard Allotments(1) 375-449m² >12m Frontage		Courtyard Allotments(2) 450-599m² >14m Frontage		Traditional Allotments ≥600m² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.2m	2.0m
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	3.0m	3.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m		
Lane-way Lots										
Rear of Lot (from Lane-way Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

Display Home Lots

Notes - General:

- a. All development is to be undertaken generally in accordance with the Development Approval.
- b. These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
- c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- e. The maximum height of building shall not exceed 9m.

Orientation:

1. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks:

2. Setbacks are as per the Site Development Table unless otherwise specified.
3. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Site Development Table.
4. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
5. Boundary setbacks are measured to the wall of the structure.
6. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

Parking:

7. Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
8. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
9. Double garages may be permitted on double storey buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
10. Parking spaces on driveways do not have to comply with AS2890.
11. Garages and Carports served off a Lane-way must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

12. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
13. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing:

14. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc).

LOT SIZES	NO. OF LOTS	RATIO
250-319m²	-	-
320-374m²	4	24%
375-449m²	-	-
450-599m²	13	76%
≥600m²	-	-
Attached housing	-	-
Sales Centre & Cafe	-	-

STAGE 4

CLIENT SEKISUI HOUSE				
PROJECT PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising from any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
4	17	265m	-	1.097ha
TOTAL 257 4470m 3.347ha 34.456ha				
SCALE BAR 0 5 10 20 30 50 80m SCALE 1:1250 @ A3				
 Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 (07) 3842 1000 (07) 3842 1001 info@landpartners.com.au www.landpartners.com.au ISO 9001:2008 FS 330063				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		N/A		
COMPUTER FILE		364900IV		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 5 OF 9		REV
BRSS3649.000-133				N

- Display Home Lots**
- Notes - General:
- All development is to be undertaken generally in accordance with the Development Approval.
 - These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
 - The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

- Setbacks
5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

- Parking:
10. Minimum off-street parking requirements
- Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
- Other - 2 spaces per dwelling, which may be in tandem on driveway

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath

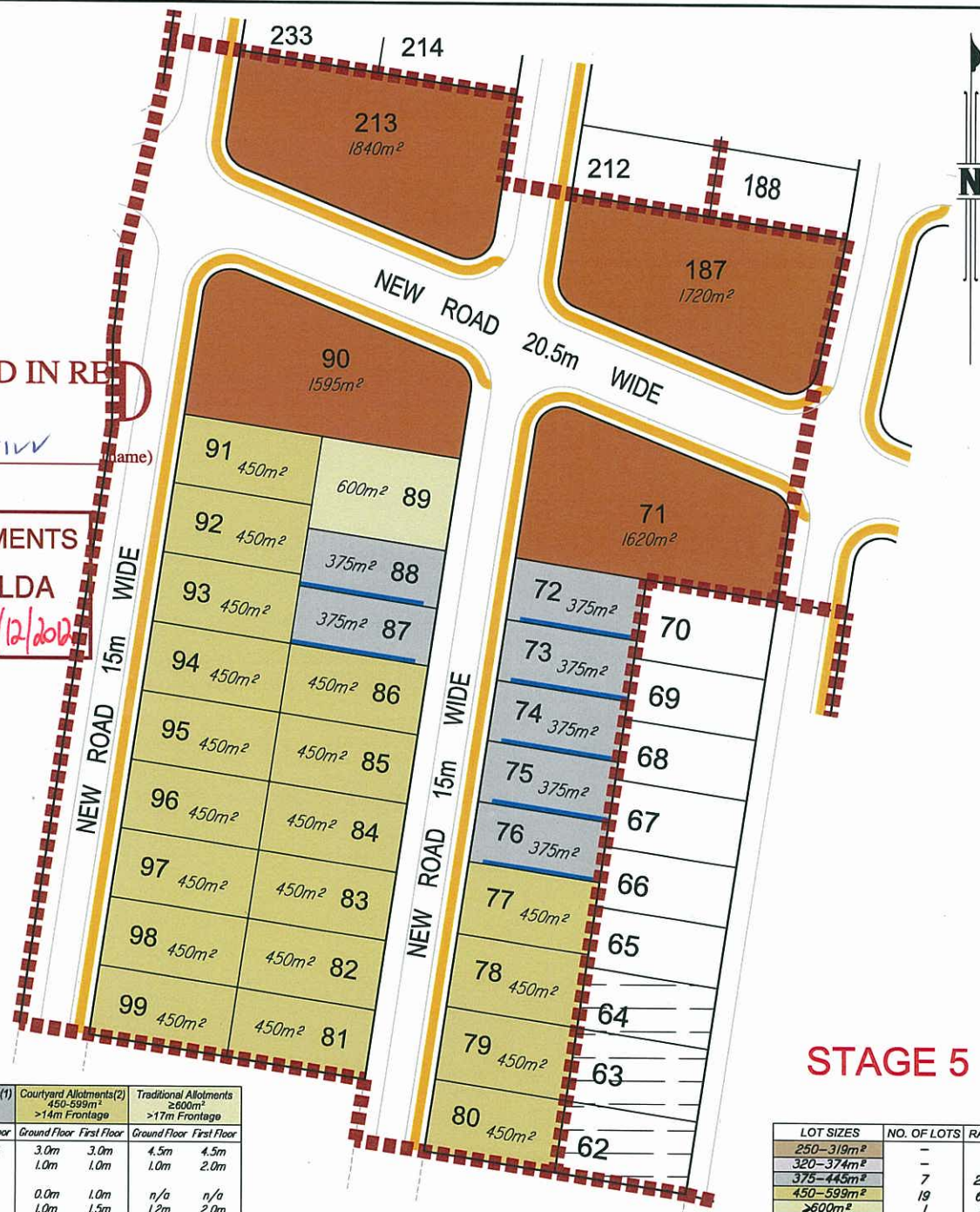
11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single story dwelling on a lot less than 12.5m wide. Double garages may be permitted on double story buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
12. Parking spaces on driveways do not have to comply with AS2890.
13. Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.
- Site Cover and Amenity:
14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc).

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	1.2m	2.0m
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	3.0m	3.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m		
Laneway Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m		
Rear of Lot (from Laneway Bay)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m		

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.



STAGE 5

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	-	-
375-449m ²	7	23%
450-599m ²	19	61%
≥600m ²	1	3%
Attached housing	4	13%
Sales Centre & Cafe	-	-

CLIENT	
SEKISUI HOUSE	
PROJECT	
PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860	
LOCAL AUTHORITY	
URBAN LAND DEVELOPMENT AUTHORITY	
NOTES	
(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.	
LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.	
(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.	
(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.	
(iv) This plan may not be copied unless these notes are included.	
STAGE	No. OF LOTS
5	31
NEW ROAD	AREA OF PARK
535m	-
TOTAL AREA	TOTAL AREA
	2.764ha
	(incl 0.052ha Road Reserve)
TOTAL	TOTAL
257	34.456ha
SCALE BAR	
10m 0 20 50m	
SCALE 1:1000 @ A3	
	
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t (07) 3842 1000 f (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au	
BSI ISO 9001:2008 FS 53003	
LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900IV
DRAWN	MEA
DATE	29/11/2012
CHECKED	LFB
DATE	29/11/2012
APPROVED	SRS
DATE	30/11/2012
PLAN NUMBER	SHEET 6 OF 9
BRSS3649.000-133	REV N



SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots										
Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Build to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from Laneway Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

TEMPORARY WATER
DETENTION/
TREATMENT

PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 6/12/2012

AMENDED IN RED

By: A. Havill (name)
of the ULDA

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	-	-
375-449m ²	5	13%
450-599m ²	33	85%
≥600m ²	1	2%
Attached housing	-	-
Sales Centre & Cafe	-	-

Display Home Lots

Notes - General:

- a. All development is to be undertaken generally in accordance with the Development Approval.
- b. These notes contained within the Plan of Development apply also to the associated Lot Reconfiguration.
- c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks

5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
7. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

Parking:

10. Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
11. Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
Double garages may be permitted on double story buildings with frontages less than 12.5m. Subject to the garage being setback 1.5m behind the face of the main dwelling.
12. Parking spaces on driveways do not have to comply with AS2890.
13. Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

14. Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
15. Private amenity space accessible from the ground floor must not be less than 15sq.m. with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sq.m. which may in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

16. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc).

CLIENT SEKISUI HOUSE				
PROJECT PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY				
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may rely on or rely in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
6	39	435m	-	2,528ha
TOTAL 257 4470m 3.347ha 34.456ha				
SCALE BAR 0 5 10 20 30 50 80m SCALE 1:1250 @ A3				
 LANDPARTNERS built environment consultants				
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 1 (07) 3842 1000 1 (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au ISO 9001:2008 FS 330063				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		N/A		
COMPUTER FILE		364900IV		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 7 OF 9		REV
BRSS3649.000-133				N

STAGE 6

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.



PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 6/12/2012

AMENDED IN RED

By: A. Havill (name)
of the ULDA

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots										
Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Build to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from Laneway Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

Notes - General:

- a. All development is to be undertaken generally in accordance with the Development Approval.
b. These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
c. The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
d. The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building shall not exceed 9m

Orientation:

- Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan

Setbacks

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres
- Boundary setbacks are measured to the wall of the structure
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm

Parking:

- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
- Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted
Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
Double garages may be permitted on double storey buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling
- Parking spaces on driveways do not have to comply with AS2890
- Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback

Site Cover and Amenity:

- Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot
- Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may in the form of a balcony with a minimum dimension of 1.8 metres

Fencing

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc).

Display Home Lots

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	—	—
320-374m ²	2	6%
375-449m ²	15	43%
450-599m ²	8	23%
>600m ²	10	28%
Attached housing	—	—
Sales Centre & Cafe	—	—

STAGE 7

CLIENT				
SEKISUI HOUSE				
PROJECT				
PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860				
LOCAL AUTHORITY				
URBAN LAND DEVELOPMENT AUTHORITY				
NOTES				
(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising from any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.				
(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.				
(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.				
(iv) This plan may not be copied unless these notes are included.				
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
7	35	700m	-	2.9ha
TOTAL				
257	4470m	3.347ha	34.456ha	
SCALE BAR				
0m 20 60 100m				
SCALE 1:1500 @ A3				
				
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101				
t (07) 3842 1000 f (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au				
ISO 9001:2008 FS 530003				
LEVEL DATUM		N/A		
LEVEL ORIGIN		N/A		
CONTOUR INTERVAL		N/A		
COMPUTER FILE		364900IV		
DRAWN	MEA	DATE	29/11/2012	
CHECKED	LFB	DATE	29/11/2012	
APPROVED	SRS	DATE	30/11/2012	
PLAN NUMBER		SHEET 8 OF 9		REV
BRSS3649.000-133				N

SITE DEVELOPMENT TABLE	Villa Allotments(1) 250-319m ² 10-12m Frontage		Villa Allotments(2) 320-374m ² 10-13m Frontage		Courtyard Allotments(1) 375-449m ² >12m Frontage		Courtyard Allotments(2) 450-599m ² >14m Frontage		Traditional Allotments ≥600m ² >17m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots										
Build to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Build to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from Laneway Bdy)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Legend:

- Site Boundary
- Stage Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Open Space
- Footpath

FUTURE STAGE

N

AMENDED IN RED

By: A. MARILL (name)
of the ULDA

Display Home Lots
PROPOSED ROAD CLOSURE
SUBJECT TO ULDA GUIDELINES

Notes -

General:

- All development is to be undertaken generally in accordance with the Development Approval.
 - These notes contained within this Plan of Development apply also to the associated Lot Reconfiguration.
 - The Sales Centre and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
2. The maximum height of building shall not exceed 9m.

Orientation:

- Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan.

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm.

Parking:

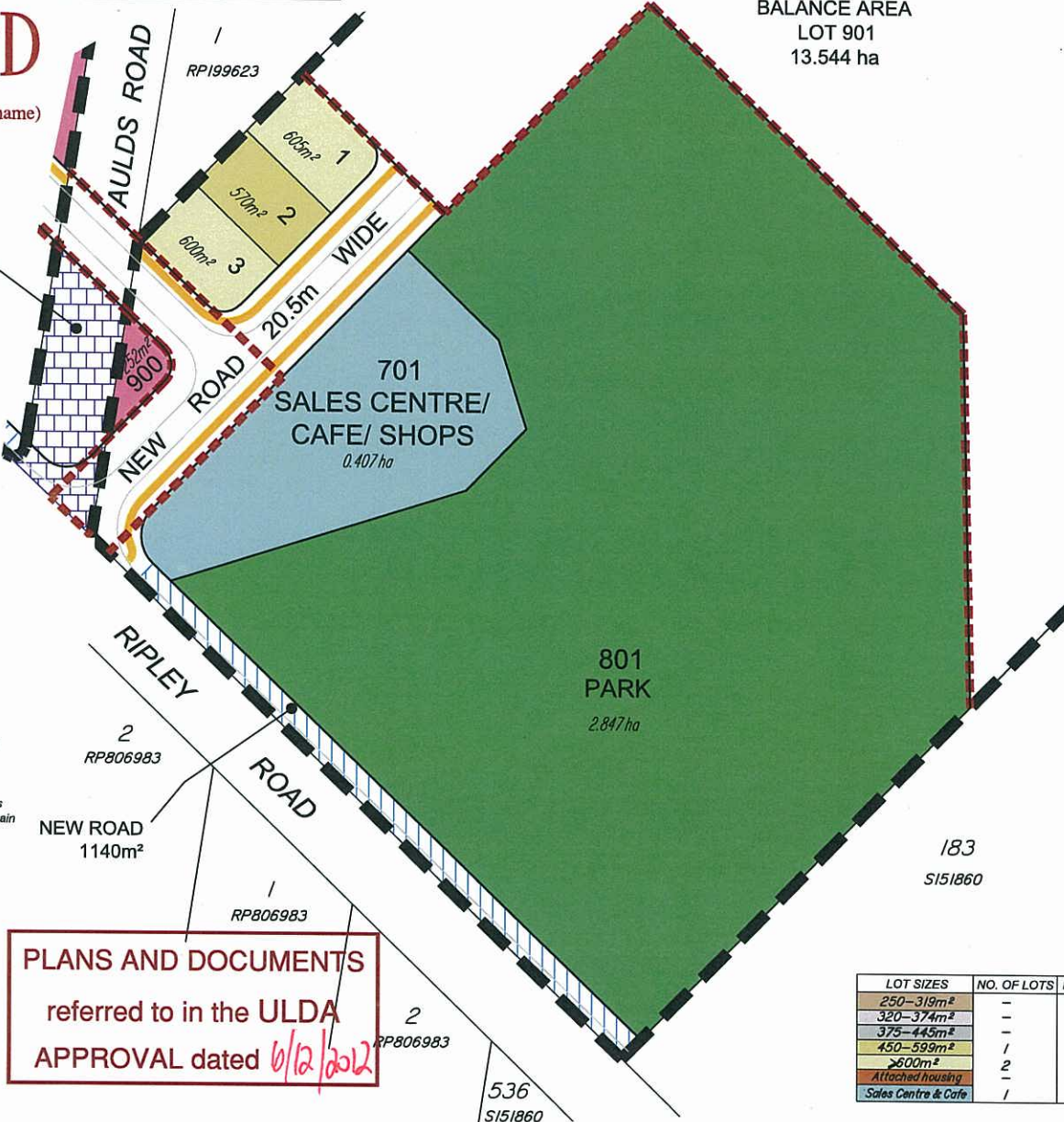
- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling on driveway
Other - 2 spaces per dwelling, which may be in tandem on driveway
- Villa Allotments with a frontage of less than 12.5m are to have tandem parking with a setback to a garage of 5.5m. Double garages may not be permitted. Double garages may be permitted on a single storey dwelling on a lot less than 12.5m wide.
- Double garages may be permitted on double story buildings with frontages less than 12.5m Subject to the garage being setback 1.5m behind the face of the main dwelling.
- Parking spaces on driveways do not have to comply with AS2890.
- Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot.
- Private amenity space accessible from the ground floor must not be less than 15sq.m. with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height unless vegetated (hedges etc).



BALANCE AREA
LOT 901
13.544 ha

LOT SIZES	NO. OF LOTS	RATIO
250-319m ²	-	-
320-374m ²	-	-
375-449m ²	-	-
450-599m ²	1	25%
≥600m ²	2	50%
Attached housing	-	-
Sales Centre & Cafe	1	25%

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

CLIENT SEKISUI HOUSE	
PROJECT PLAN OF DEVELOPMENT OF LOT 179 ON SP143798, LOT 180 ON RP910173, & LOT 182 ON S151860	
LOCAL AUTHORITY URBAN LAND DEVELOPMENT AUTHORITY	
NOTES (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.	
STAGE	No. OF LOTS
FUTURE	4
NEW ROAD	60m
AREA OF PARK	2.847ha
TOTAL AREA	3.677ha
TOTAL	257
NEW ROAD	4470m
AREA OF PARK	3.347ha
TOTAL AREA	34.456ha
SCALE BAR 0 5 10 20 30 50 80m	
SCALE 1:1250 @ A3	
 LANDPARTNERS built environment consultants	
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101 1 (07) 3842 1000 1 (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au ISO 9001:2008 FS 53003	
LEVEL DATUM	N/A
LEVEL ORIGIN	N/A
CONTOUR INTERVAL	N/A
COMPUTER FILE	364900IV
DRAWN	MEA
DATE	29/11/2012
CHECKED	LFB
DATE	29/11/2012
APPROVED	SRS
DATE	30/11/2012
PLAN NUMBER	SHEET 9 OF 9
BRSS3649.000-133	REV N