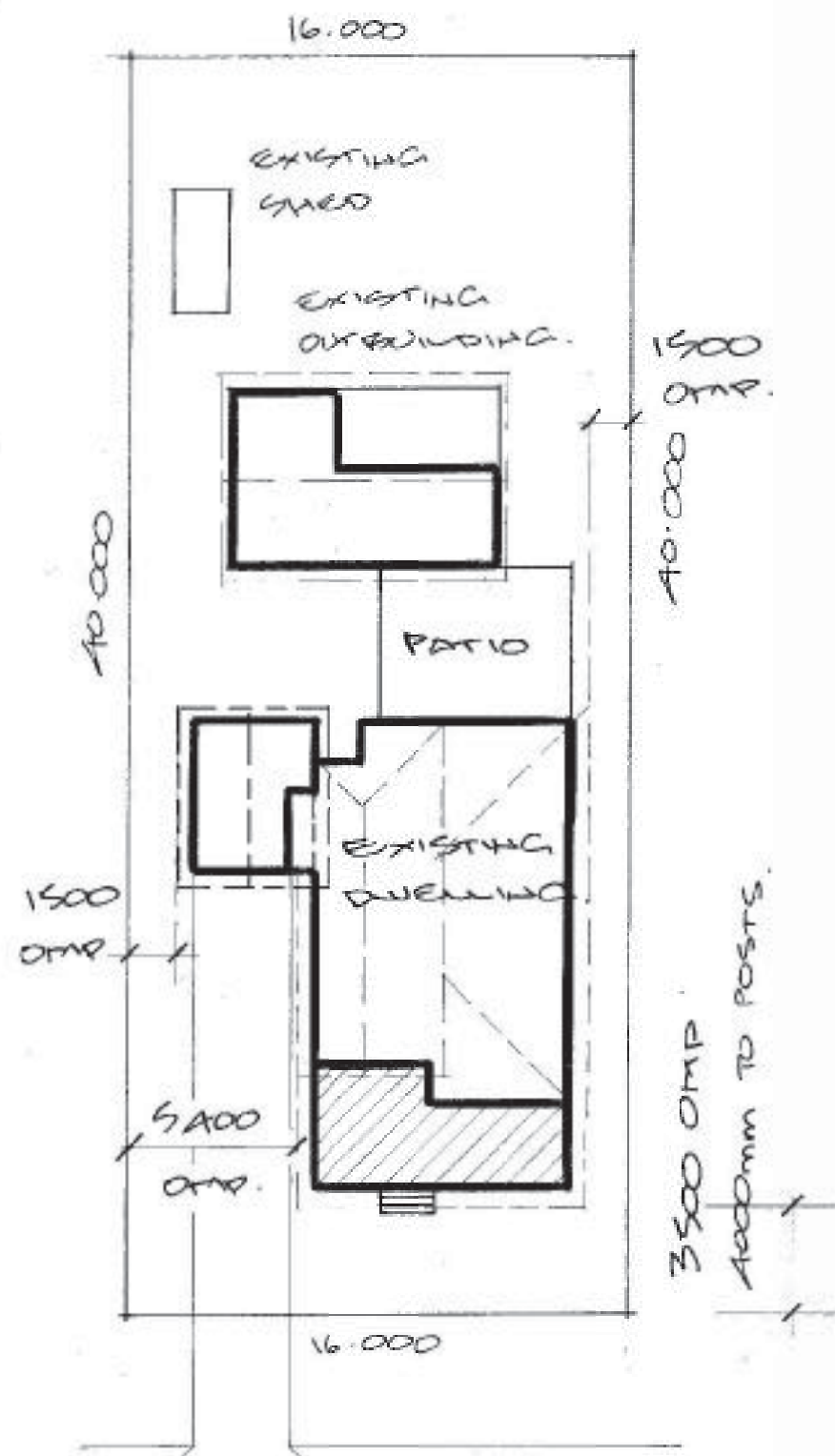


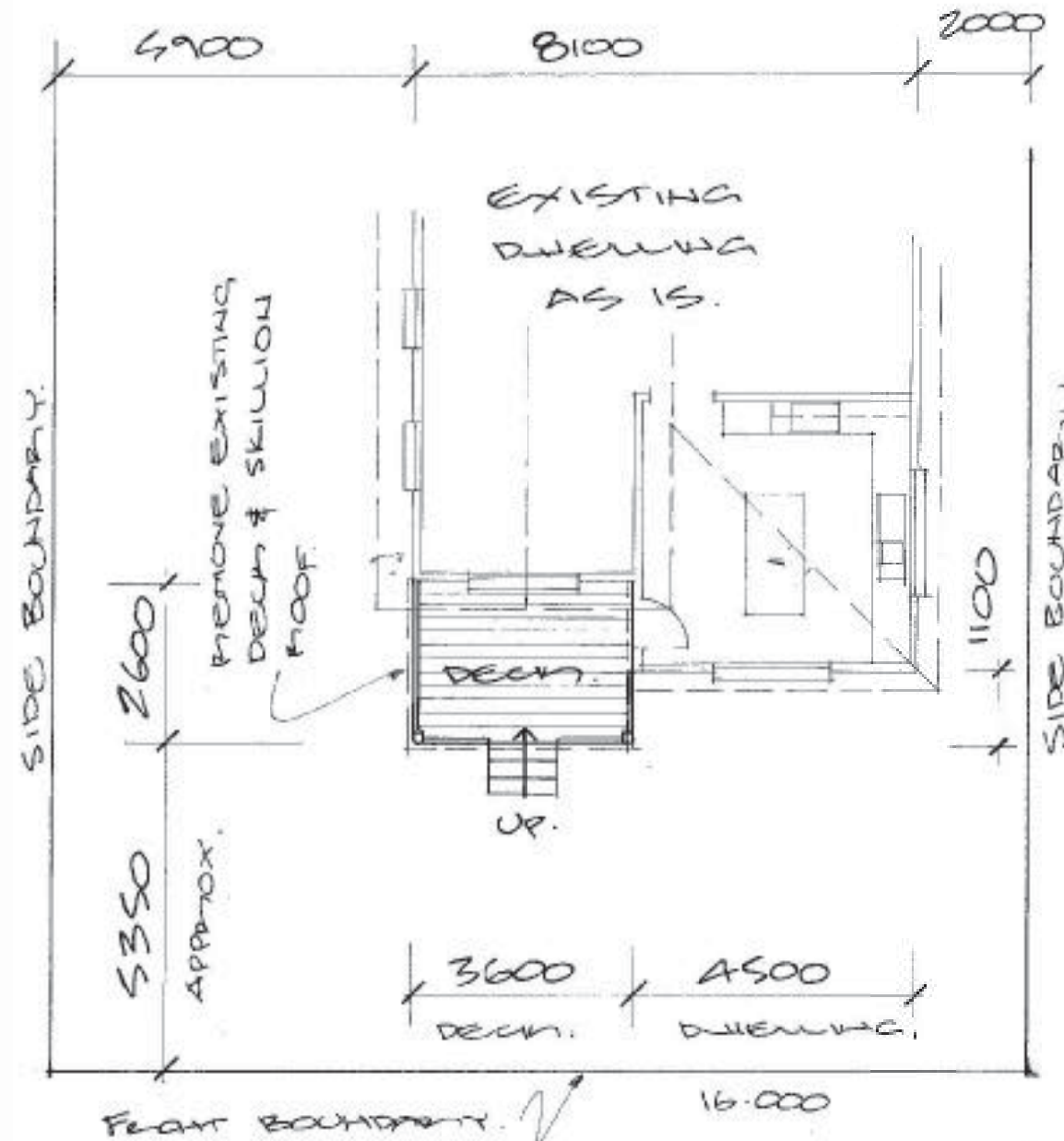


ESPLANADE

SITE COVERAGE = 31%

SITE PLAN.

SCALE 1:200



**EXISTING FLOOR
PLAN** SCALE 1:100

FLOOR AREA:

PROPOSED FRONT DECK : 20.70m²
EXISTING DWELLING : 120.62m²
EXISTING PATIO : 32.64m²
EXISTING OUT BUILDING : 51.62m²
EXISTING SHED : 7.50m²
TOTAL = 233.10m²

SITE NOTES:

1. Unless noted otherwise all excess soil is to be stockpiled on site.
2. Stormwater piped to street channel in 90mm min. diam. PVC pipes, unless noted otherwise.
3. All Structures to Comply to AS3660.1 'Protection of Buildings From Subterranean Termites.'
4. Stormwater displayed on this plan is a guide only and may vary due to site conditions and Local Authority requirements.
5. Where Boundary pegs do not exist, the Owner shall provide for a check survey, at their expense, prior to commencement of Building Work.
6. The Owner accepts responsibility for all landscaping, drainage and retaining walls if necessary after the completion of Building Work.
7. Septic systems displayed on this plan are a guide only and may vary due to site conditions and Local Authority requirements.
8. All setback dimensions are OMP (Outer Most Projection) unless noted otherwise.

REAL PROPERTY DESCRIPTION

LOT: 1
RP: 95163
PARISH: REDLAND
COUNTY: STANLEY
AREA: 642m²
LOCAL AUTHORITY:
REDLAND CITY COUNCIL.

JOB TITLE: PROPOSED DECK.
FOR: COOPER RESIDENCE.
AT: 303 ESPLANADE
REDLAND BAY 4165

**Davies
Drafting &
Design**

QBSA Lic. No. 81846

SCALE: 1:200	JOB No: 4718	DWG No: 1 OF 3
DRAWN: BD	DATE: 16.10.18	ISSUE No:
BRETT DAVIES 16 ROSE GUM COURT, PALMWOODS davesfamily69@bigpond.com		PHONE 0407 771348 QLD 4555

GENERAL NOTES:

1. This Building has been Designed in accordance with:
Building Act of Queensland Building By-laws of
1984, Building Code of Australia, Australian Standards,
AS 1584 2-2010
2. Stormwater piped to street channel in 90mm min. diam.
PVC pipes, unless noted otherwise.
3. All Structures to Comply to AS3660.1 'Protection of
Buildings From Subterranean Termites.'
4. All concrete to be Min. strength of 20 Mpa or as
specified by Structural Engineer.
5. Min. step down to Patio and garage areas to be 25mm.
6. Double studs are required under all laminated beams
and concentrated load points.
7. Brick veneer fixed to wall frame and/or bearers and
joists at floor line at max. 300mm cts, with approved
brick veneer ties. Brick veneer fixed to wall frame
elsewhere at 600 x 600 centres.
8. All handrails and balustrades to comply with BCA
Part 3.9.2 Minimum height of 1000mm,
maximum opening of 125mm.
9. 50mm Floor wastes to all first floor wet area floors.
10. Toilet suites to be dual flush in sewerage areas only.
11. All site dimensions refer to outer most projection
(OMP) unless noted otherwise.
12. Builder to check all dimensions, roof pitch and levels on
site prior to commencing work.
13. Dimensions take precedence over scaling.
14. Truss manufacturer to nominate upgrade to Lintel sizes
that occur under direct roof loads, i.e girder trusses.
15. All lintels will be specified one size over minimum to
allow for variances in window widths.
16. All floor joists will be specified one size minimum to
reduce "Bounce" effect.
17. Roof trusses to approved design. Truss supplier to
check existing roof pitch on site prior to manufacturing
any roof trusses.

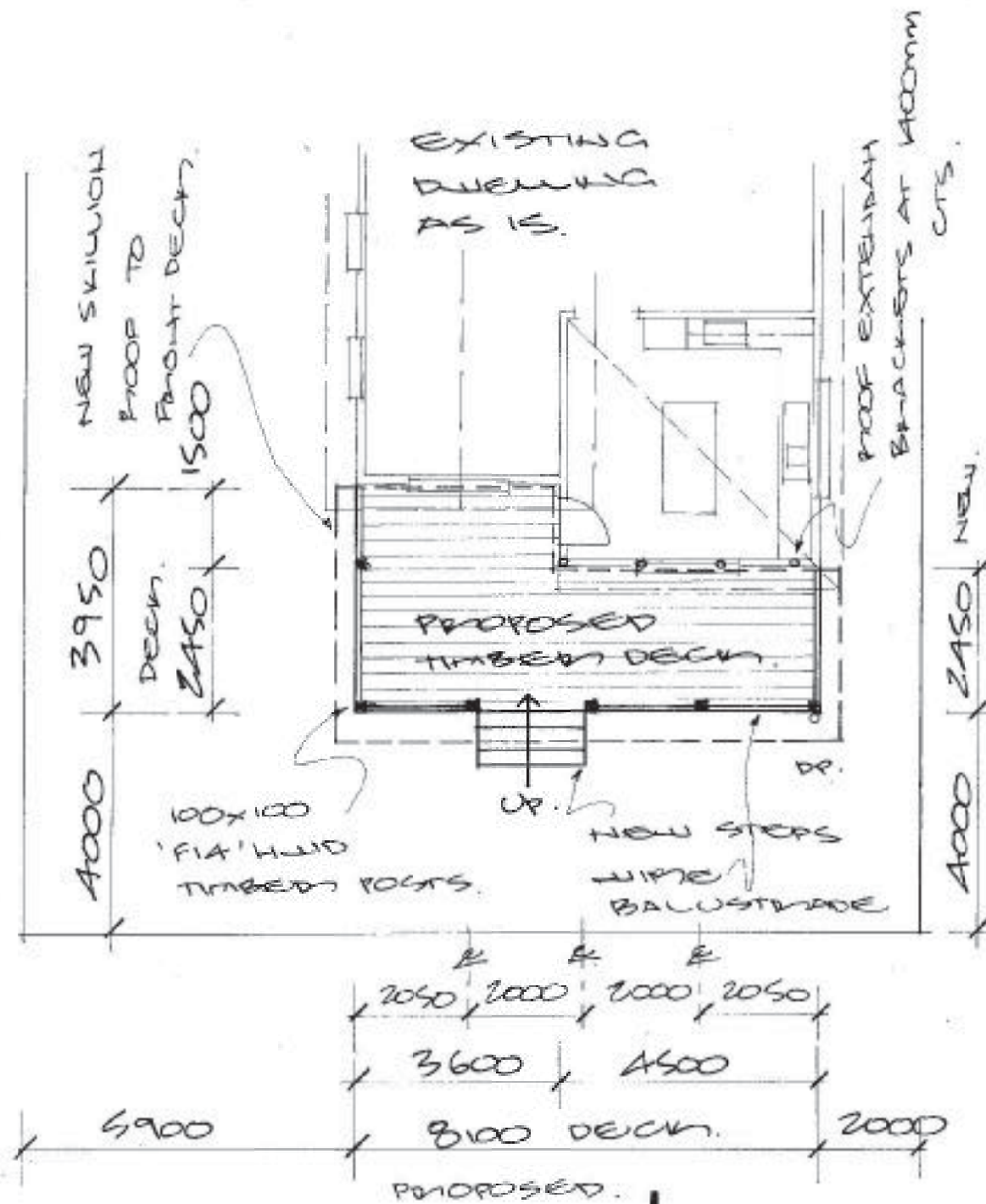
JOB TITLE: PROPOSED DECK
FOR: UPPER RESIDENCE
AT: 303 ESPANADE
MELBOURNE BAY 4165

Davies
Drafting &
Design QBSA Lic. No. 81848

SCALE: 1:100 JOB No: 4718 DWG No: 20F3

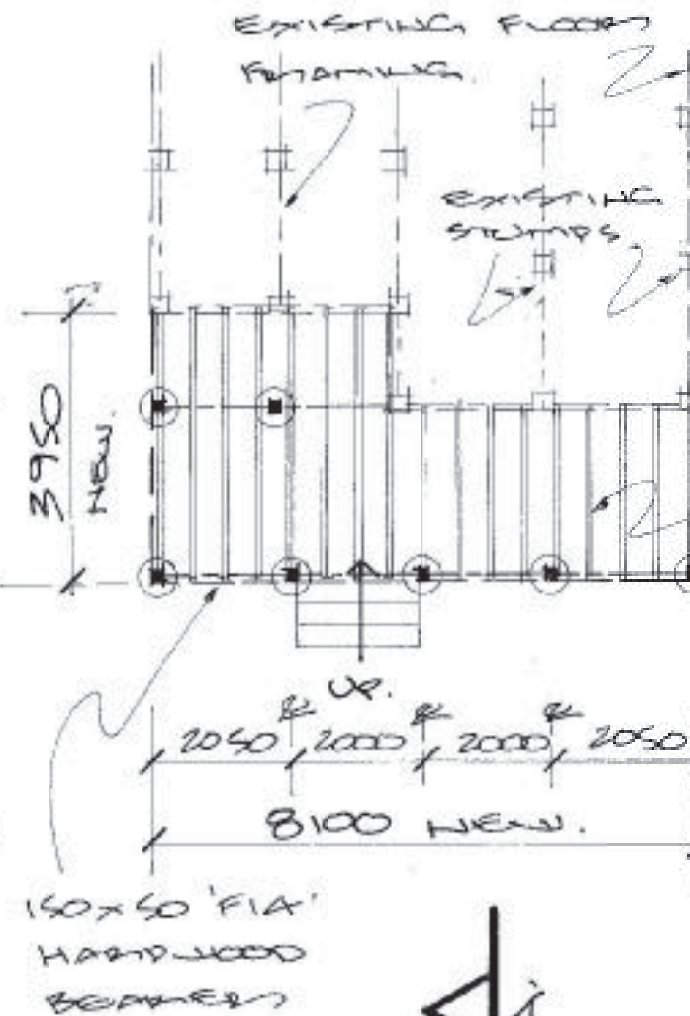
DRAWN: BD DATE: 16.10.18 ISSUE No:

BRETT DAVIES PHONE 0407 771348
16 ROSE GUM COURT, PALMWOODS QLD 4855
daviesfamily99@bigpond.com



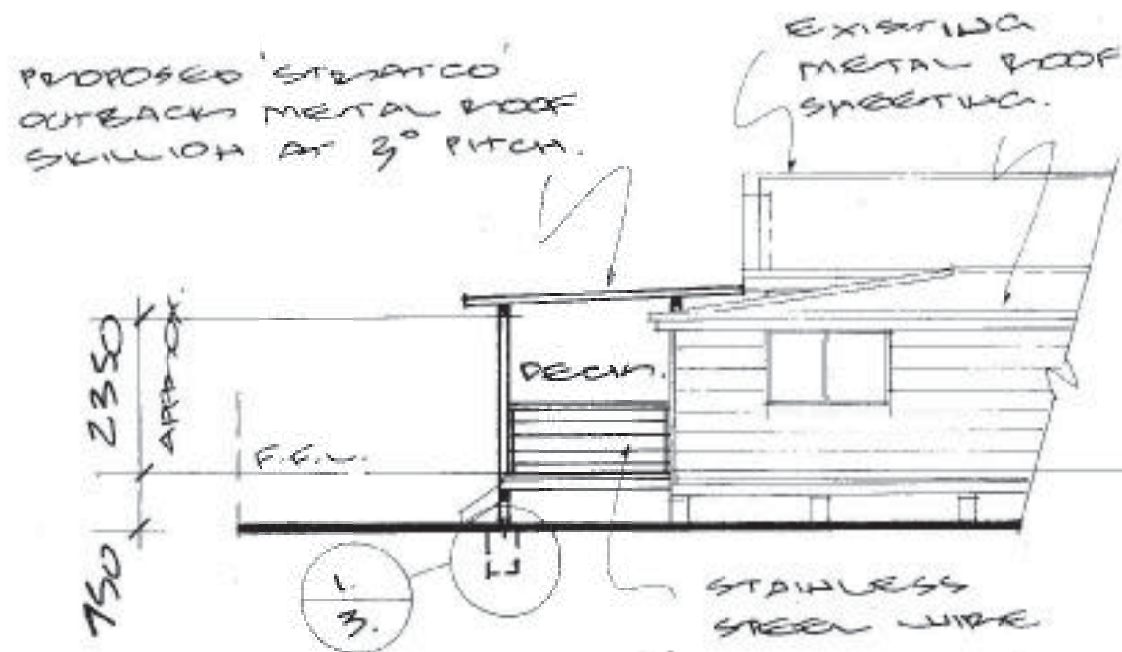
PROPOSED
FLOOR PLAN

SCALE 1:100

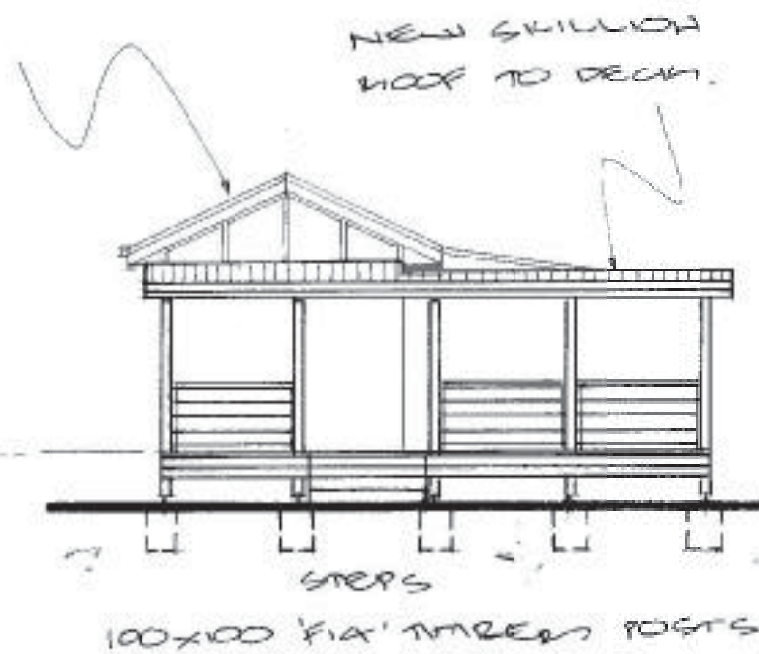


SUB-FLOOR
PLAN SCALE 1:100

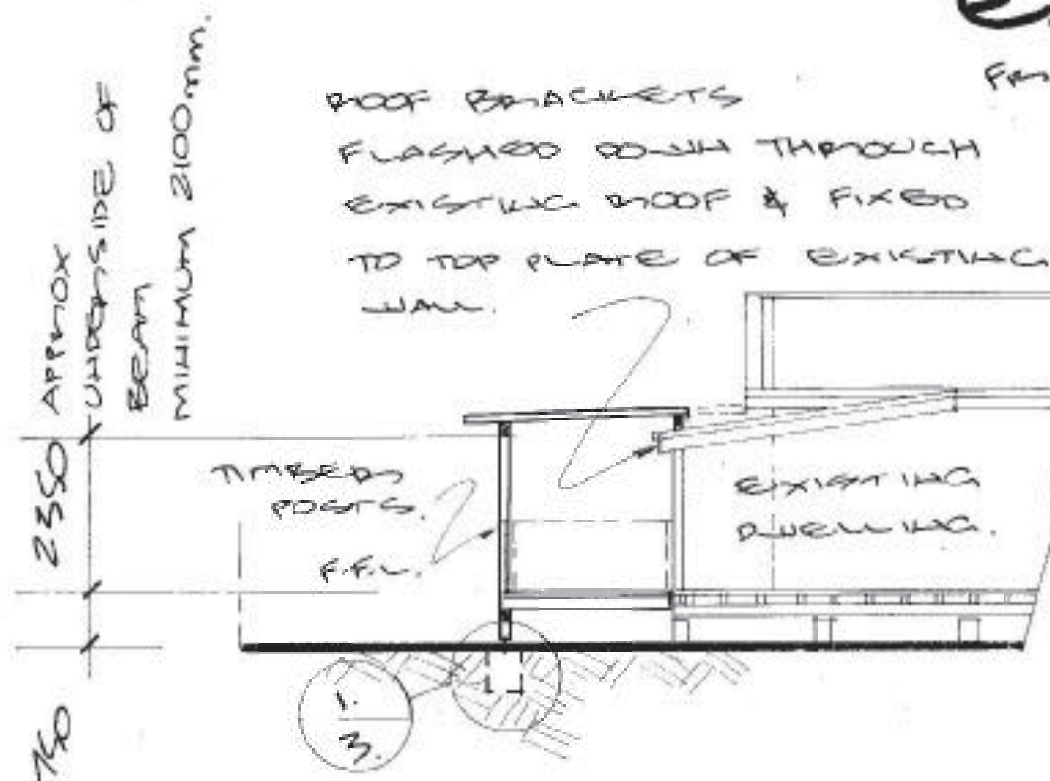
150x50 'FLA' HARDWOOD
FLOOR JOISTS AT 450mm CTS TO DECK



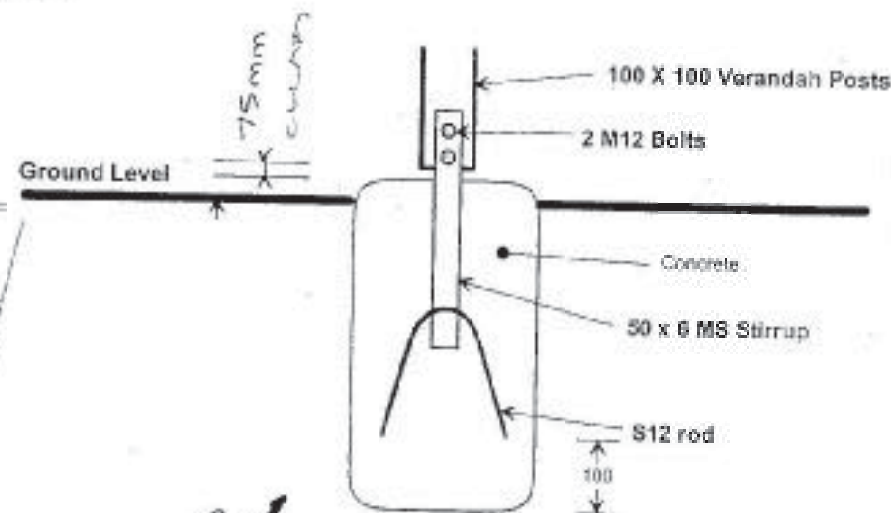
NORTH ELEVATION SIDE.



EAST ELEVATION FRONT.



SECTION 'A' SCALE 1:100



350mm ϕ x 900mm DEEP MASS CONCRETE PAD FOOTINGS 20 MPa CONCRETE.

POST DETAIL.

1. 3.

TIE DOWN SCHEDULE N3 WIND LOADS-Skillion roof

DECK SKILLION ROOF: Stratco Outback metal roof fixed to manufacturer's instructions to suit N3 wind loads. Refer to manufacturer's fixings details.

DECK ROOF BEAM: 100x65 Shure lock metal beam or 150x50 F14 class one hardwood, fixed to timber posts with two M12 galvanised steel bolts.

ROOF BRACKETS: Roof extendah brackets fixed directly over existing external wall plate at maximum 1800mm centres with two M12 bolts to existing top plate of house framing. Flash down through existing concrete roof tiles. Fit 150x50 F17 class one hardwood plate between brackets with two M12 galvanised steel bolts.

DECK POSTS: 100x100 F14 class one hardwood posts fixed to bearer with two M12 galvanised steel bolts.

DECK FLOOR JOISTS: 150x50 F14 class one hardwood at 450mm centres fixed with two 75mm nails to bearers.

DECK BEARERS: 150x50 F14 class one hardwood posts fixed to posts with two M12 galvanised steel bolts.

SUB FLOOR POSTS: 100x100 F14 class one hardwood posts fixed to galvanised steel stirrups with two M12 galvanised steel bolts. Stirrups taken into mass concrete pad footings, to detail 1-3.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/996

Date: 7 March 2019



JOB TITLE: PROPOSED DECK
FOR: COOPER RESIDENCE
AT: 303 ESPLANADE
REDLAND BAY AHS

Davies
Drafting &
Design QBSA Lic. No. B1846

SCALE: 1:100	JOB No: A118	DWG No: 3 OF 3
DRAWN: BD	DATE: 16.10.18	ISSUE No:
BRETT DAVIES 16 ROSE GUM COURT, PALMWOODS daviesfamily69@bigpond.com		
PHONE 0407 771348 QLD 4555		