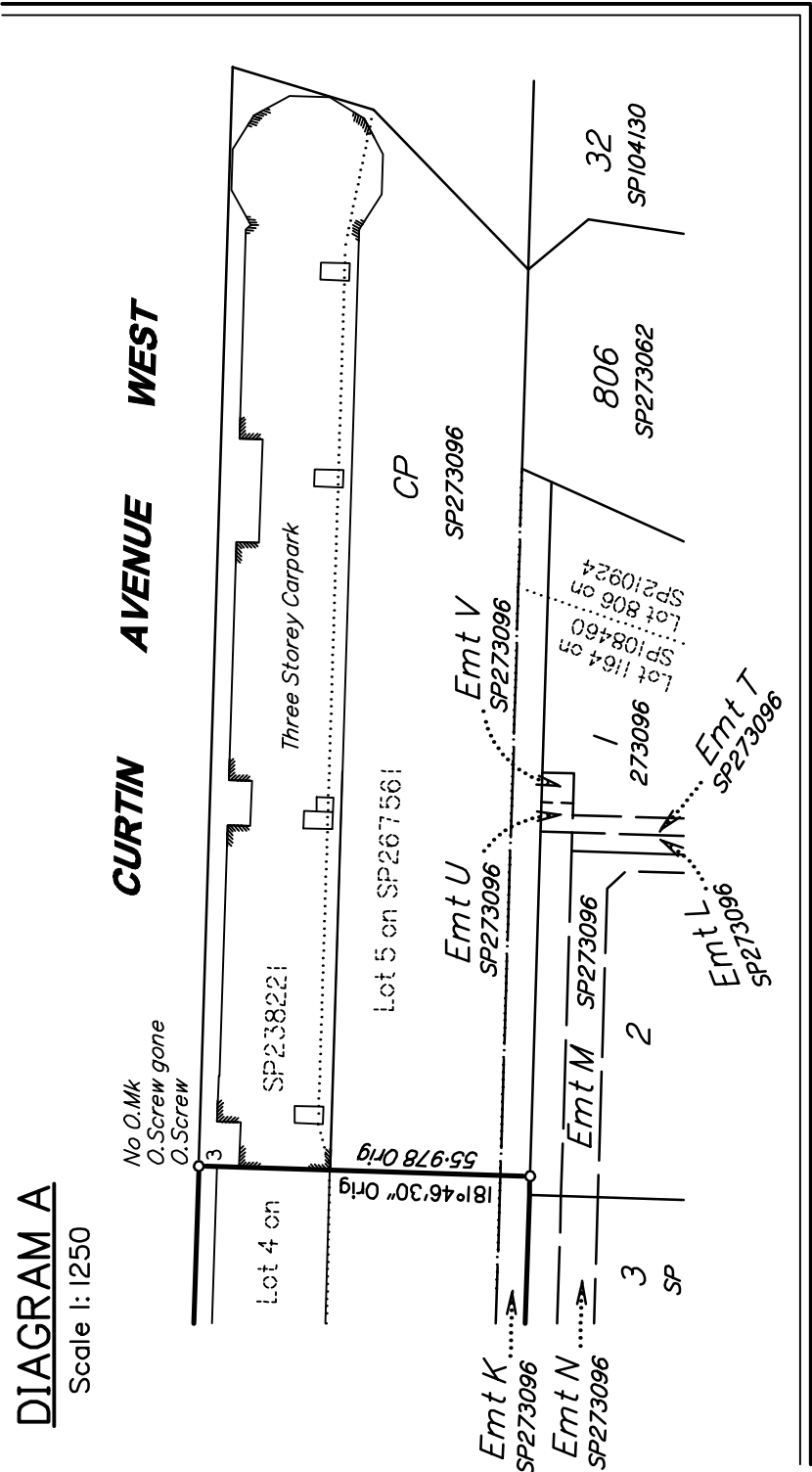


DIAGRAM A

Scale 1:1250



T.H. JENSEN & BOWERS Pty Ltd (ACN 010 872 607) hereby certify that the land comprised in this plan was surveyed by the corporation, by Raymond Glynne VANDERWOLF, cadastral surveyor, for whose work the corporation accepts responsibility and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 30.01.2019.

Director
Director
Date

050100150		State copyright reserved.	
Plan of Lot 9 & Common Property of BTP Hamilton CTS 47199		Scale: 1:2000	SP309313
Cancelling Lot 9 on SP288055		Format: BUILDING	
LOCAL GOVERNMENT: BRISBANE CITY COUNCIL			
LOCALITY: HAMILTON			
Meridian: SP273096		Survey Records: No	

REINSTATEMENT REPORT

- Plans Searched: SP273096, SP283272, SP283273, SP288055 & DP288126.
- DATUM: Stations 1-2a-3 on Curtin Avenue West.
- Stations 1, 2a & 3 were fixed by original reference marks at each corner.
 - Station 4 was fixed by O.Screw and original connection to O.Nail as per SP283272.
 - Stations 5a & 6 were fixed as per SP273096 around to OP & O.Screw at Station 7.
 - This survey agrees with SP273096, SP283272, SP283273, SP288055 & DP288126.

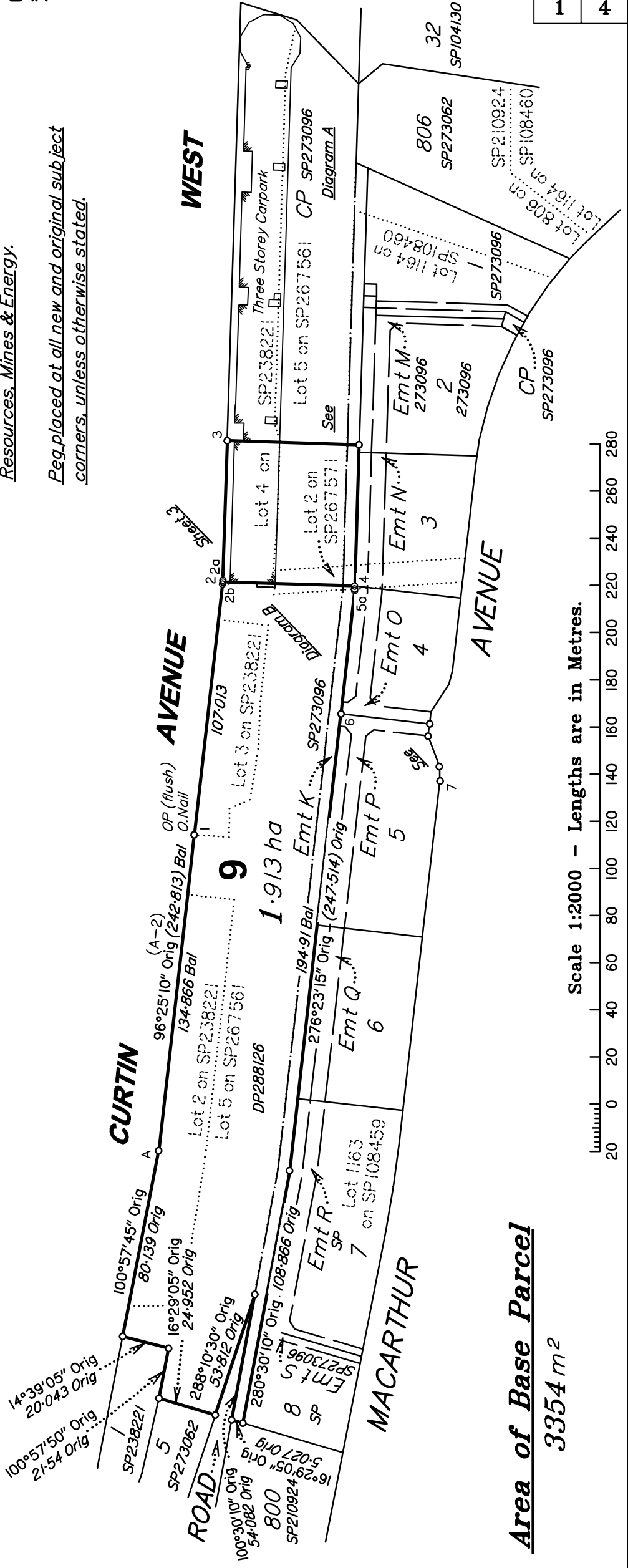
REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	O.Nail in Conc H/Wall	3/DP288126	50°20'10"	17.981
2	Screw in Conc fd		359°04'50"	17.582
2a	O.Screw in Kerb	2/SP288055	8°45'30"	5.041
2a	O.Star Pkt	6/DP288126	300°23'30"	6.586
3	O.Screw in Kerb gone	3/SP288055	2°42'30"	4.835
3	O.Screw in Conc	3/SP288055	89°56'15"	10.568
4	O.Screw in Conc	SP283272	186°25'	12.878
5	Screw in Conc		281°34'	8.005
6	Screw in Conc		81°25'	5.882
7	O.Screw in Conc	6/1S219532	164°09'	1.773

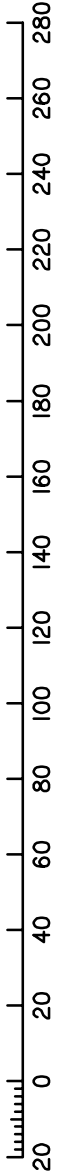
Lot 9 is a Standard Format Lot.

Original information compiled from SP273096 & SP288055 in the Department of Natural Resources, Mines & Energy.

Peg placed at all new and original subject corners, unless otherwise stated.



Scale 1:2000 - Lengths are in Metres.



Land Title Act 1994 ; Land Act 1994
Form 2IB Version I

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

Sheet
2

of
4

(Dealing No.)

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

I. Certificate of Registered Owners or Lessees.

I/We MINISTER FOR ECONOMIC DEVELOPMENT
QUEENSLAND BY ITS AUTHORISED DELEGATE

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

* Rule out whichever is inapplicable

6. ExistingCreated

Title ReferenceDescriptionNew LotsRoadSecondary Interests

51054779Lot 9 on SP2880559 & Common Property

BENEFIT EASEMENT ALLOCATIONS

Easement	Lots Fully Benefited	Lots Partially Benefited
716499192 (Emt L on SP273096)	9 & Common Property	
716499202 (Emt M on SP273096)	9 & Common Property	
716499205 (Emt N on SP273096)	9 & Common Property	
716499208 (Emt O on SP273096)	9 & Common Property	
716499211 (Emt P on SP273096)	9 & Common Property	
716499214 (Emt Q on SP273096)	9 & Common Property	
716499232 (Emt R on SP273096)	9 & Common Property	
716499235 (Emt S on SP273096)	9 & Common Property	

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
716499236 (Emt K on SP273096)	9 & Common Property

Notification issued to the Owner of Lot 9 on SP288055 on 12/02/2019, in accordance with s.18 of the Survey and Mapping Infrastructure Regulation 2014.

2. Planning Body Approval.

*
hereby approves this plan in accordance with the :
%

Dated this day of

#

#

* Insert the name of the Planning Body.
Insert designation of signatory or delegation

% Insert applicable approving legislation.

3.Plans with Community Management Statement :

CMS Number : 47199
Name : BTP HAMILTON

4.References :

Dept File :
Local Govt :
Surveyor : 9899

9Common Property

Lot 5 on SP267561
Lots 2–4 on SP238221
Lot 2 on SP267571
Lot 1163 on SPI08459
Lot 5 on SP267561
Lot 4 on SP238221
Lot 1164 on SPI08460
Lot 2 on SP267571

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: T.H. Jensen & Bowers Pty Ltd
Date :
Signed :
Designation : Director

9. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining * lots and road.

Cadastral Surveyor/Director* Date
*delete words not required

10. Lodgement Fees :

Survey Deposit \$
Lodgement \$
.....New Titles \$
Photocopy \$
Postage \$
TOTAL \$

II. Insert Plan Number
SP309313

DRAFT 12.02.19

9899 VL

DIAGRAM B

Scale 1:500

WEST

AVENUE

CURTIN

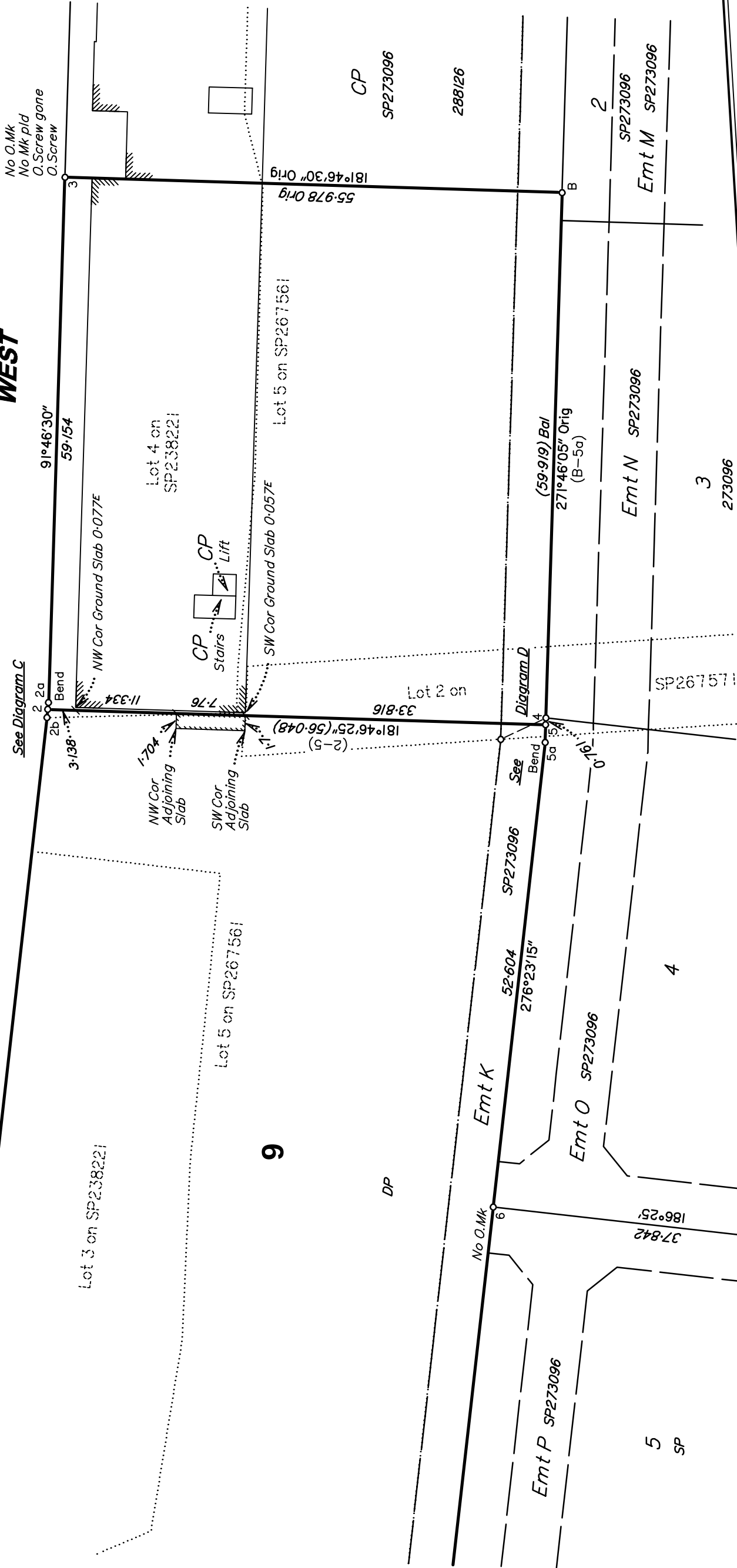


DIAGRAM D

Scale 1:100

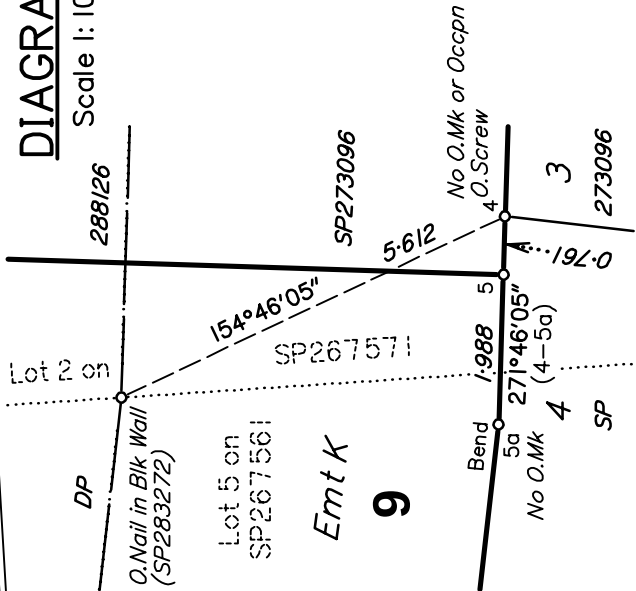
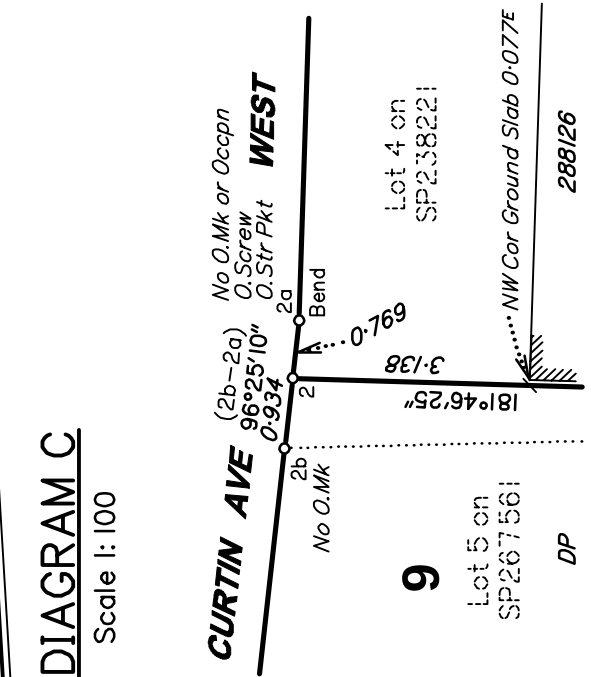
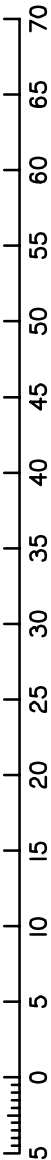


DIAGRAM C

Scale 1:100



Scale 1:500 - Lengths are in Metres.

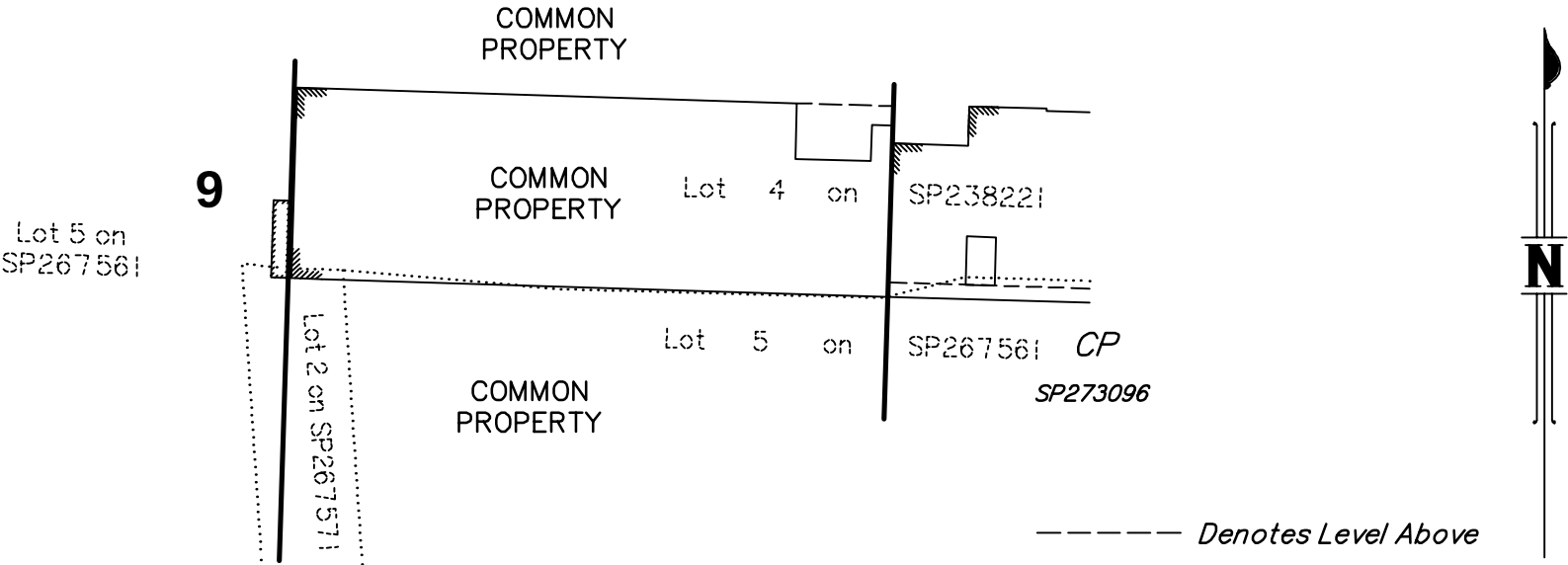


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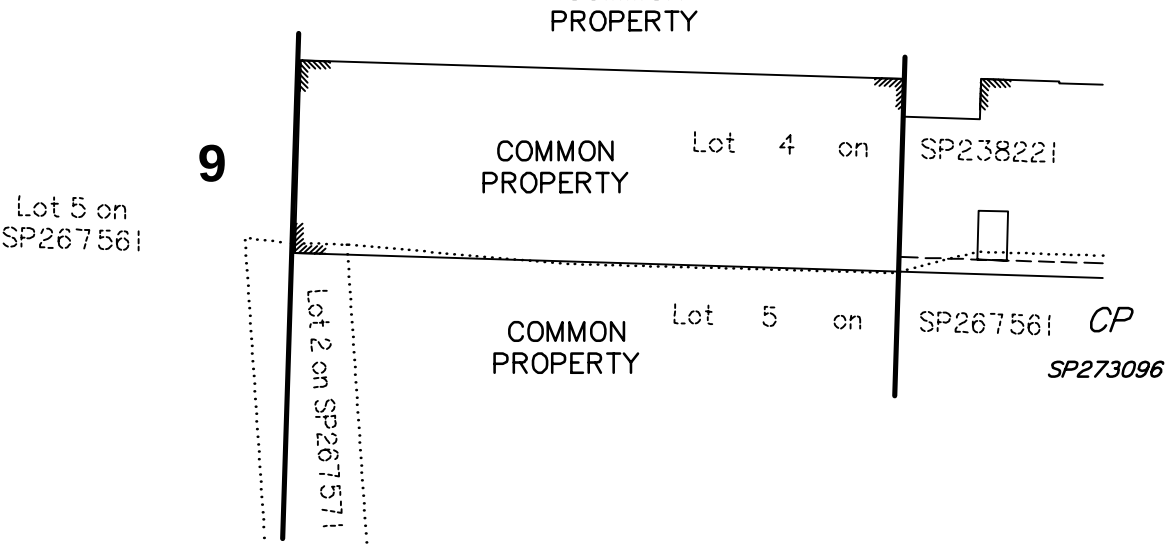
Insert Plan Number
SP309313

DRAFT 12.02.19

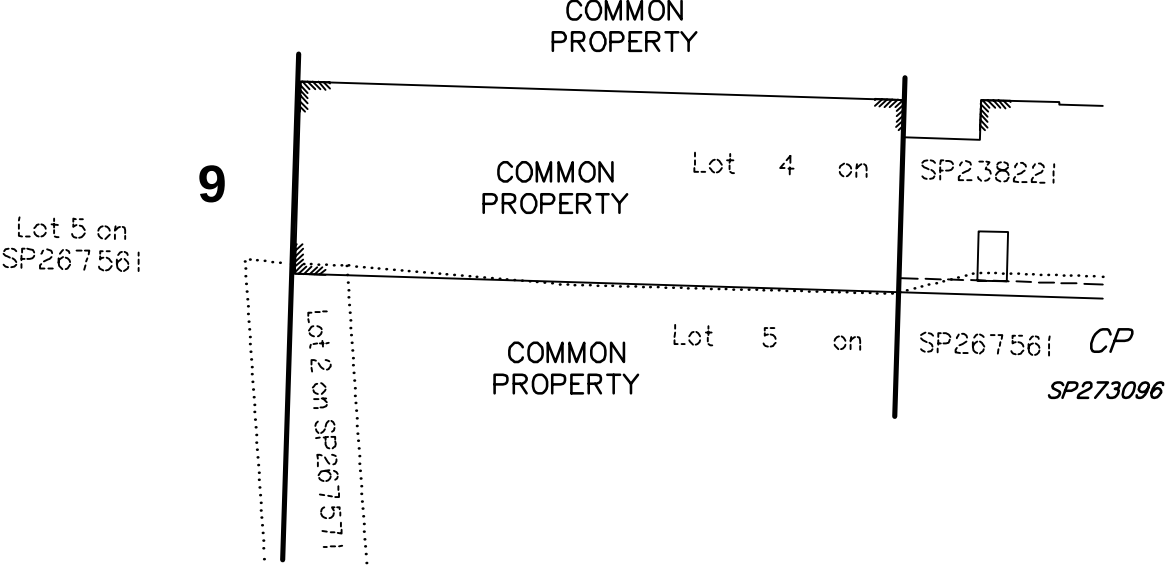
LEVEL A
Scale 1: 750



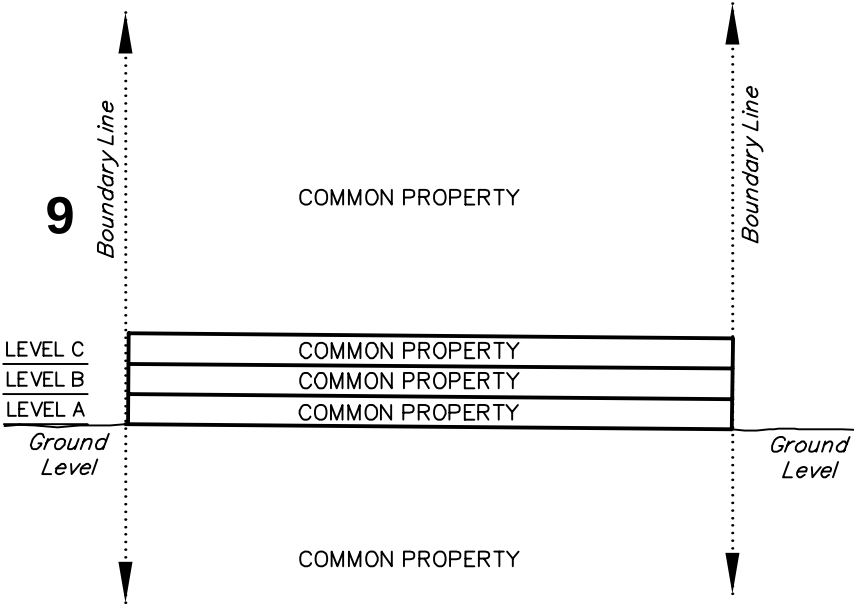
LEVEL B
Scale 1: 750



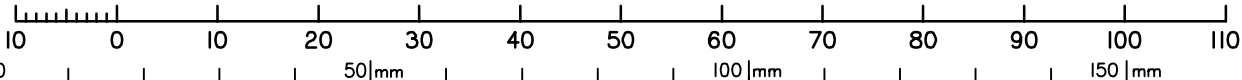
LEVEL C
Scale 1: 750



LATERAL ASPECT
1: 750
(Looking North from
Macarthur Avenue)



Scale 1:750 - Lengths are in Metres.



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Insert Plan Number **SP309313**

DRAFT 12.02.19