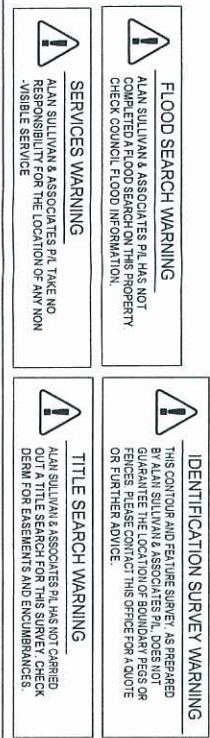


- *NOTE** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS AS/NZS3500
- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
 - * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINTS UNDER SLAB.

1.5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS



STUART OSMAN
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Email: design@scod.net

	MEMBER OF
 building designers association of queensland inc.	CHARTERED MEMBER OF



ENDORSED
Sustainable Building Designer

BUILDER

CLIENT
CROWN PROPERTY
PTY. LTD.

**PROPOSED RESIDENCE
LOT 69
DIAMANTINA CRESCENT**

DRAWN BY RH	CHECKED BY SO
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PROCEEDINGS	DATE
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SCALES	AMENDMENTS
1:100 @ A2	B 301110 F 040211

E 030211
SHEET NUMBER

JOB NUMBER 4072

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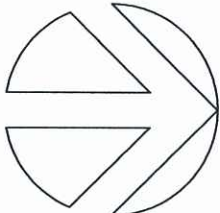
Failure to do so shall void the designers responsibilities.

PLANS AND DOCUMENTS

referred to in the ULDA
APPROVAL dated 28 / 2 / 11

SITE PLAN

SCALE 1:200 SHEET 3 OF 11



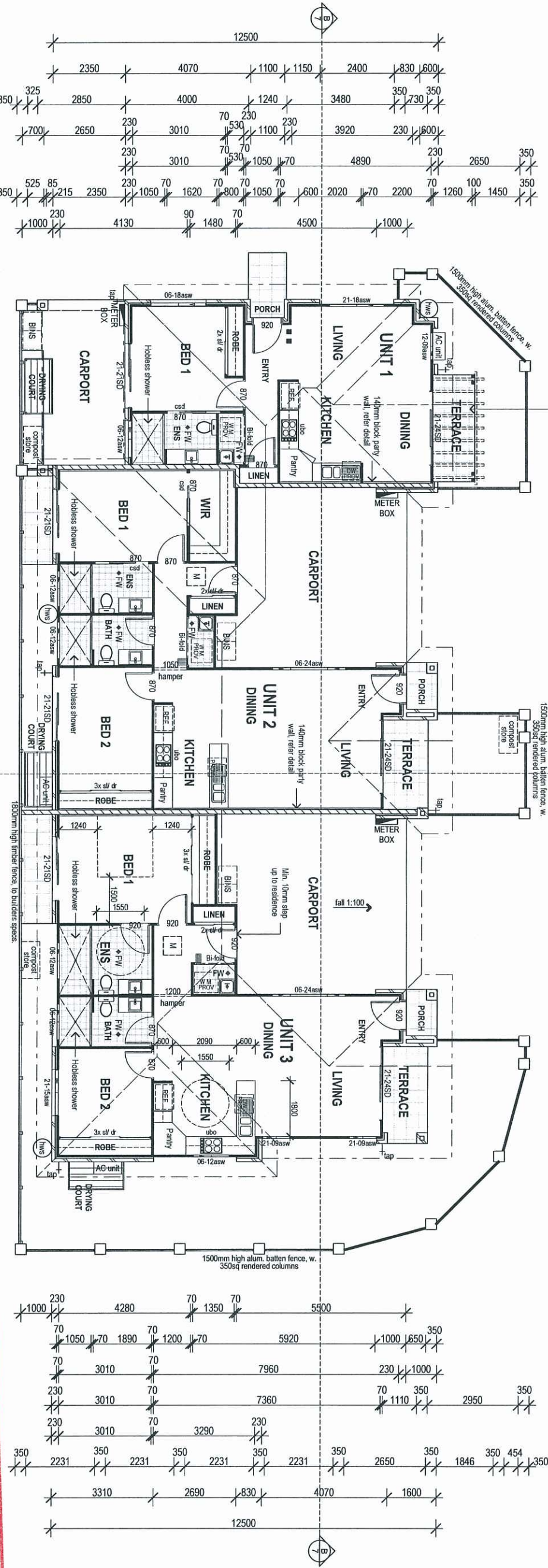
STUART OSMAN
BUILDING DESIGNS

Phone (07) 55 203 022
PO Box 2645
Address 2071 Township Drive, West Burleigh QLD 4219
AS/NZS 3000:2018
BSL License No. 1126657
Email: design@stuartosman.com



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N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES

CLIENT CROWN PROPERTY PTY. LTD.	PROJECT PROPOSED RESIDENCE LOT 69 DIAMANTINA CRESCENT FITZGIBBON CHASE	DRAWN BY RH	CHECKED BY SO	DESIGN MULTI-FAMILY	DATE A.25/11/2010	SCALES 1:100 @ A2 1:50 @ A3 1:20 @ A4 1:10 @ A5	AMENDMENTS C 03/12/10 D 26/01/11 E 03/02/11	SHEET NUMBER 4 of 11	JOB NUMBER 4072	© Copyright reserved in part or whole. Written dimensions take preference. Contradictory to verbal dimensions. Notify designers of discrepancies. Failure to do so shall void the designers responsibilities.
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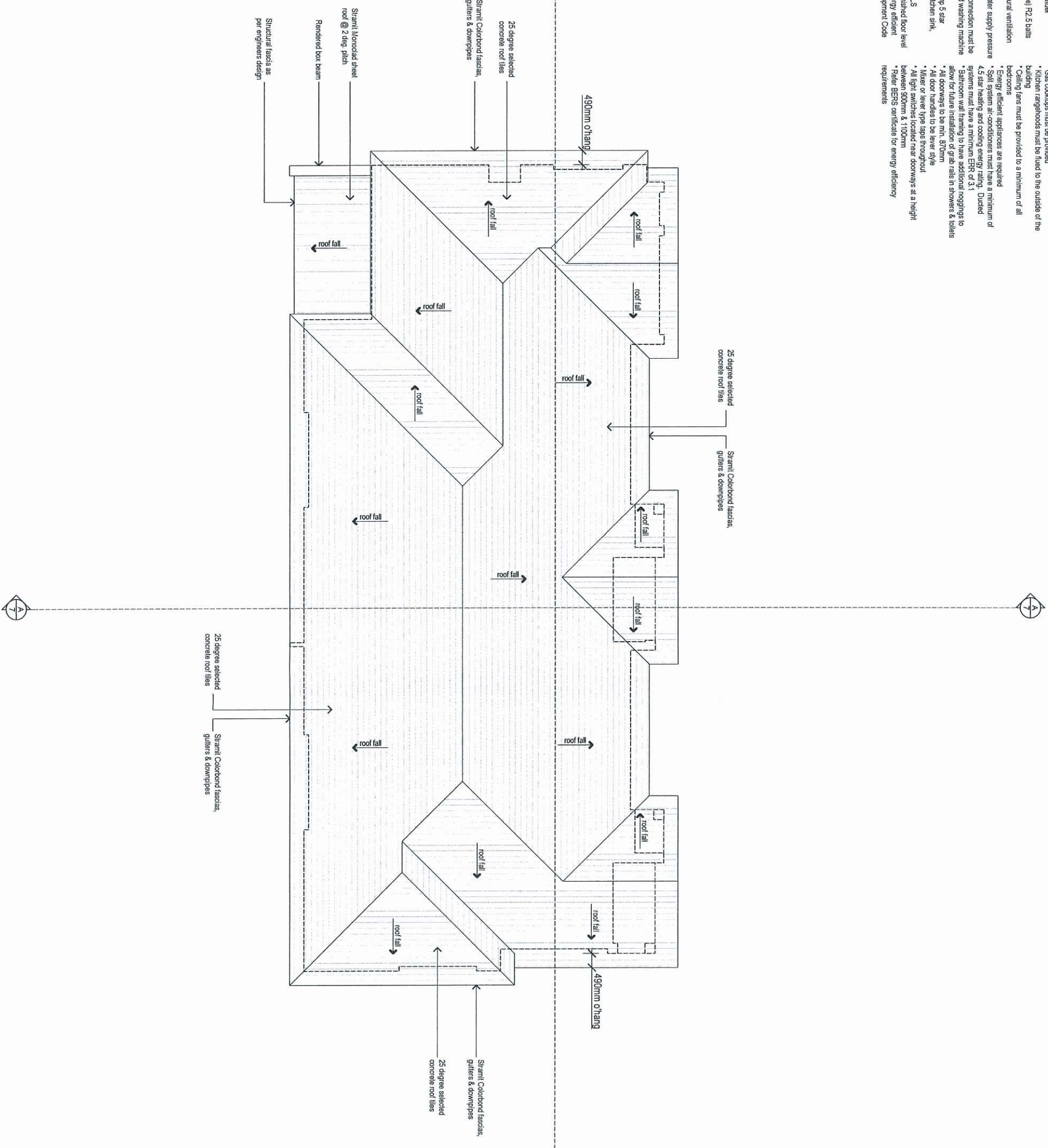
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 28/2/11

- NOTES:
- * Lift off hinges to WC door
 - * Provide GPO & cold water provisions to DW space measured on site and confirmed by builder
 - * Fall insulation to all external walls
 - * Insulation to ceiling (excluding garage) R2.5 batts
 - * All windows & SCD to be fitted
 - * Mechanically vent rooms without natural ventilation
 - * All shower roses to be 3 star WELS
 - * Flow restrictions fitted - maximum water supply pressure not to exceed 500Kpa at any outlet
 - * Backed water from the boundary connection must be connected to external uses, toilets and washing machine cold water taps
 - * Hot water systems shall be heat pump 5 star
 - * Fittings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
 - * Low flow dual flush toilets & 4 star WELS
 - * All handrails to be 1000mm above finished floor level
 - * 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - * 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - * Gas cooktops must be provided
 - * Kitchen rangehoods must be fitted to the outside of the building
 - * Ceiling fans must be provided to a minimum of all bedrooms
 - * Energy efficient appliances are required
 - * Spill system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
 - * Bathroom wall framing to have additional nogging to allow for future installation of grab rails in showers & toilets
 - * All door handles to be min. 820mm
 - * Mixer or lever type taps throughout
 - * All light switches located near doorways at a height between 800mm & 1100mm
 - * Refer BERS certificate for energy efficiency requirements

ELEVATIONS
SCALE 1:100

FLOOR AREAS	
UNIT 1:	
LIVING AREA:	57.01 sq.m
CARPORT:	15.42 sq.m
TERRACE:	4.88 sq.m
PORCH:	0.66 sq.m
TOTAL:	77.97 sq.m
UNIT 2:	
LIVING AREA:	89.72 sq.m
CARPORT:	33.52 sq.m
TERRACE:	4.43 sq.m
PORCH:	1.51 sq.m
TOTAL:	129.36 sq.m
UNIT 3:	
LIVING AREA:	89.89 sq.m
CARPORT:	34.42 sq.m
TERRACE:	4.53 sq.m
PORCH:	1.51 sq.m
TOTAL:	130.35 sq.m
GRAND TOTAL:	337.48 sq.m
	36.33 sq.m

- 100% of all interior lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
- Gas cooktops must be provided
- Kitchen rangehoods must be fixed to the outside of the building
- Ceiling fans must be provided to a minimum of all bedrooms
- Energy efficient appliances are required
- Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
- Bathroom wall installations have additional obligations to allow for future installation of grab rails in showers & toilets
- All door handles to be min. 870mm
- All door handles to be lever style
- Mixer or lever type taps throughout
- All light switches located near downwards at a height between 900mm & 1100mm
- Refer BERS certificate for energy efficiency requirements



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 28 / 2 / 11

 STUART OSMAN BUILDING DESIGNS		Phone (07) 55 203 022 Fax (07) 55 203 033 PO Box 285 Surfers Paradise QLD 4220 Address 2711 AN/73 697 595 616 B&B Leases No. 1129887 Email: design@osd.net		MEMBER OF  Master Builders		MEMBER OF  building designers qu coastwide inc.		 ENDORSED Sustainable Building Designers		BUILDER		CLIENT CROWN PROPERTY PTY. LTD.		PROJECT PROPOSED RESIDENCE LOT 89 DIAMANTINA CRESCENT FITZGIBBON CHASE		DRAWN BY RH CHECKED BY SO		DESIGN MULTI-FAMILY		DATE A 23/11/2010		SCALES 1:100 @ A2 AMENDMENTS B 3/01/10 C 04/02/11 C 03/12/10 D 26/01/11 E 03/02/11		SHEET NUMBER 5 of 11		JOB NUMBER 4072		© Copyright retained in part or whole. Written dimensions take preference. Contractor to verify dimensions. Notify designers of discrepancies. Failure to do so shall void the designers responsibilities.		BE WARNED, SUBSTITUTION OF ANY STRUCTURAL MEMBERS, AND OR ANY VARIATION TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF STUART OSMAN BUILDING DESIGNS FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING.		THIS DESIGN IS THE EXCLUSIVE PROPERTY OF STUART OSMAN BUILDING DESIGNS IN ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES	
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ELEVATIONS

ROOF PLAN

SCALE 1:100

NOTES:
* EAVE DIMENSIONS INCL. LIDE 40mm EASCIA

NOTES:

- Lift off hinges to WC door
- Provide GPO & cold water provisions to DW space
- All external and internal doors & windows to be measured on site and confirmed by builder
- Foil insulation to all external walls
- Insulation to ceiling (excluding garage) R2.5 batts
- All windows & SCD to be tiled
- Mechanically vent rooms without natural ventilation
- All shower roses to be 3 star WELS
- Flow restrictors fitted - maximum water supply pressure not to exceed 500kpa at any outlet
- Recycled water from the boundary connection must be connected to external uses, toilets and washing machine cold water taps
- Hot water systems shall be heat pump 5 star
- Fittings to be a star WELS fitted in kitchen sink, bathroom basins & laundry trough
- Low flow dual flush toilets a star WELS
- All handrails to be 1000mm above finished floor level
- 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
- Gas cooktops must be provided
- Kitchen rangehoods must be tied to the outside of the building
- Ceiling fans must be provided to a minimum of all bedrooms
- Energy efficient appliances are required
- Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum BER of 3.1
- Bathroom wall framing to have additional noggings to allow for future installation of grab rails in showers & toilets
- All doorways to be min. 870mm
- All door handles to be lever style
- Mirror level type taps throughout
- All light switches located near doorway at a height between 800mm & 1100mm
- Refer BEES certificate for energy efficiency requirements

COLOUR SELECTIONS

ROOF - MONIER CSR ROOF TILE "PEPPERCORN"

GUTTER - COLORBOND "BUSHLAND"

FASCIA - COLORBOND "EVENING HAZE"

RENDERED BRICKWORK - RESENE HALF "THORNDON CREAM"

RENDERED FC SHEET - RESENE HALF "THORNDON CREAM"

FEATURE RENDER FC SHEET (HATCHED) - RESENE HALF "MONDO"

FEATURE RENDER BRICKWORK (HATCHED) - RESENE HALF "MONDO"

LINEA BOARD: LIGHT - RESENE HALF "HALF "THORNDON CREAM"

LINEA BOARD: DARK (HATCHED) - RESENE HALF "AKAROA"

TIMBER BATTENS - RESENE "WOODSMAN ENGLISH WALNUT"

PERGOLA - RESENE "WOODSMAN ENGLISH WALNUT"

WINDOWS AND SGD's - COLORBOND "JASPER"

ENTRY DOORS - CORINTHIAN SLIMLITE STYLE - PSLM201 COLOR MATCH RESENE "ENGLISH"

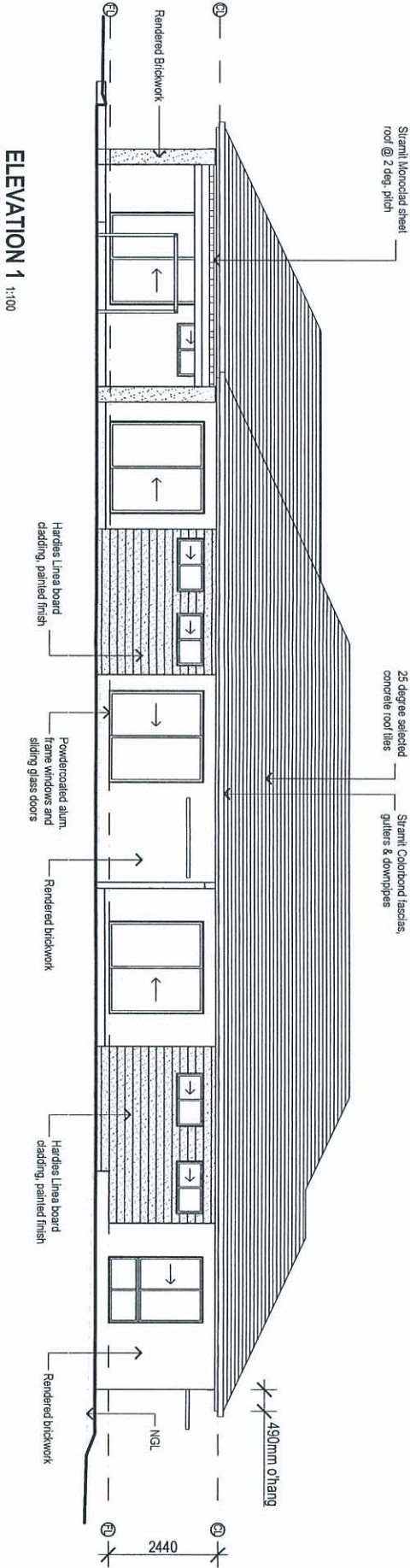
BLOCK FENCE COLUMNS - RESENE HALF "AKAROA"

ALUM. BATTEN FENCE - COLORBOND "JASPER"

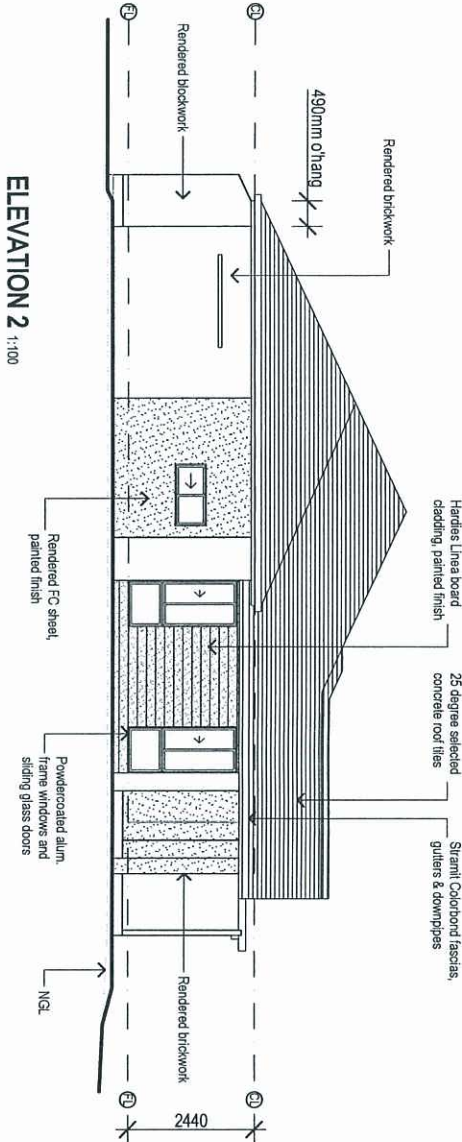
CONCRETE DRIVEWAY - IMAGECRETE

- FEATURE RENDER HATCH PATTERN

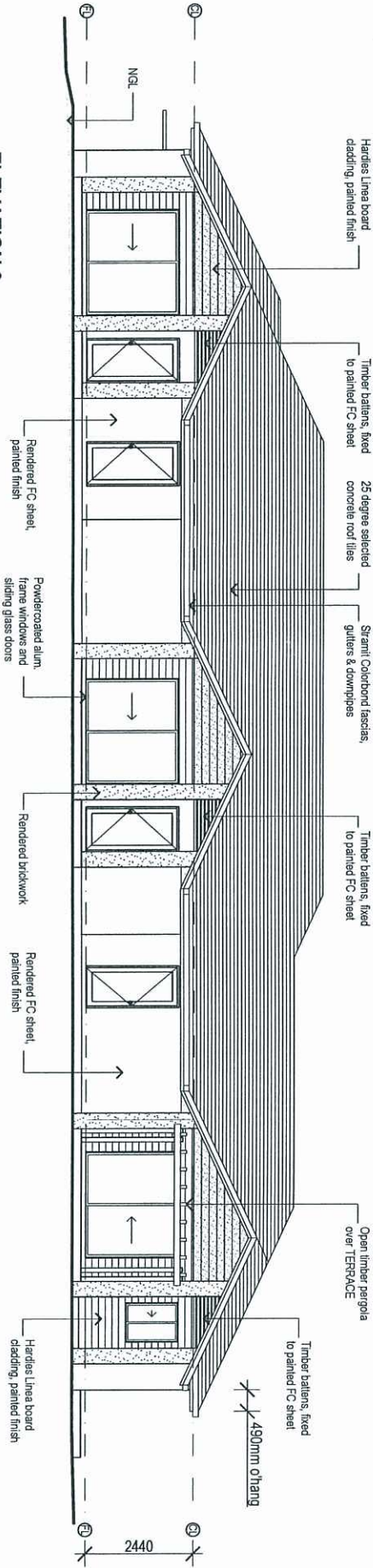
- LINEA BOARD: DARK HATCH PATTERN



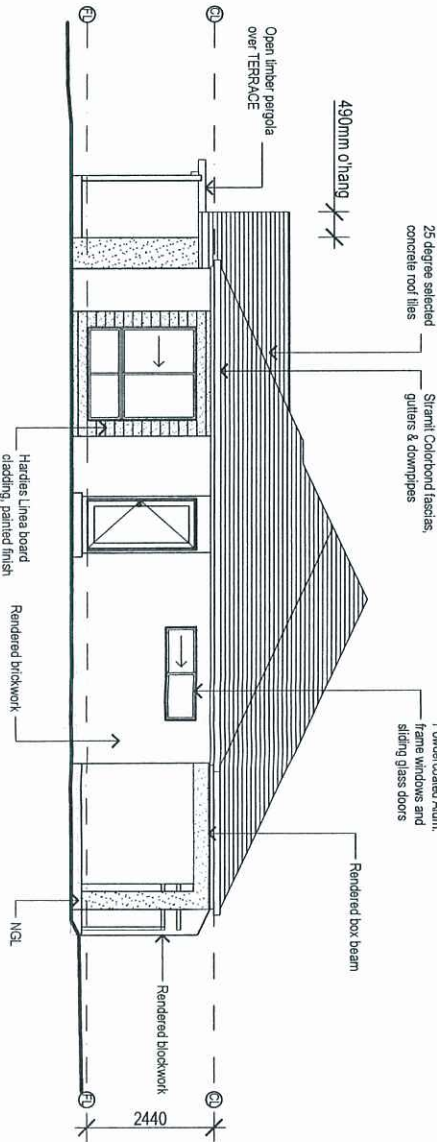
ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

PLANS AND DOCUMENTS

referred to in the ULDA

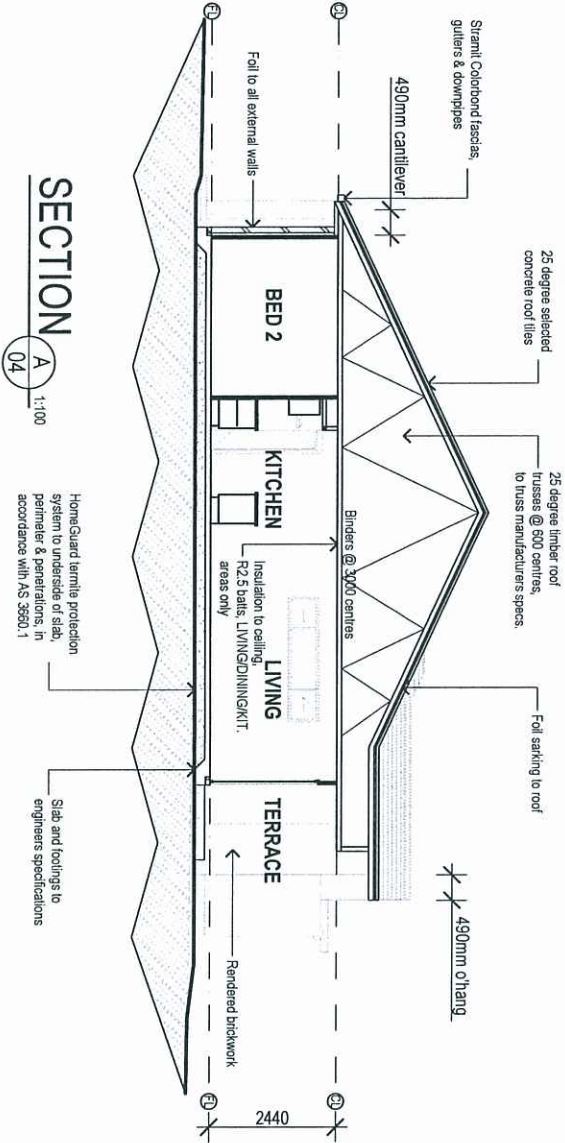
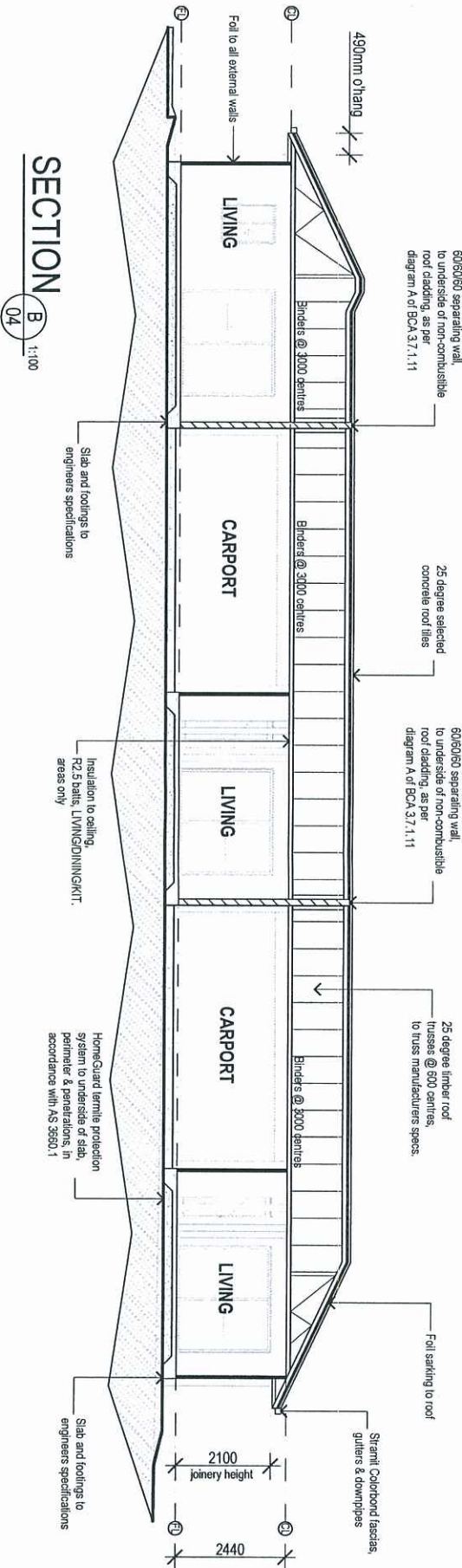
APPROVAL dated 28 / 2 / 11

 STUART OSMAN BUILDING DESIGNS		Phone 07 55 203 020 Fax 07 55 203 033 PO Box 3645 Brisbane Heads DC QLD 4220 Address 2711 Township Drive, West Burleigh QLD 4219 ABN 75 091 955 618 EQL Licence No. 1126847 EQL Licence @2008/06	
 Master Builders MEMBER OF		 IQA MEMBER OF  IQA MEMBER OF building designers association of queensland inc.	
 ENDORSED Sustainable Building Designer		THIS DESIGN IS THE EXCLUSIVE PROPERTY OF STUART OSMAN BUILDING DESIGNS N.B ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES	
CLIENT CROWN PROPERTY PTY. LTD.		PROJECT PROPOSED RESIDENCE LOT 69 DIAMANTINA CRESCENT FITZGIBBON CHASE	
DRAWN BY RH		CHECKED BY SO	
DESIGN MULTI-FAMILY		DATE A 25/11/2010	
SCALES 1:100 @ A2		AMENDMENTS B 30/11/10 F 04/02/11 C 03/12/10 D 26/01/11 E 03/02/11	
SHEET NUMBER 6		of 11	
JOB NUMBER 4072		© Copyright reserved in part or whole. Written dimensions take preference. Contributor to verify dimensions. Notify designers of discrepancies. Failure to do so shall void the designers responsibilities.	

NOTES:

* EAVE DIMENSIONS INCLUDE 40mm FASCIA

- NOTES:
- Lift off hinges to WC door
 - Provide GPO & cold water provisions to DW apiece
 - All external and internal doors & windows to be measured on site and confirmed by builder
 - Foil insulation to all external walls
 - Insulation to ceiling (excluding garage) R2.5 batts
 - All windows & SGD to be lined
 - Mechanically vent rooms without natural ventilation
 - All shower roses to be a 3 star WELS
 - Flow restrictions fitted - maximum water supply pressure not to exceed 500kpa at any outlet
 - Recycled water from the boundary connection must be connected to external uses, toilets and washing machine cold water taps
 - Hot water systems shall be heat pump 5 star
 - Fittings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
 - Low flow dual flush toilets & star WELS
 - All handrails to be 1000mm above finished floor level
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - Gas cooktops must be provided
 - Kitchen rangehoods must be fitted to the outside of the building
 - Ceiling fans must be provided to a minimum of all bedrooms
 - Energy efficient appliances are required
 - Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
 - Bathroom wall framing to have additional noggings to allow for future installation of grab rails in showers & toilets
 - All doorways to be min. 870mm
 - All door handles to be lever style
 - All light switches located near doorways at a height between 500mm & 1100mm
 - Refer DECS certificate for energy efficiency requirements



BCA Table 3.8.6.2

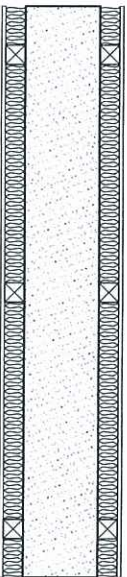
CONSTRUCTION OF WALL TO:

(A) REDUCED IMPACT SOUND; AND
(B) ACHIEVE A 51 Rw

CONCRETE BLOCKWORK

140mm thick concrete block masonry with-

- (a) each face of the block fitted with 50X50mm timber battens, spaced at not more than 610mm centres, screw-fixed into resilient plugs with rubber inserts; and
- (b) the space between the battens completely filled with the mineral or glass wool blanket or batts not less than 50mm thick; and
- (c) the outer face of the battens finished 13mm thick BORAL plasterboard



BATTEN DETAIL TO LIVING AREAS ONLY

DAUB FIX BORAL 13mm thick PLASTERBOARD, DIRECT TO WALL, IN ALL OTHER CASES



Phone (07) 55 203 022
Fax (07) 55 203 033
PO Box 2465 Buringa Heights DC 04 4220
Address: 2711 Main Road, Buringa Heights, QLD 4219
ABN 12 107 065 616
BSA License No. 1126567
Email: design@stuartosman.com.au



BUILDER

CLIENT
CROWN PROPERTY PTY. LTD.

PROJECT
PROPOSED RESIDENCE LOT 69 DIAMANTINA CRESCENT FITZGIBBON CHASE

DRAWN BY
RH

CHECKED BY
SO

DESIGN
MULTI-FAMILY

DATE
A 25/11/2010

SCALES
1:100 @ A2

AMENDMENTS
B 30/11/10 F 04/2/11
C 03/12/10
D 26/01/11
E 03/02/11

SHEET NUMBER
7 of 11

JOB NUMBER
4072

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PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 28 / 2 / 11