

- *NOTE** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS AS/NZS3600
- GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
 - DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

SITE PLAN
SCALE 1:200 SHEET 3 OF 11



STUART OSMAN
BUILDING DESIGNS

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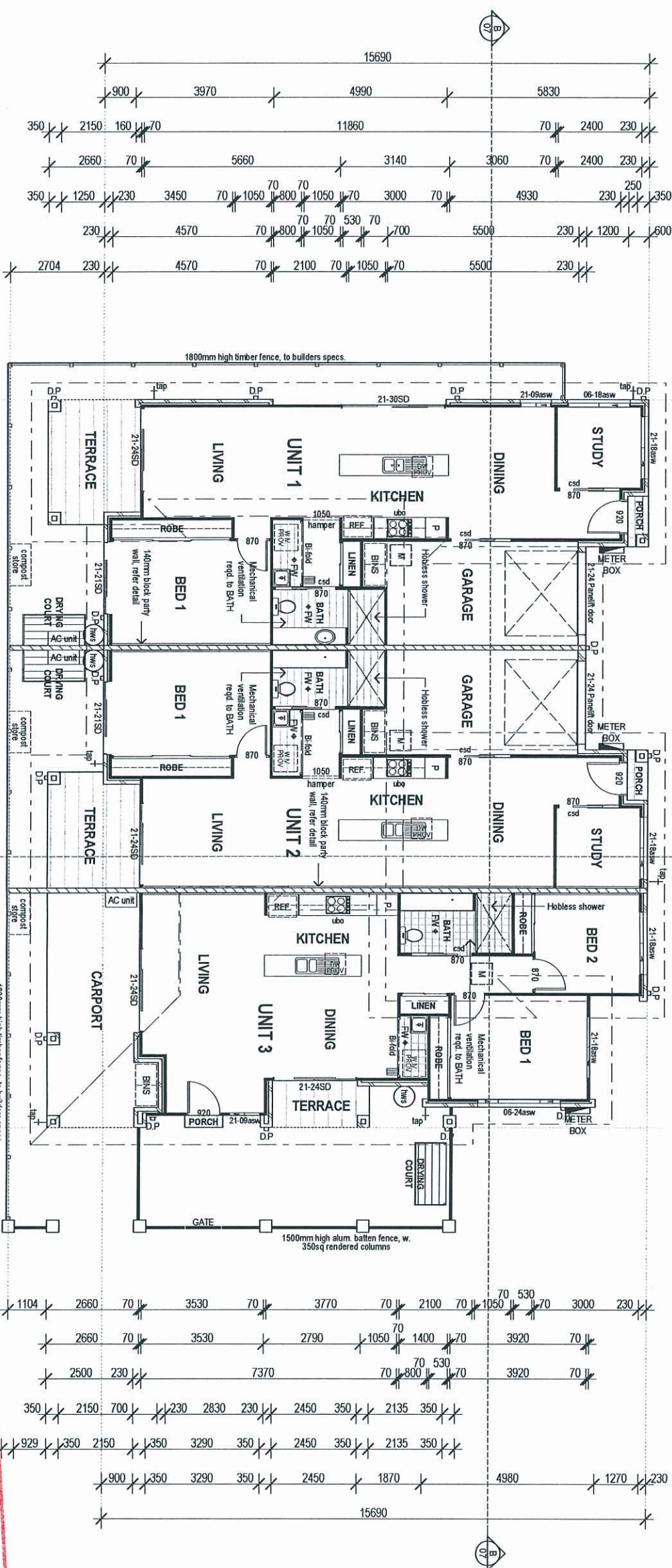
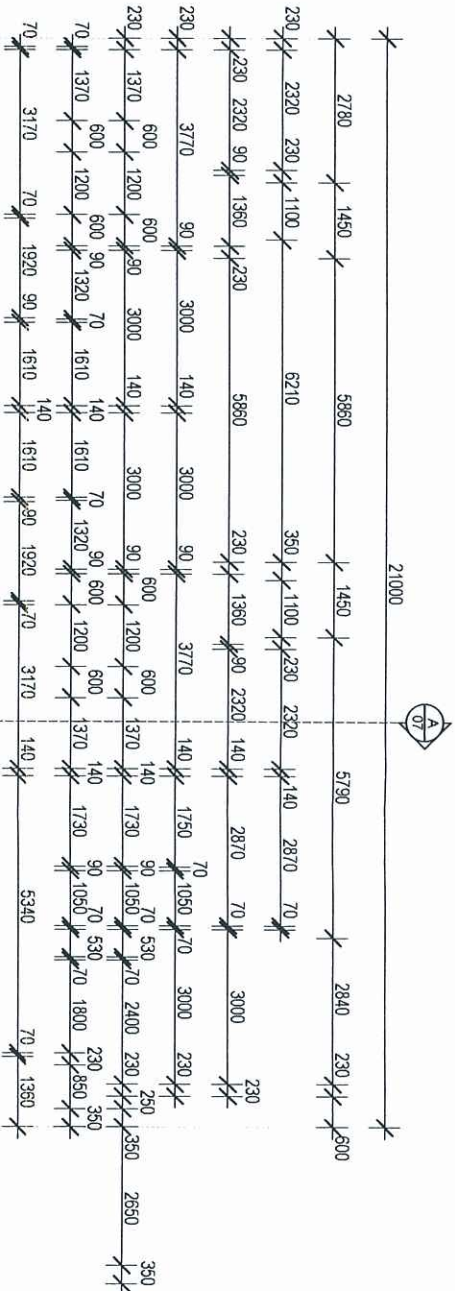
CLIENT CROWN PROPERTY PTY. LTD.	PROJECT PROPOSED RESIDENCE LOT 805 KONDALLA PLACE FITZGIBBON CHASE		DESIGN BY RH	CHECKED BY SO	DESIGN MULTI-FAMILY	DATE A 22/11/2010	SCALES 1:100 @A2	AMENDMENTS B 30/11/10 C 03/12/10	SHEET NUMBER 3	of 11	JOB NUMBER 4071
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PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 29 / 2 / 11

MAIN WATER STORAGE TANKS IN ACCORDANCE WITH THE QUEENSLAND DEVELOPMENT CODE - PART 4.2.4.3

MANDATORY FOR MAIN WATER TANKS 3000L PER DUPLEX UNIT, 5000L PER SINGLE DETACHED DWELLING FOR WORKING OF MAIN WATER TANKS AS EXTERNAL TANKS. LOCATION MUST BE SITUATED TO PROVIDE THE BEST USE OF 3000L OF HOT WATER AT EACH TANK'S INTERNAL TAPS. LOCATION MUST BE SITUATED TO PROVIDE THE BEST USE OF SWITCHING DEVICE OR TRICK TO TOP UP TANKS WHEN REQUIRED ATTACHED TO TOWN WATER MAIN WITH BACKFLOW PREVENTION DEVICE. ALL TANKS TO BE MIN 450mm FROM SIDE OR REAR BOUNDARY. TANKS OVER 2.4m HIGH TO BE MIN 1.5M FROM SIDE OR REAR BOUNDARY. RELOCATION REQUIRED FOR TANKS IN 90MM FRONT SETBACK. OVERFLOW TO BE CONNECTED TO LEGAL POINT OF DISCHARGE.

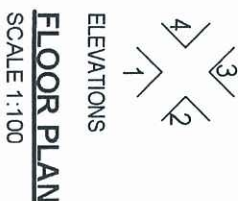
- NOTES
- Lift off hinges to WC door
 - Provide GPO & cold water provisions to DW space
 - All external and internal doors & windows to be measured on site and confirmed by builder
 - Foil insulation to all external walls
 - Insulation to ceiling (excluding garage) R2.5 bats
 - All windows & SCD to be linked
 - Mechanically vent rooms without natural ventilation
 - All shower roses to be 3 star WELS
 - Flow restrictors fitted - maximum water supply pressure not to exceed 500kpa at any outlet
 - Recycled water from the boundary connection must be connected to external uses, toilets and washing machine
 - Cold water taps
 - Hot water systems shall be heat pump 5 star
 - Filtrings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
 - Low flow dual flush toilets 4 star WELS
 - All handrails to be 1000mm above finished floor level
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - Gas cooktops must be provided
 - Kitchen rangehoods must be fixed to the outside of the building
 - Ceiling fans must be provided to a minimum of all bedrooms
 - Energy efficient appliances are required
 - Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
 - Bathroom wall framing to have additional nogging to allow for future installation of grab rails in showers & toilets
 - All doorways to be min. 870mm
 - Mezz or lever type taps throughout
 - All light switches located near doorways at a height between 900mm & 1100mm
 - Refer BEERS certificate for energy efficiency requirements



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 28 / 2 / 11

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MEMBER OF building designers Queensland Inc.		MEMBER OF CHARTERED MEMBER OF	
MEMBER OF Sustainable Building Designer		MEMBER OF CHARTERED MEMBER OF	
CLIENT CROWN PROPERTY PTY. LTD.		PROJECT PROPOSED RESIDENCE LOT 805 KONDALLA PLACE FITZGIBBON CHASE	
DESIGN RH CHECKED BY SO		DATE A 22/11/2010	
SCALES 1:100 @ A2 B 30/11/10 C 03/12/10		MEASUREMENTS	
SHEET NUMBER 4 of 11		JOB NUMBER 4071	
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FLOOR AREAS	
UNIT 1	82.02 sqm
LIVING AREA	18.48 sqm
KITCHEN	5.14 sqm
TERRACE	0.87 sqm
PORCH	0.87 sqm
TOTAL:	111.51 sqm
UNIT 2	12.00 sqm
LIVING AREA	81.44 sqm
KITCHEN	18.48 sqm
TERRACE	8.75 sqm
PORCH	0.87 sqm
TOTAL:	109.54 sqm
UNIT 3	108.18 sqm
LIVING AREA	82.87 sqm
KITCHEN	18.55 sqm
TERRACE	6.21 sqm
PORCH	1.15 sqm
TOTAL:	111.75 sqm
GRAND TOTAL:	330.23 sqm
	35.54 sqm



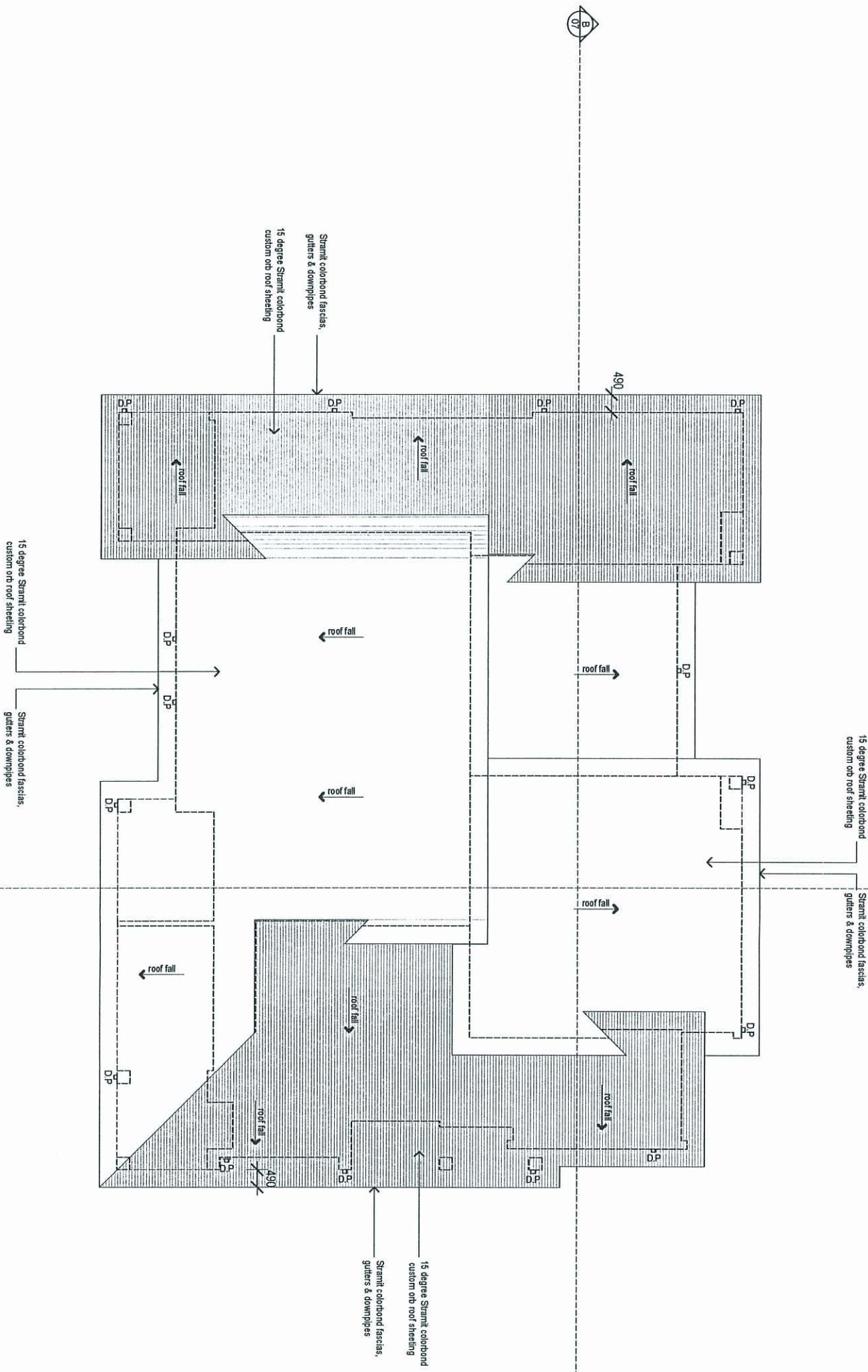
ELEVATIONS

FLOOR PLAN

SCALE 1:100

- NOTES
- Unit of hinges to WC door
 - Provide GPO & cold water provisions to DW space
 - All external and internal doors & windows to be measured on site and confirmed by builder
 - F-foil insulation to all external walls
 - Insulation to ceiling (excluding girders) R2.5 batts
 - All windows & SSCD to be fitted
 - Mechanically vent rooms without natural ventilation
 - All shower roses to be 3 star WELS
 - Flow restrictions fitted - maximum water supply pressure not to exceed 500kpa at any outlet
 - Recycled water from the boundary connection must be connected to external uses, toilets and washing machine
 - Hot water systems shall be heat pump 5 star
 - Fittings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
 - Low flow dual flush toilets 4 star WELS
 - All handrails to be 1000mm above finished floor level
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines

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- Gas cooktops must be provided
- Kitchen rangehoods must be fitted to the outside of the building
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- Energy efficient appliances are required
- Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
- Bathroom wall framing to have additional noggings to allow for future installation of grab rails in showers & toilets
- All doorways to be min. 870mm
- All door handles to be lever style
- Mixer or lever type taps throughout
- All light switches located near doorways at a height between 800mm & 1100mm
- Rider BERS certificate for energy efficiency requirements



3
4
2
1

ELEVATIONS

ROOF PLAN

SCALE 1:100



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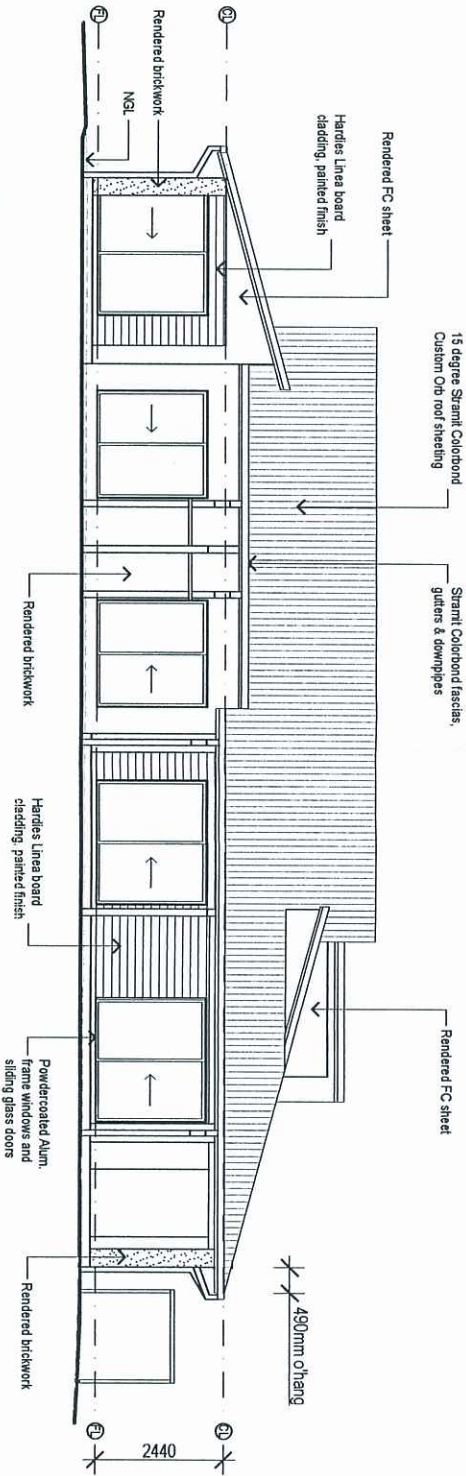
PLANS AND DOCUMENTS
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APPROVAL dated 28/2/11

NOTES:
• EAVE DIMENSIONS INCLUDE 40mm FASCA

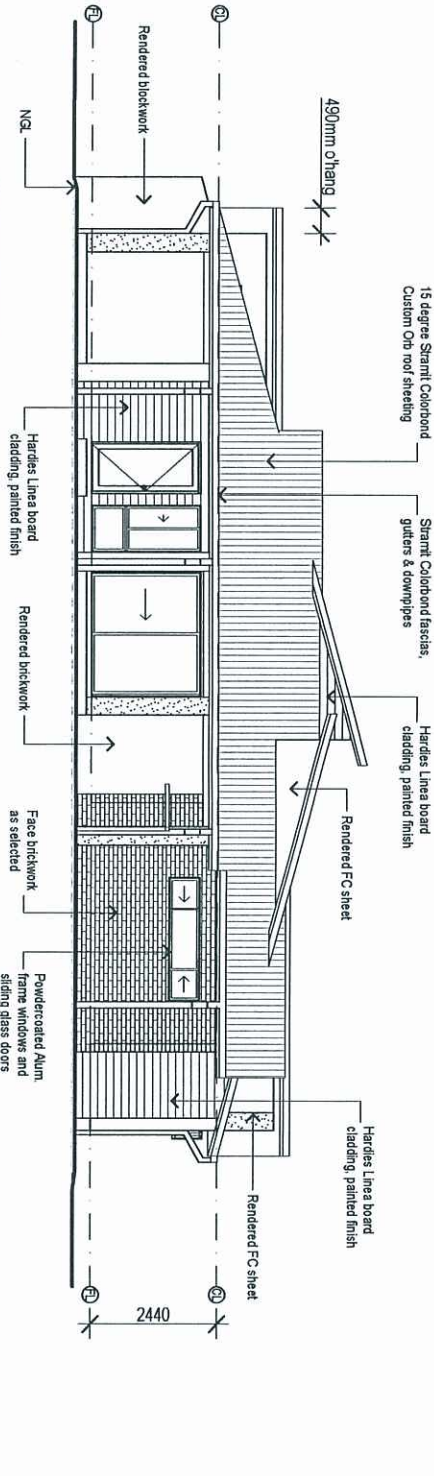
- NOTES
- Lift off hinges to WC door
 - Provide GPO & cold water provisions to DW space
 - All external and internal doors & windows to be measured on site and confirmed by builder
 - Foil insulation to all external walls
 - Insulation to ceiling (excluding garage) R2.5 bats
 - All windows & SSD to be tinted
 - Mechanically vent rooms without natural ventilation
 - All shower roses to be 3 star WELS
 - Flow restrictors fitted - maximum water supply pressure not to exceed 500kpa at any outlet
 - Recycled water from the boundary connection must be connected to external uses, toilets and washing machine cold water taps
 - Hot water systems shall be heat pump 5 star
 - Fittings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
 - Low flow dual flush toilets 4 star WELS
 - All handrails to be 1000mm above finished floor level
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - Gas cooktops must be provided
 - Kitchen rangehoods must be fixed to the outside of the building
 - Ceiling fans must be provided to a minimum of all bedrooms
 - Energy efficient appliances are required
 - Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum BER of 3.4
 - Bathroom wall framing to have additional nogging to allow for future installation of grab rails in showers & toilets
 - All doorways to be min. 870mm
 - All door handles to be lever style
 - Max or lever type knee throughout
 - All light switches recessed near doorways at a height between 800mm & 1100mm
 - Rater BERS certificate for energy efficiency requirements

COLOUR SELECTIONS

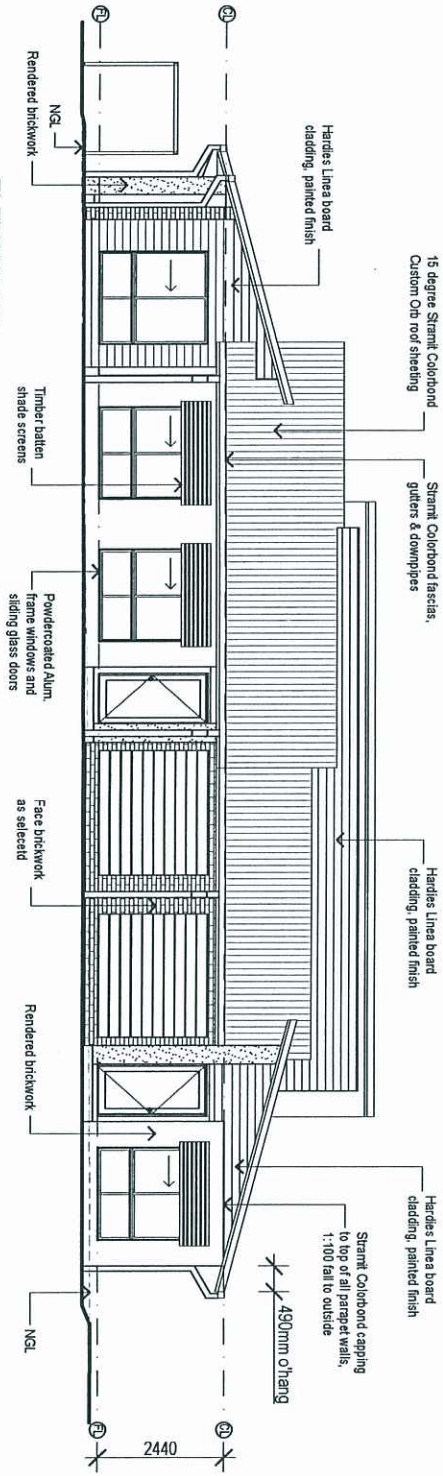
- ROOF - COLORBOND "SURFMIST"
FASCIA, GUTTER & DOWNPIPES - COLORBOND "SURFMIST"
- RENDERED BRICKWORK - RESENE "THORNDON CREAM"
RENDERED FC SHEET - RESENE "THORNDON CREAM"
FACE BRICKWORK - AUSTRAL BRICKS URBAN ONE PEPPER
FEATURE BRICKWORK COLUMNS - RESENE TRIPLE "THORNDON CREAM"
LINEA BOARD - RESENE QUARTER "CRAIGIEBURN"
SHADE SCREENS - RESENE "CEDAR WOODSMAN"
- WINDOWS AND SGD's - G. JAMES "PEARL WHITE"
GARAGE DOORS - COLOR MATCH RESENE "CEDAR WOODSMAN"
ENTRY DOORS - CORINTHIAN SLIMLITE STYLE: PSLM201 COLOR MATCH RESENE "CEDAR WOODSMAN"
- BLOCK FENCE COLUMNS - RESENE HALF "CRAIGIEBURN"
ALUM. BATTEN FENCE - COLORBOND "SURFMIST"
CONCRETE DRIVEWAY - IMAGECRETE



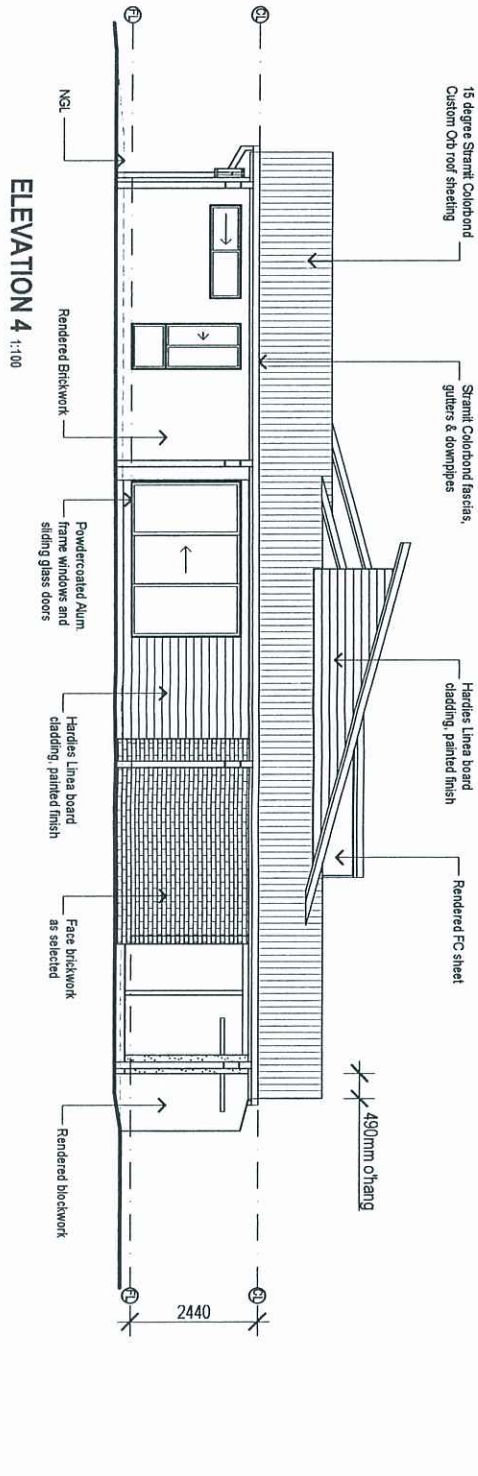
ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



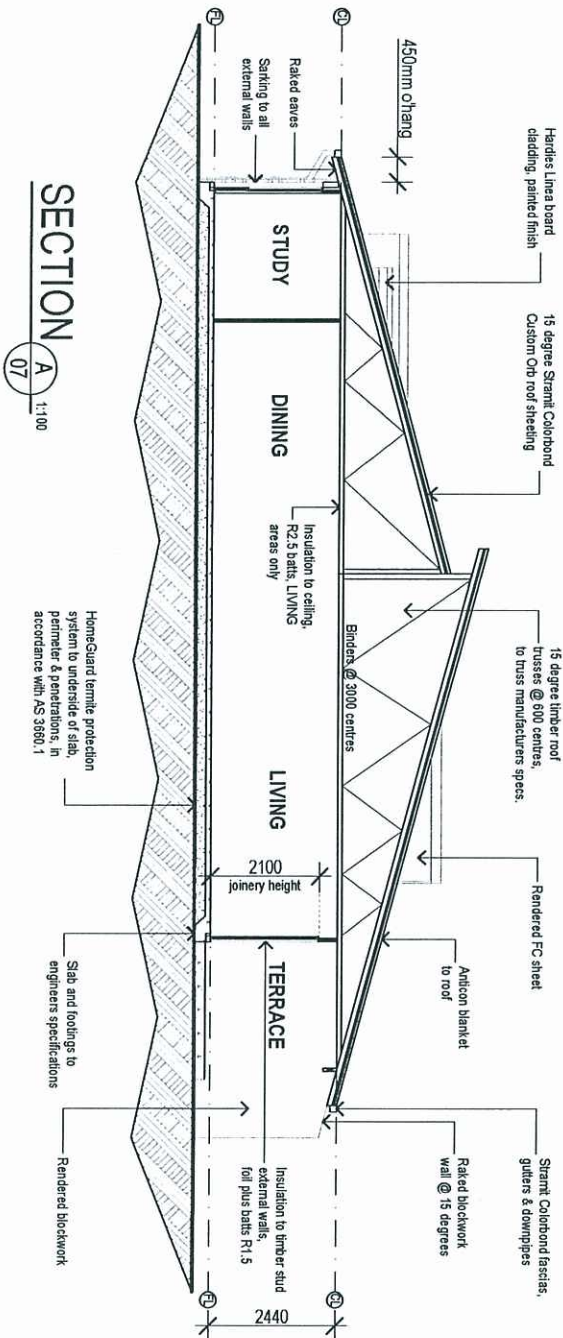
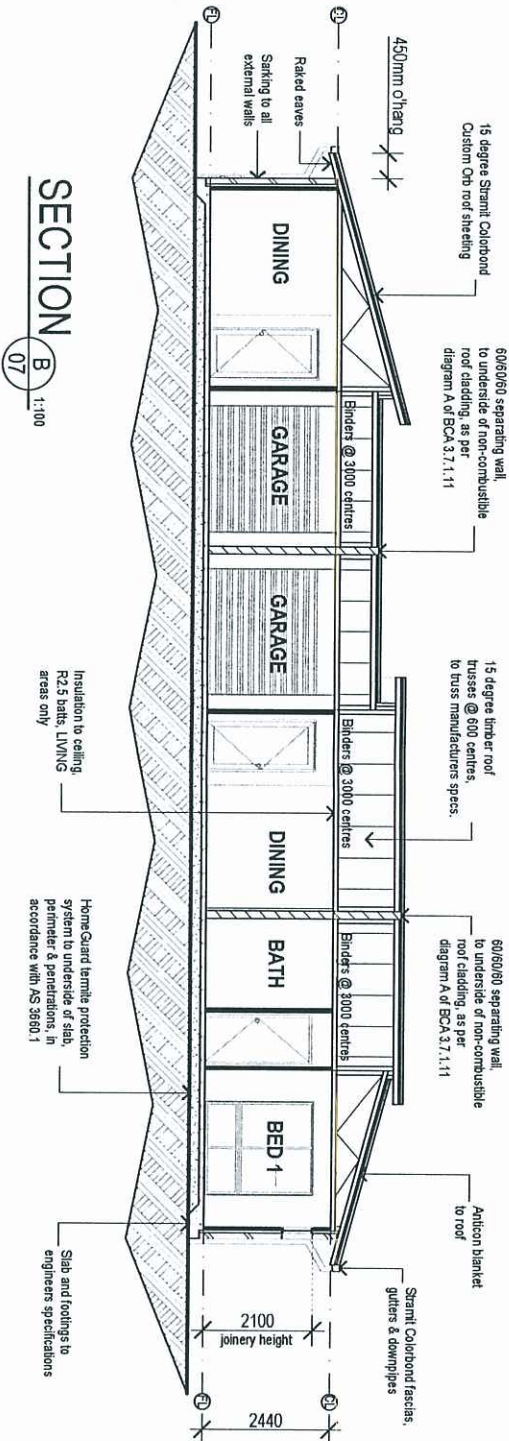
ELEVATION 4 1:100

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NOTES:
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- NOTES
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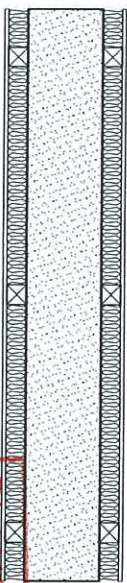
BCA Table 3.8.6.2

CONSTRUCTION OF WALL TO: (A) REDUCED IMPACT SOUND; AND (B) ACHIEVE A51 RW

CONCRETE BLOCKWORK

140mm thick concrete block masonry with-

- each face of the block fitted with 50X50mm timber battens, spaced at not more than 610mm centres, screw-fixed into resilient plugs with rubber inserts; and
- the space between the battens completely filled with the mineral or glass wool blanket or batts not less than 50mm thick; and
- the outer face of the battens finished 13mm thick BORAL plasterboard



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DAUB FIX BORAL 13mm thick PLASTERBOARD, DIRECT TO WALL, IN ALL OTHER CASES

STUART OSMAN BUILDING DESIGNS		 MEMBER OF Master Builders		 MEMBER OF HIA		 ENDORSED Sustainable Building Designer	
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