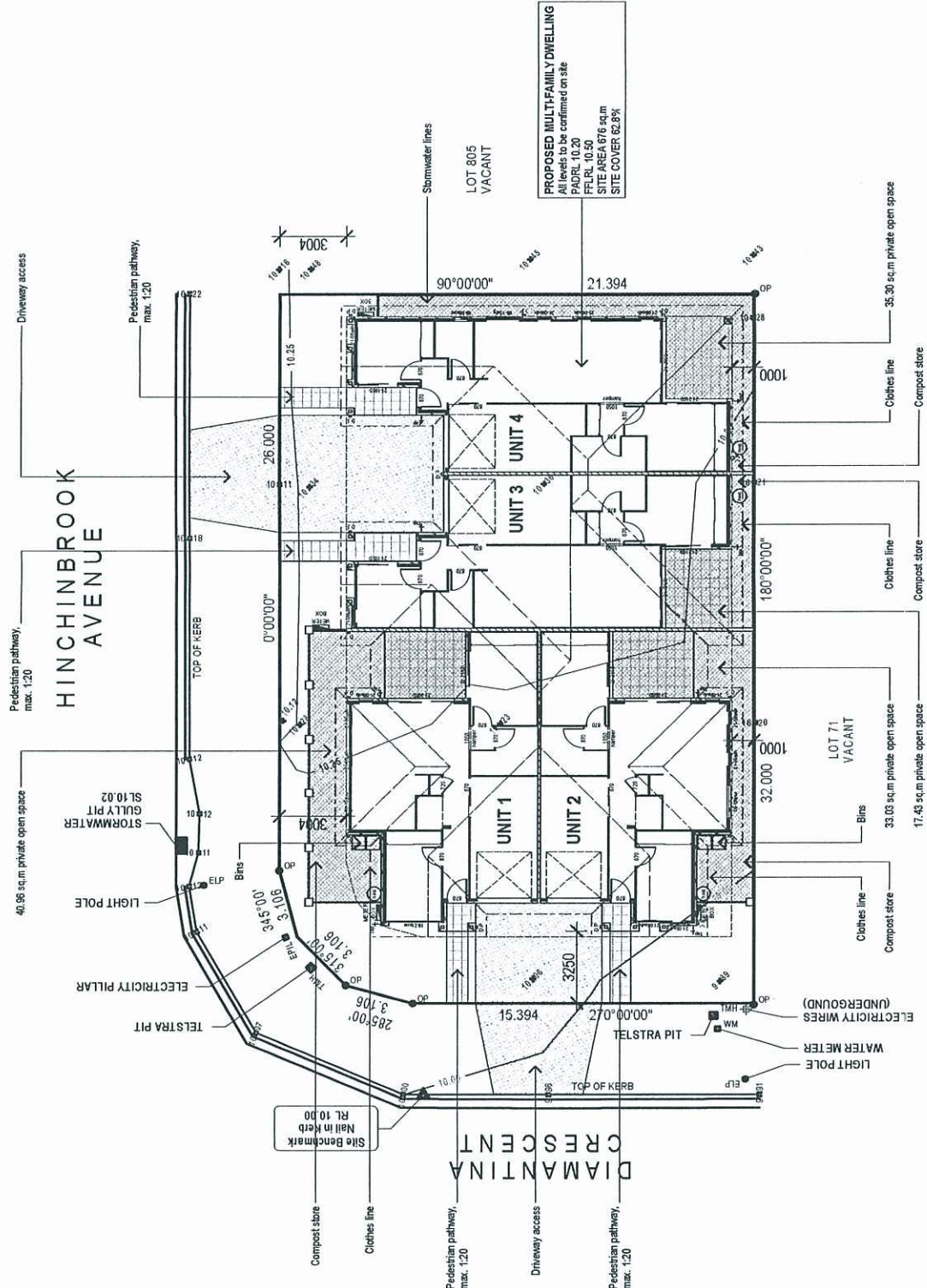


- NOTES:
- * Discharge waste to connection point
 - * Provide sediment control to site where req'd
 - * Discharge stormwater to on site recycled water connection point
 - * Meter box position T.B.C on site
 - * All retaining walls by owner

****NOTE**** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2. & 3.5.2. AS WELL AS AS/NZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****

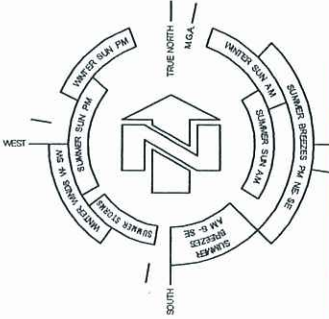


RAIN WATER STORAGE TANKS IN ACCORDANCE WITH THE QUEENSLAND DEVELOPMENT CODE - PART 4.2 & 4.3

MANDATORY RAINWATER TANK 3000L PER DUPLEX UNIT, 6000L PER SINGLE DETACHED DWELLING. FOR WC'S, WASHING MACHINE COLD WATER TAPS & EXTERNAL TAPS. LOCATION TBC ON SITE TO PROVIDE THE LESSER OF 1000mm² OR HALF-ROOF CATCHMENT AREA. WITH 15 LITRE FIRST FLUSH DIVERSION AS PER BUILDER. AUTO SWITCHING DEVICE OR TRICKLE-UP SYSTEM REQUIRED ATTACHED TO TOWN WATER WITH BACKFLOW PREVENTION DEVICE. ALL TANKS TO BE MIN 450mm FROM SIDE OR REAR BOUNDARY. TANKS OVER 2.4M HIGH TO BE MIN 1.5M FROM SIDE OR REAR BOUNDARY. RELAXATION REQUIRED FOR TANKS IN 9M FRONT SETBACK. OVERFLOW TO BE CONNECTED TO LEGAL POINT OF DISCHARGE.

GL	GL 10.200
CUT	Scrape
FILL	Scrape
F.L	FL 10.500

approx.



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 1 / 3 / 11

ALAN SULLIVAN & Associates Pty. Ltd.
Consulting Surveyors
PO Box 3852, Burleigh Heads QLD 4220
8/12 Elm Harley Drive, Burleigh Heads, QLD 4220
Ph (07) 5522 1445, Fax (07) 5522 1449
Mob 0412 671 630, Email admin@survey.com.au

Site Lot: 70 on RPSP: SP234612
Street / Road: DIAMANTINA CRESCENT
Suburb: FITZGIBBON
Local Authority: BRISBANE CITY COUNCIL
Parish: NUNDAH County: STANLEY
UBD Ref: - Area: 676sqm

Services
Sewerage: Yes
Stormwater: Yes (To Kerb)
Water: Yes
Electricity: Yes (Underground)
Telephone: Yes (Underground)
Gas: Not Sighted
Road: Blummen
Kerb: Yes (Mountable)
Footpath: No
Flood Level: Check With Council

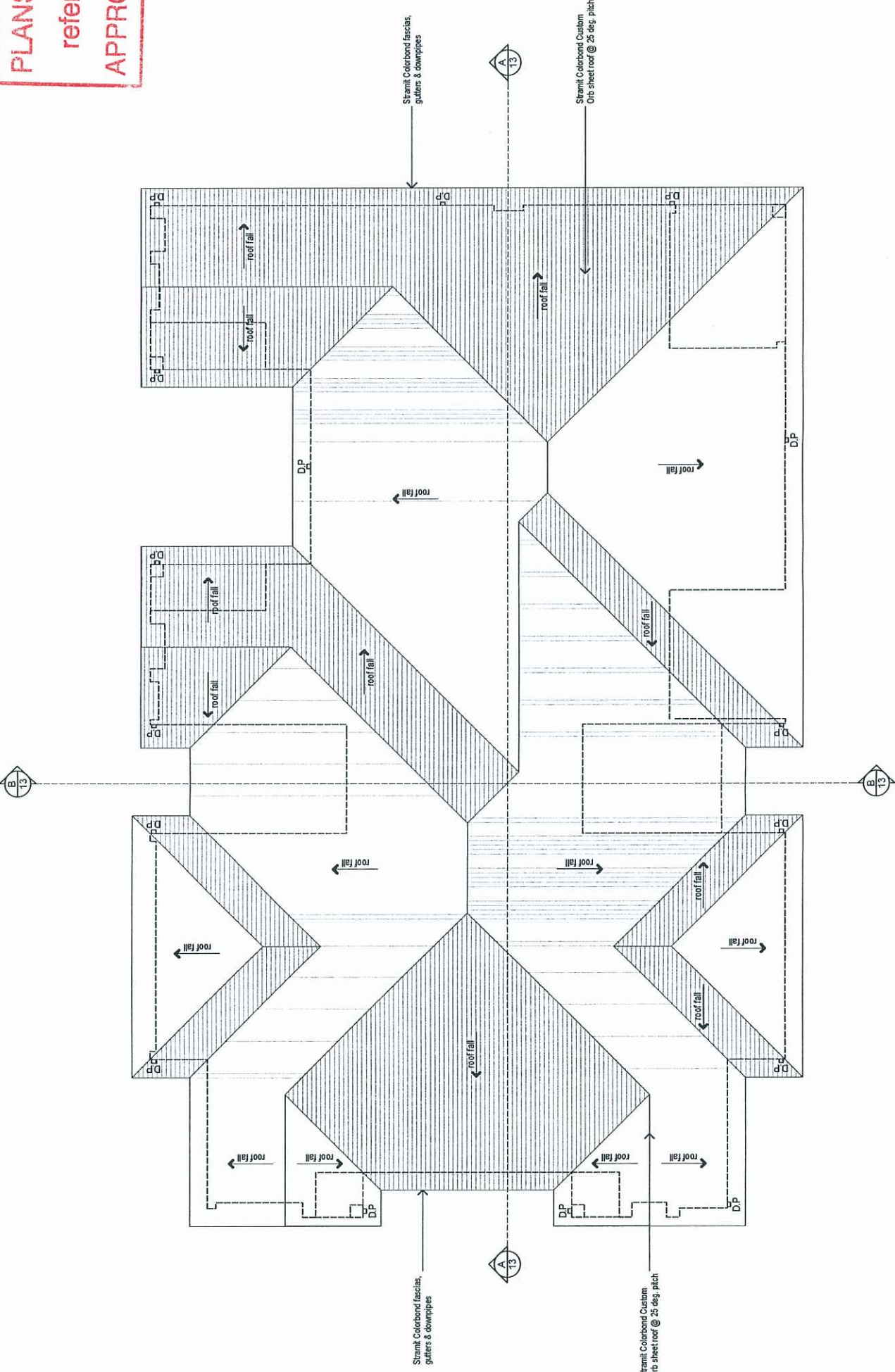
Client: **STUART OSMAN BUILDING DESIGNS**

Notes
THIS PLAN HAS BEEN PREPARED FROM FIELD SURVEY AND EXISTING RECORDS FOR OUR CLIENTS TO DESIGN NEW STRUCTURES ON THIS SITE AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE OR BY ANY OTHER PERSONS OR ORGANISATION. THE SURVEYOR'S LIABILITY IS LIMITED TO THE DESIGN AND ASSOCIATED P.L. MONITORING SERVICES HAVE NOT BEEN OBTAINED BUT ARE AVAILABLE FROM THE LOCAL AUTHORITY OR AGENT WHICH HAVE UNDERTAKEN THE SURVEY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE DESIGN AND ASSOCIATED P.L. MONITORING SERVICES HAVE NOT BEEN OBTAINED BUT ARE AVAILABLE FROM THE LOCAL AUTHORITY OR AGENT WHICH HAVE UNDERTAKEN THE SURVEY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE DESIGN AND ASSOCIATED P.L. MONITORING SERVICES HAVE NOT BEEN OBTAINED BUT ARE AVAILABLE FROM THE LOCAL AUTHORITY OR AGENT WHICH HAVE UNDERTAKEN THE SURVEY.

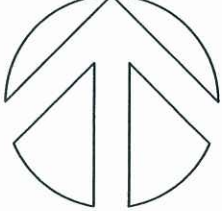
SERVICES WARNING ALAN SULLIVAN & ASSOCIATES P/L TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY NON VISIBLE SERVICE	FLOOD SEARCH WARNING ALAN SULLIVAN & ASSOCIATES P/L HAS NOT COMPLETED A FLOOD SEARCH ON THIS PROPERTY. CHECK COUNCIL FLOOD INFORMATION.	IDENTIFICATION SURVEY WARNING THIS CONTOUR AND FEATURE SURVEY, AS PREPARED BY ALAN SULLIVAN & ASSOCIATES P/L DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR OTHER FEATURES. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN A FURTHER SURVEY FOR FURTHER A DVICE.	TITLE SEARCH WARNING ALAN SULLIVAN & ASSOCIATES P/L HAS NOT CARRIED OUT A TITLE SEARCH OR THE SURVEY. CHECK DEEDS FOR EASEMENTS AND ENCUMBRANCES.
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NOTES:

- * Lift off hinges to WC door
- * Provide GPO & cold water provisions to DW space
- * All external and internal doors & windows to be measured on site and confirmed by builder
- * Fall insulation to all external walls
- * Insulation to ceiling (excluding garage) R2.5 batts
- * All windows & SGD to be linked
- * Mechanically vent rooms without natural ventilation
- * Flow restrictions filled - maximum water supply pressure not to exceed 500kpa at any outlet
- * Recycled water from the boundary connection must be connected to external uses: toilets and washing machine cold water taps
- * Hot water systems shall be heat pump, 5 star
- * Filings to be 4 star WELS filled in kitchen sink, bathroom basins & laundry trough
- * Low flow dual flush toilets 4 star WELS
- * All basins to be 1000mm above finished floor level
- * 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
- * 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
- * Gas cooktops must be provided
- * Kitchen rangehoods must be fixed to the outside of the building
- * Ceiling fans must be provided to a minimum of all bedrooms
- * Energy efficient appliances are required
- * Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
- * Bathroom wall framing to have additional noggings to allow for future installation of grab rails in showers & toilets
- * All door handles to be min. 870mm minimum
- * All door handles to be lever style
- * Minor or fewer type legs throughout
- * All light switches located near doorways at a height between 800mm & 1100mm
- * Refer EBERS certificate for energy efficiency requirements



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 1 / 3 / 11



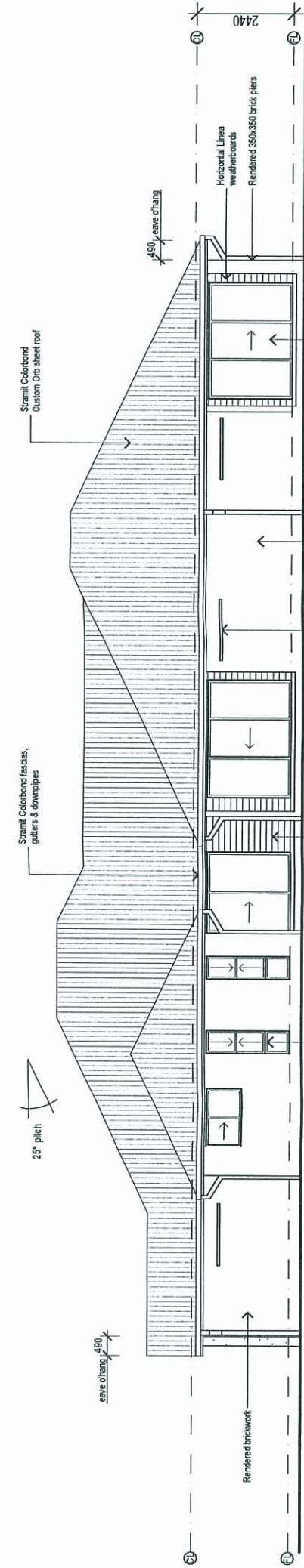
 STUART OSMÁN BUILDING DESIGNS Phone: (07) 55 203 022 Fax: (07) 55 203 033 PO Box 2846 Burleigh Heads DC 06 4220 Address: 2971 Leveque Drive, West Burleigh, QLD 4219 CITY OF BURLEIGH HEADS BSA Licence No. 123697 Email: design@osm.com.au		MEMBER OF  Master Builders CHARTERED MEMBER OF HIA building designers association of queensland inc.		 ENDORSED Sustainable Building Designer		THIS DESIGN IS THE EXCLUSIVE PROPERTY OF STUART OSMÁN BUILDING DESIGNS NO PART OF THIS DESIGN IS TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF STUART OSMÁN BUILDING DESIGNS	
BUILDER		CLIENT CROWN PROPERTY PTY. LTD.		PROJECT PROPOSED RESIDENCE LOT 70 HINCHINBROOK AVE. FITZGERALD CHASE		DESIGN CUSTOM	
DATE A 18/11/2010		SCALES 1:100 @ A2 B 301110		AMENDMENTS		REVISIONS	
SHEET NUMBER 5 of 12		JOB NUMBER 4073		BE WASHED, SUBSTITUTION OF ANY STRUCTURAL MEMBER, AND OR ANY VARIATION TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF STUART OSMÁN BUILDING DESIGNS FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING		© Copyright reserved in part or whole. Written dimensions take precedence. Contractor to verify dimensions. Notably designers of discrepancies. Failure to do so shall void the designers responsibilities.	

NOTES:

- Lift off hinges to WC door
- Provide GPO & cold water provisions to DWI space
- All external and internal doors & windows to be measured on site and confirmed by builder
- Foil insulation to all external walls
- Insulation to ceiling (excluding garage) R2.5 batts
- All windows & SGD to be timbered
- Mechanically vent rooms without natural ventilation
- All shower rises to be 3 star WELS
- Flow restrictions fitted - maximum water supply pressure not to exceed 500kpa at any outlet
- Recycled water from the boundary connection must be connected to external uses, toilets and washing machine cold water taps
- Hot water systems shall be heat pump 5 star
- Fixings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
- Low flow dual flush toilets 4 star WELS
- All handrails to be 1000mm above finished floor level
- 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
- Gas cooktops must be provided
- Kitchen rangehoods must be fitted to the outside of the building
- Ceiling fans must be provided to a minimum of all bedrooms
- Energy efficient appliances are required
- Split system air-conditioners must have a minimum of 4.5 star heating and cooling energy rating. Ducted systems must have a minimum EER of 3.1
- Bathroom wall framing to have additional noggings to allow for future installation of grab rails in showers & toilets
- All doorways to be min. 870mm
- All door handles to be lever style
- Mixer or lever type taps throughout
- All light switches located near doorways at a height between 900mm & 1100mm
- Refer BERS certificate for energy efficiency requirements

COLOUR SELECTIONS

- ROOF - COLORBOND "WOODLAND GREY"
- FASCIA, GUTTER & DOWNPIPES - COLORBOND "WOODLAND GREY"
- RENDERED BRICKWORK - RESENE "THORNDON CREAM"
- FEATURE BRICKWORK COLUMNS - RESENE TRIPLE "HILLARY"
- LINEA BOARD - RESENE HALF "ARROWTOWN"
- SHADE SCREENS - RESENE "CEDAR WOODSMAN"
- WINDOWS AND SGD's - COLORBOND "WOODLAND GREY"
- GARAGE DOORS - COLOR MATCH RESENE "CEDAR WOODSMAN"
- ENTRY DOORS - CORINTHIAN SLIMLITE STYLE: PSLM201 COLOR MATCH RESENE "CEDAR WOODSMAN"
- BLOCK FENCE COLUMNS - RESENE HALF "ARROWTOWN"
- ALUM. BATTEN FENCE - COLORBOND "WOODLAND GREY"
- CONCRETE DRIVEWAY - IMAGECRETE

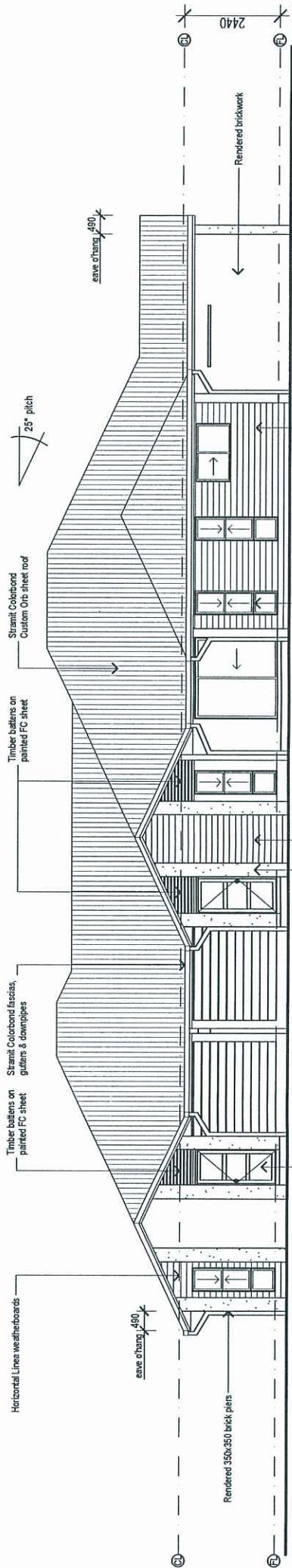


ELEVATION 1 1:100

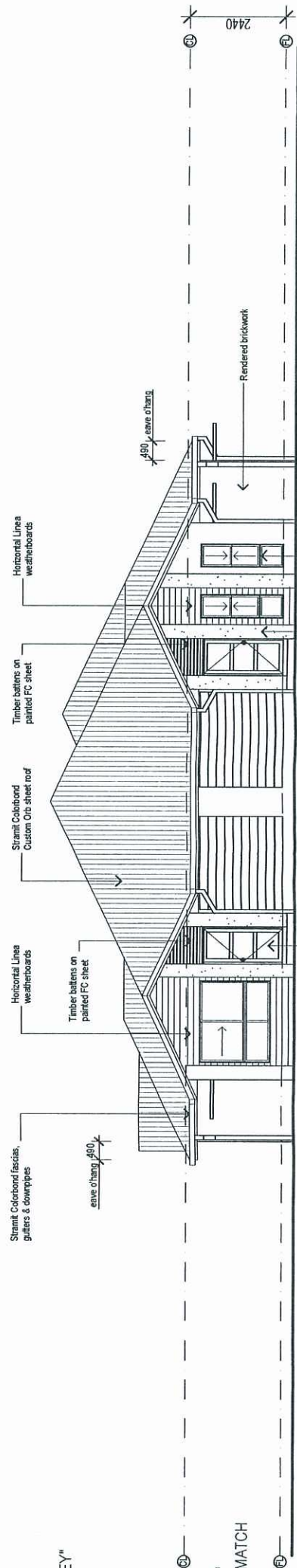
PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 1 / 3 / 11



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

NOTES:
• EAVEDIMENSIONS INCLUDE 40mm FASQA



STUART OSMÁN
BUILDING DESIGNS

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Address 2711 Towetly Drive, West Burleigh, QLD 4219
AUSTRALIA
BSA Licence No. 1128927
Email: design@stuartosman.net



BUILDER

CLIENT CROWN PROPERTY PTY. LTD.	
PROJECT PROPOSED RESIDENCE LOT 70 HINCHINBROOK AVE FITZGIBBON CHASE	
DRAWN BY MJ	CHECKED BY SO
DESIGN CUSTOM	
DATE A 18/11/2010	
SCALES 1:100 @ A2	AMENDMENTS B 301110
SHEET NUMBER 6	of 12
JOB NUMBER 4073	
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Email: design@stuartosman.net



ENDORSED
Sustainable Building Design

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H & A WRITTEN AGREEMENT HAS PRECEDED OVER SCALED SIZES

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CLIENT
CROWN PROPERTY
PTY. LTD.

PROJECT
PROPOSED RESIDENCE
LOT 70
HINCHINBROOK AVE,
FITZGIBBON CHASE

DRAWN BY
MJ

CHECKED BY
SO

DESIGN
CUSTOM

DATE
A 18/11/2010

SCALES
1:100 @ A2
B 301110

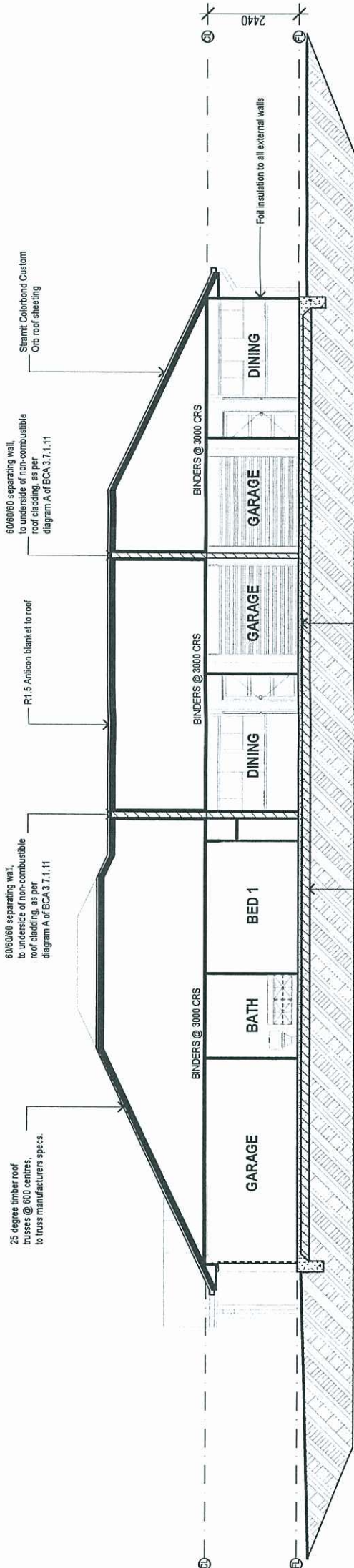
AMENDMENTS

SHEET NUMBER
7 of 12

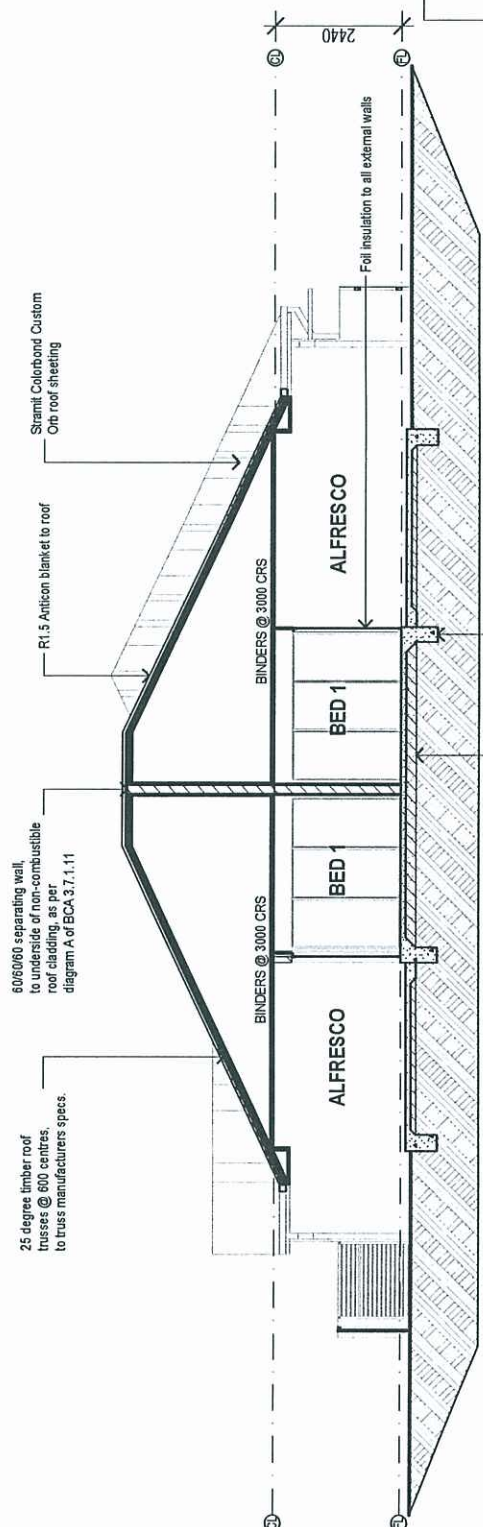
JOB NUMBER
4073

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dimensions take preference.
Contractor to verify dimensions.
Notably designers of discrepancies.
Failure to do so shall void
the designers responsibilities

PLANS AND DOCUMENTS
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APPROVAL dated 1 / 3 / 11



SECTION A 1:100
13



SECTION B 1:100
13

- NOTES:
- 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - Gas cooktops must be provided
 - Kitchen rangehoods must be fixed to the outside of the building
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 - Energy efficient appliances are required
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 - Bathroom wall framing to have additional noggings to allow for future installation of grab rails in showers & toilets
 - All doorways to be min. 870mm
 - All door handles to be lever style
 - All light switches located near doorways at a height between 900mm & 1100mm
 - Refer BERS certificate for energy efficiency requirements
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines
 - Provide GPO & cold water provisions to DW space
 - All external and internal doors & windows to be measured on site and confirmed by builder
 - Full insulation to all external walls
 - Insulation to ceiling (excluding garage) R2.5 batts
 - All windows & SGD to be tinted
 - Mechanically vent rooms without natural ventilation
 - All shower roses to be 3 star WELS
 - Flow restrictions fitted - maximum water supply pressure not to exceed 500kpa at any outlet
 - Recycled water from the boundary connection must be connected to external uses, toilets and washing machine cold water taps
 - Hot water systems shall be heat pump 3 star
 - Fittings to be 4 star WELS fitted in kitchen sink, bathroom basins & laundry trough
 - Low flow dual flush toilets 4 star WELS
 - All handrails to be 1000mm above finished floor level
 - 100% of all internal lighting to be energy efficient fluorescent as per Queensland Development Code guidelines

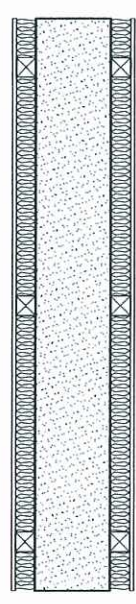
BCA Table 3.8.6.2

CONSTRUCTION
OF WALL TO:

CONCRETE BLOCKWORK

140mm thick concrete block masonry with-

- (a) each face of the block filled with 50X50mm timber battens, spaced at not more than 610mm centres, screw-fixed into resilient plugs with rubber inserts; and
- (b) the space between the battens completely filled with the mineral or glass wool blanket or batts not less than 50mm thick; and
- (c) the outer face of the battens finished 13mm thick BORAL plasterboard



(A) REDUCED IMPACT SOUND; AND
(B) ACHIEVE A51 Rw

BATTEN DETAIL TO LIVING AREAS ONLY

DAUB FIX BORAL 13mm thick PLASTERBOARD, DIRECT TO WALL, IN ALL OTHER CASES