

Structural footings are to be a minimum 1200mm horizontally from sewer and stormwater infrastructure including house Connections AND be founded a minimum 300mm below the zone of influence.

All floor levels and other site specific details are design details only and are subject to change due to construction tolerances and site variables.

IMPORTANT NOTE:

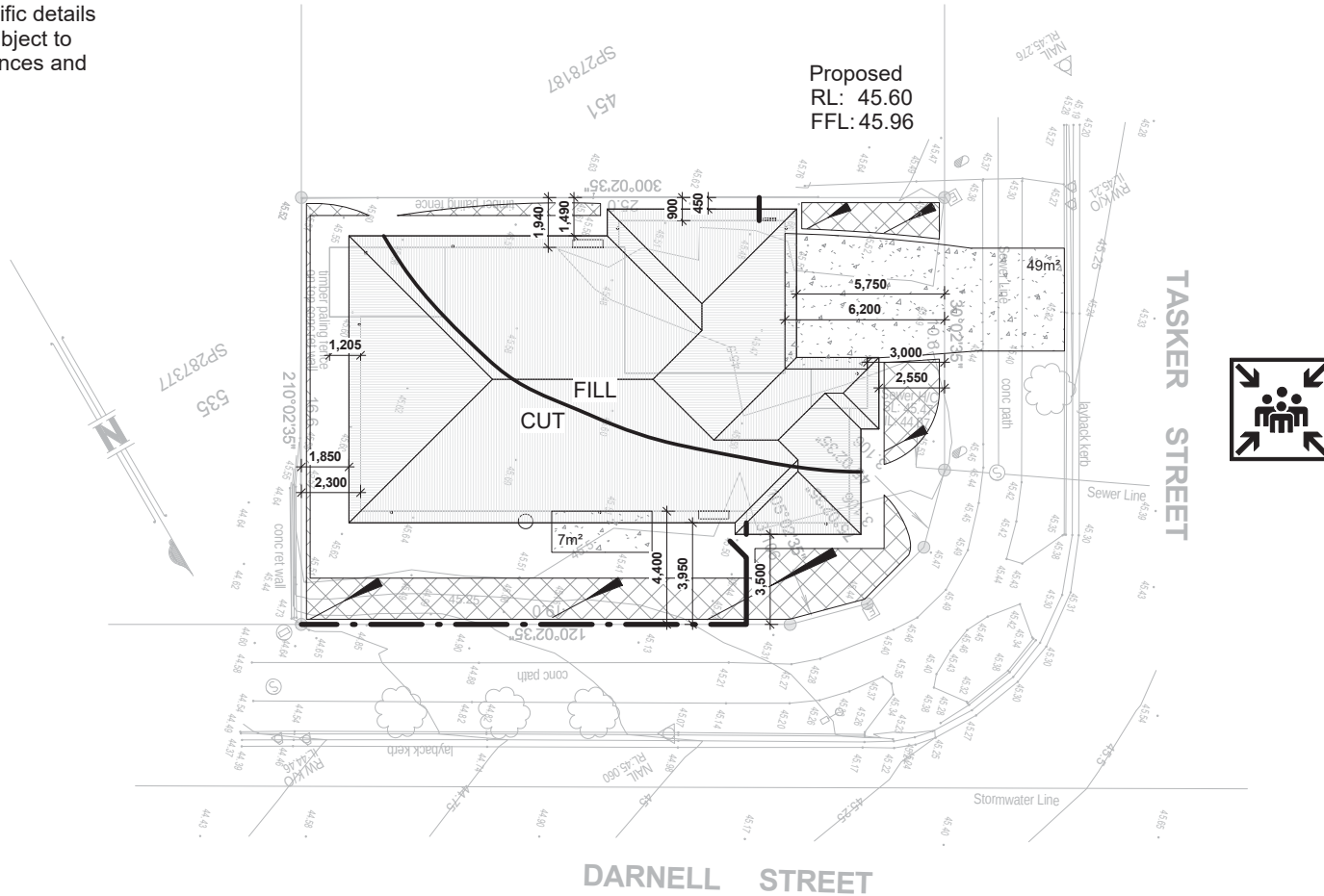
This block utilizes Optical Fiber cabling. Please see the job supervisor to ensure the correct method of installation is implemented.

IMPORTANT NOTE:

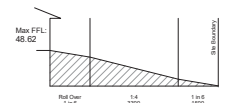
External Concrete - Please provide control joints in accordance with Australian Standards. All control joints to be cut in within 24 hrs of the pour.

IMPORTANT NOTE:

Logan Council requires footpath to be cut out for driveway.



-  Downpipe
 Elect Meter Box
 Gas Meter Box
 Int Fuse Box
 Gas HWS
 Gas Cylinder
 Solar HWS
 AC AC Condenser
 Solar Panel
 Muster Point
 Batter (with direction of fall)



All Required Fencing to be Timber Rail & Paling
1800H with access gates as shown.

All Required Secondary Fencing to be Painted
Capped Timber Rail and Paling with Exposed Posts.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/966

Date: 01/02/19

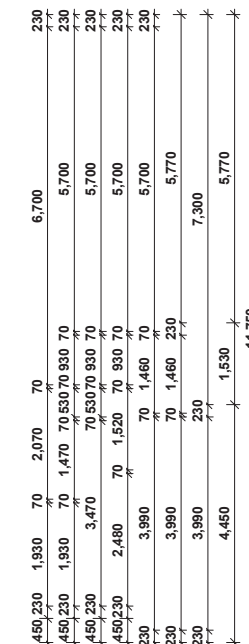
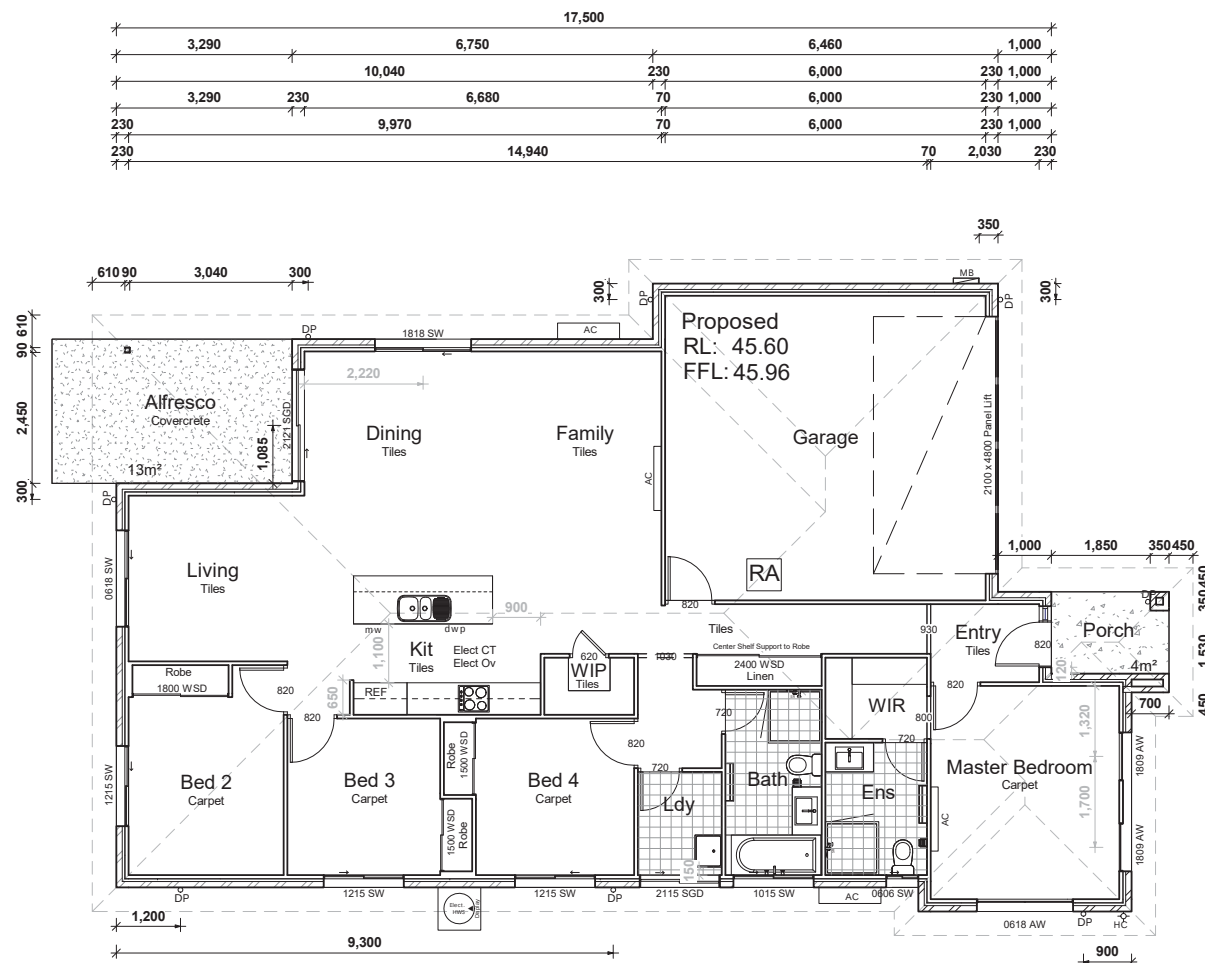
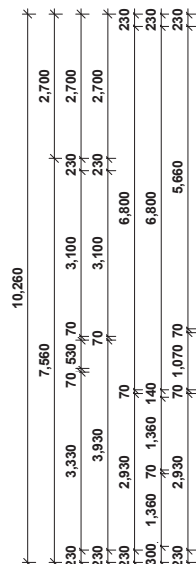


1 Site Plan
1 : 200

	CLIENT	Antthoni Tangata Tu Tai Mahakitau Glassie	PROPERTY DESCRIPTION	Parish: County: Map Ref: Local Authority: Wind Rating: N2 Area of Land: 406m2 Site coverage: 48%	Moffatt Ward Logan City Council	DESIGN: Hunter	Ceiling GF Ceiling FF Ceiling SF Roof Pitch Roof Material Eave O'hang	2440 25.00° Colorbond 450	02 SITE			1 : 200	CLIENT SIGN.	SIGN: _____		
		SITE ADDRESS		Lot 450 (19) Tasker Street . YARRABILBA . QLD . 4207			DRAWING DETAILS	Job Number: 136882 Issue: Working Drawings Date: 30/08/2018	AMENDMENTS	# DATE DESCRIPTION						DATE: ____/____/____
	SP 278187										This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd. © Copyright 2014 Impact Homes Pty Ltd.					

Unless dimensioned all windows are to be centred to the room in which they are located. If a window is NOT centred OR dimensioned - ASK the job supervisor

Floor Areas	
GF Living	143.27 m ²
Garage	37.20 m ²
Alfresco	12.14 m ²
Porch	3.37 m ²
	195.97 m ²



300	1,800	70	960	70	4,740	70	1,680	70	1,030	70	2,340	70	1,900	70	2,030	230	1,500	
300	1,800	70	960	70	1,170	70	3,500	70	1,680	70	1,570	70	1,800	70	1,900	70	3,530	
230	2,900	70	2,860	70	530	70	2,960	70	1,570	70	1,800	70	1,900	70	3,530	230	1,500	
																15,010	230	3,530
																15,010	3,990	
																19,000		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



Approval no: DEV2018/966

Date: 01/02/19

Ground Floor Plan

1 : 100

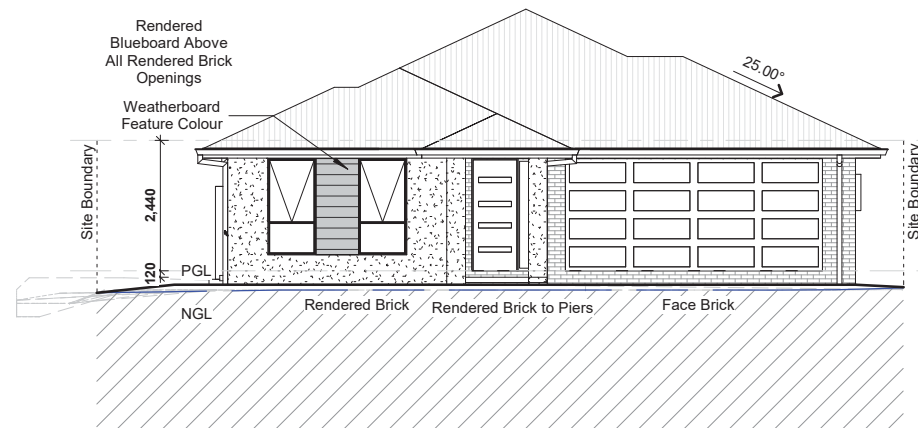


CLIENT	Anthoni Tangata Tu Tai Mahakitau Glassie	PROPERTY DESCRIPTION	Parish: County: Map Ref: Local Authority: Wind Rating: Area of Land: Site coverage:	Moffatt Ward Logan City Council N2 406m2 48%	DESIGN: Hunter CONSTRUCTION DET.:	Ceiling GF Ceiling FF Ceiling SF Roof Pitch Roof Material Eave O'hang	2440 25.00° Colorbond 450	03 GROUND FLOOR 1 : 100			CLIENT SIGN.	SIGN: _____
	SITE ADDRESS		Lot 450 (19) Tasker Street . YARRABILBA . QLD . 4207 SP 278187	DRAWING DETAILS		Job Number: Issue: Date:	136882 Working Drawings 30/08/2018	# DATE DESCRIPTION	AMENDMENTS	DATE: ____/____/____		This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd © Copyright 2014 Impact Homes Pty Ltd

1

Elevation A

1 : 100



PLANS AND DOCUMENTS
referred to in the PDA
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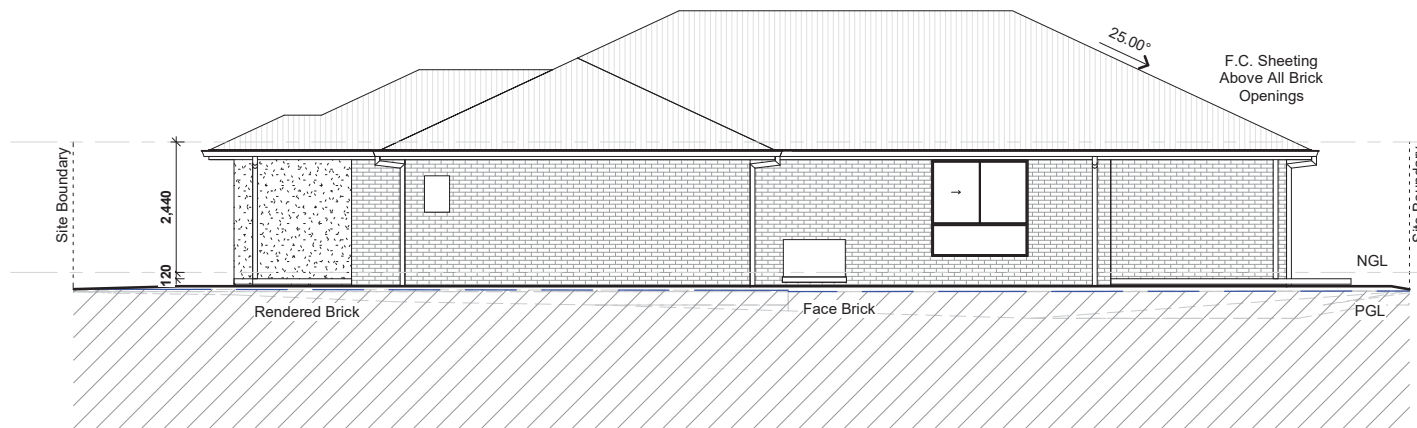
Date: 01/02/19



2

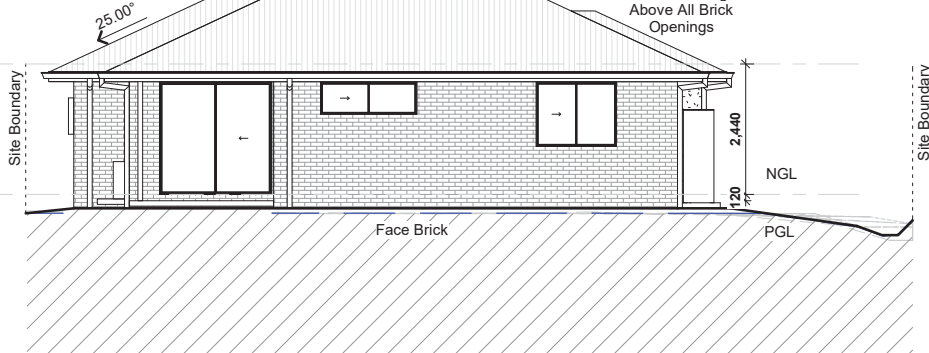
Elevation B

1 : 100

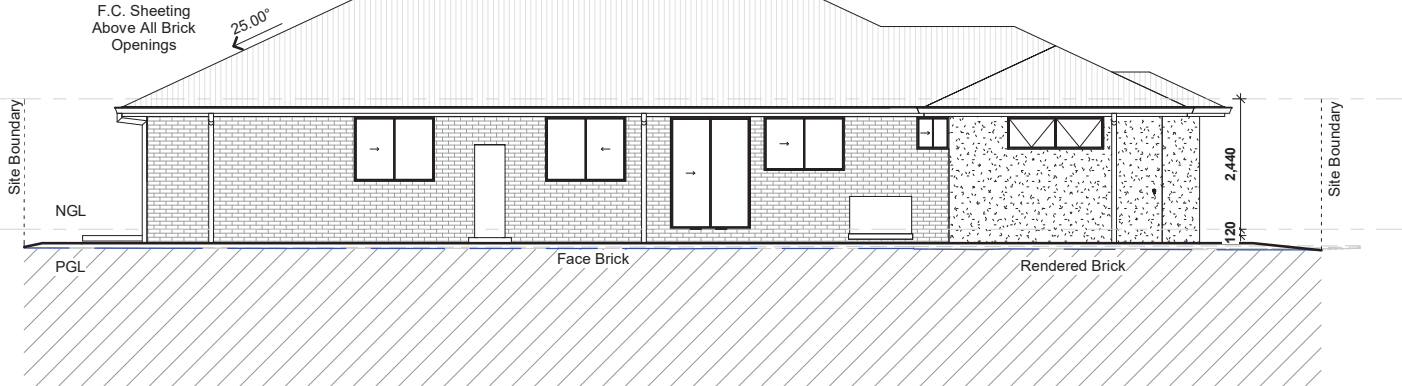


CLIENT Anthoni Tangata Tu Tai Mahakaitau Glassie SITE ADDRESS Lot 450 (19) Tasker Street . YARRABILBA . QLD . 4207 SP 278187	PROPERTY DESCRIPTION Parish: Moffatt Ward County: Logan City Council Map Ref: N2 Local Authority: 406m2 Wind Rating: 48% Area of Land: 136882 Site coverage: Working Drawings Issue: 30/08/2018 Date:	DESIGN: Hunter Ceiling GF: 2440 Ceiling FF: 25.00° Ceiling SF: Colorbond Roof Pitch: 450 Roof Material: Eave O'hang	04 ELEVATION 1		1 : 100	CLIENT SIGN SIGN: _____ DATE: ____/____/____ This plan may not be copied in part or in whole without the written permission of Impact Homes Pty Ltd. © Copyright 2014 Impact Homes Pty Ltd.
			AMENDMENTS	#	DATE	DESCRIPTION

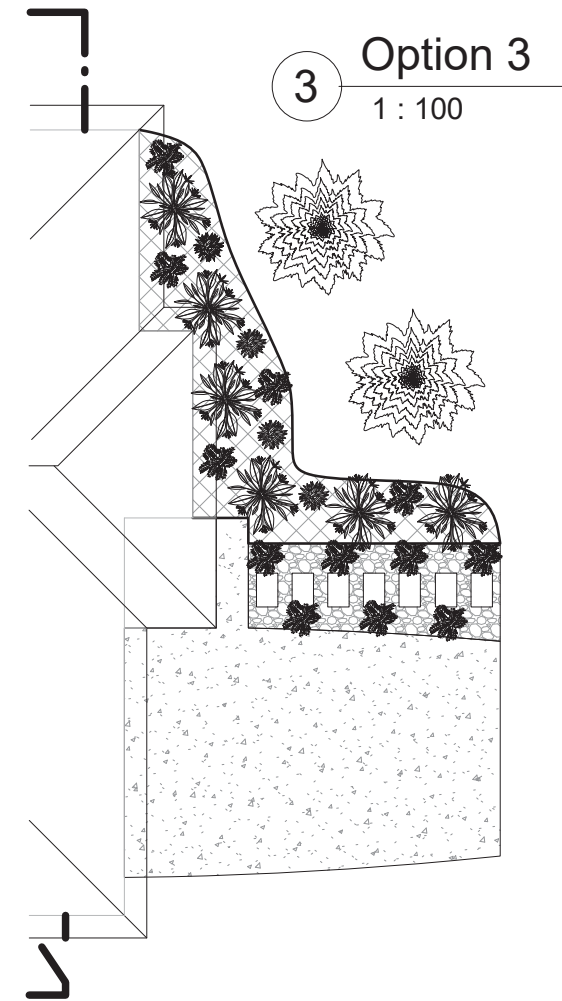
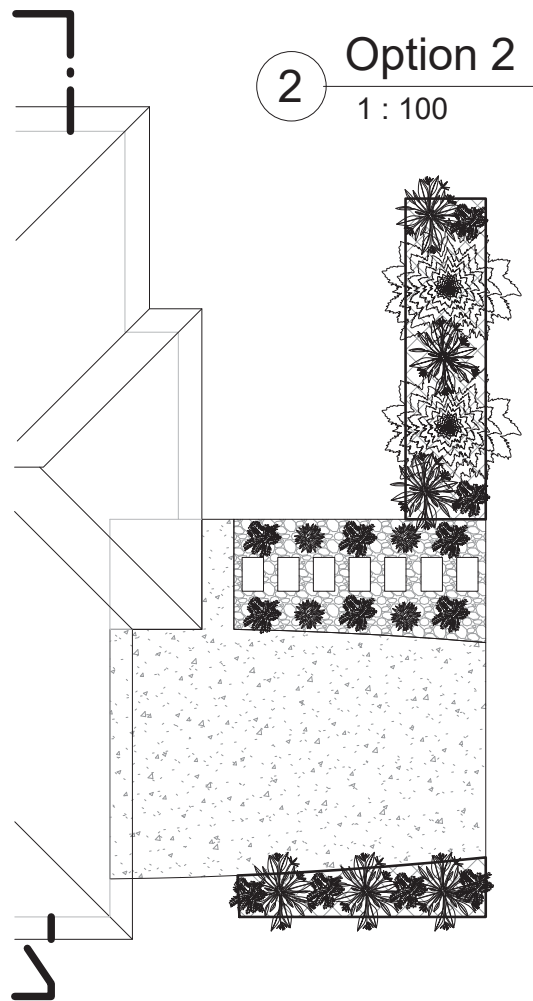
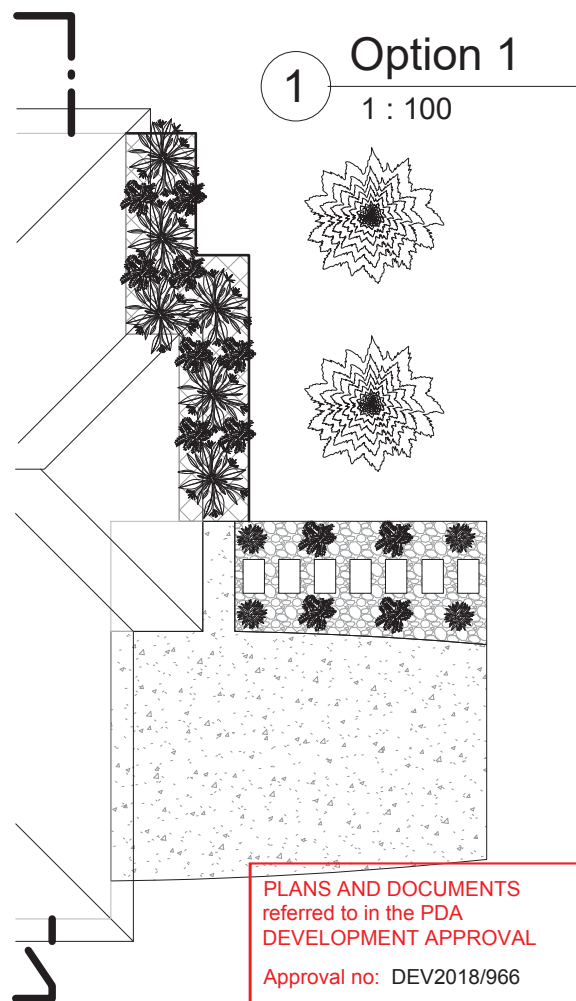
1



2



	CLIENT	Anthony Tangata Tu Tai Mahakitau Glassie	PROPERTY DESCRIPTION	Parish: County: Moffatt Ward	DESIGN: Hunter	04a ELEVATION 2			1 : 100			CLIENT SIGN.	SIGN: _____																																																																																																																																																																																																																																																																																																																																																																																																																																														
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IMPACT HOMES	SITE ADDRESS	SP 278187	DRAWING DETAILS	Wind Rating: N2	CONSTRUCTION DET.	Roof Pitch 25.00°	Roof Material Colorbond	Eave O'hang 450	#	DATE	DESCRIPTION	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____	_____



NOTE: For side and rear Setbacks that are less than 1500mm, landscaping treatments are to be Pebbles in lieu of Turf.



White Pebble

Mulched Garden (alternative White Pebble)

Standard gardens to consist of above plant list, or similar. Should species be unavailable, similar plants of the same or greater size will be used.



4 pcs	Yucca	300ml pot
2 pcs	Pencil or Standard Pine Trees	300ml pot
12 pcs	Xanadu Shrub/Ground Cover	300ml pot
6 pcs	Bird of Paradise	300ml pot

#	DATE	DESCRIPTION