



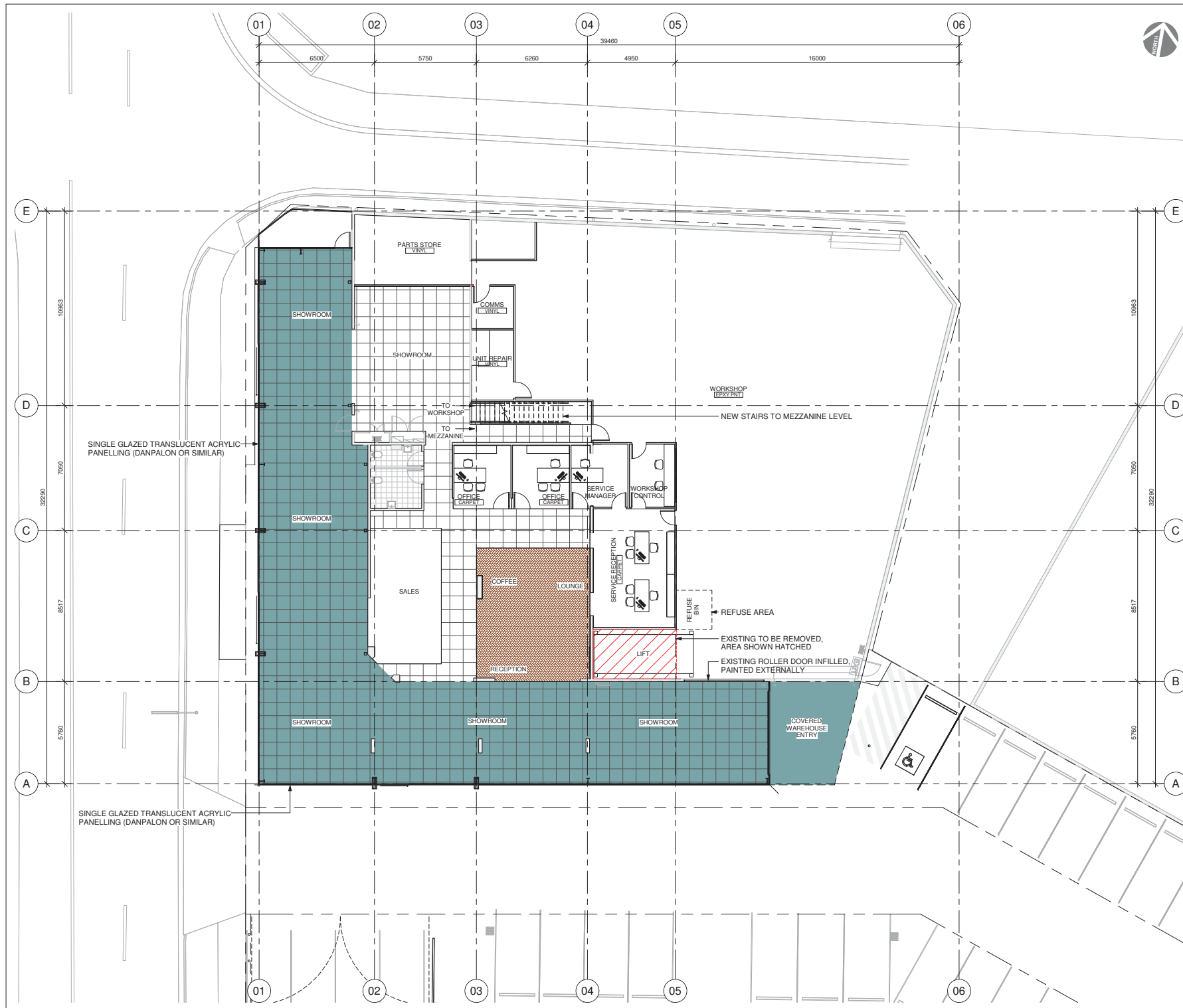
REAL PROPERTY DESCRIPTION:	
LOT No:	1
RP No:	RP856323
PARISH:	NORTH BRISBANE
COUNTY:	STANLEY
AREA:	1 860 m²
LOT No:	2
RP No:	RP856323
PARISH:	NORTH BRISBANE
COUNTY:	STANLEY
AREA:	1 125 m²

EXISTING AND PROPOSED AREAS:		
LOT AREA:		
1/RP856323	1 860 m²	
2/RP856323	1 125 m²	
TOTAL:	2 985 m²	
SITE COVERAGE		
EXISTING	1 570 m²	PROPOSED
248 - EXISTING OFFICE		
GROUND	210 m²	210 m²
FIRST	265 m²	265 m²
248 - EXISTING STORE		
GROUND	277 m²	277 m²
FIRST	140 m²	140 m²
TOTAL	892 m²	892 m²
250 - SHOWROOM, STORAGE & DISPLAY FACIL.		
GROUND	326 m²	578 m²
FIRST	0 m²	0 m²
250 - LIGHT INDUSTRY		
GROUND	467 m²	541 m²
FIRST	387 m²	372 m²
TOTAL	1 180 m²	1 491 m²
GFA (TOTAL)	2 072 m²	2 383 m²
CAR PARK SPACES	49	28
MAXIMUM CAR PARK SPACES REQUIRED:	28	

GENERAL NOTES AND LEGEND:	
	LANDSCAPING
	SITE COVERAGE - EXISTING
	SITE COVERAGE - PROPOSED
FG	FIELD GULLY
• ANNOTATED DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE FROM DRAWINGS.	

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2018/946
Date: 1 February 2018

6	07-09-2018	VERGE REVISED TO MATCH SURVEY, PROPOSED REQUIRED VERGE SHOWN	GR
5	23-08-2018	VERGE AMENDED AS PER SITE MEASURE	GR
4	25-06-2018	ISSUE FOR DA	GR
3	05-06-2018	ISSUE FOR DISCUSSION	GR
2	09-05-2018	SIGNAGE ADDED	GR
1	30-04-2018	INITIAL ISSUE	GR
#	Date	Revision	Name
ROHRIG HOSPITALITY 248 Abbotsford Road, Bowen Hills Qld 4006 PO Box 86 Abbots DC QLD 4010 Australia Phone: (07) 3257 4411 Fax: (07) 3257 2211 Email: qld@rohrig.com.au This document and its contents remain the property of Rohrig. Rohrig retains all intellectual property rights in this document and its contents. No part of this document or its contents may be reproduced, copied, altered or modified without the express written consent of Rohrig. Copyright 2017 Rohrig Hospitality			
DA - SITE PLAN			
SCALE A1 = 1:200 (A3 = 1:400) 0 2000 4000 10000mm			
PROJECT 250 ABBOTSFORD ROAD - REFURBISHMENT			
RETAIL TENANCY			
DRAWN	208 RL	DRAWING NO.	01A801
APPROVED	--	DATE	6

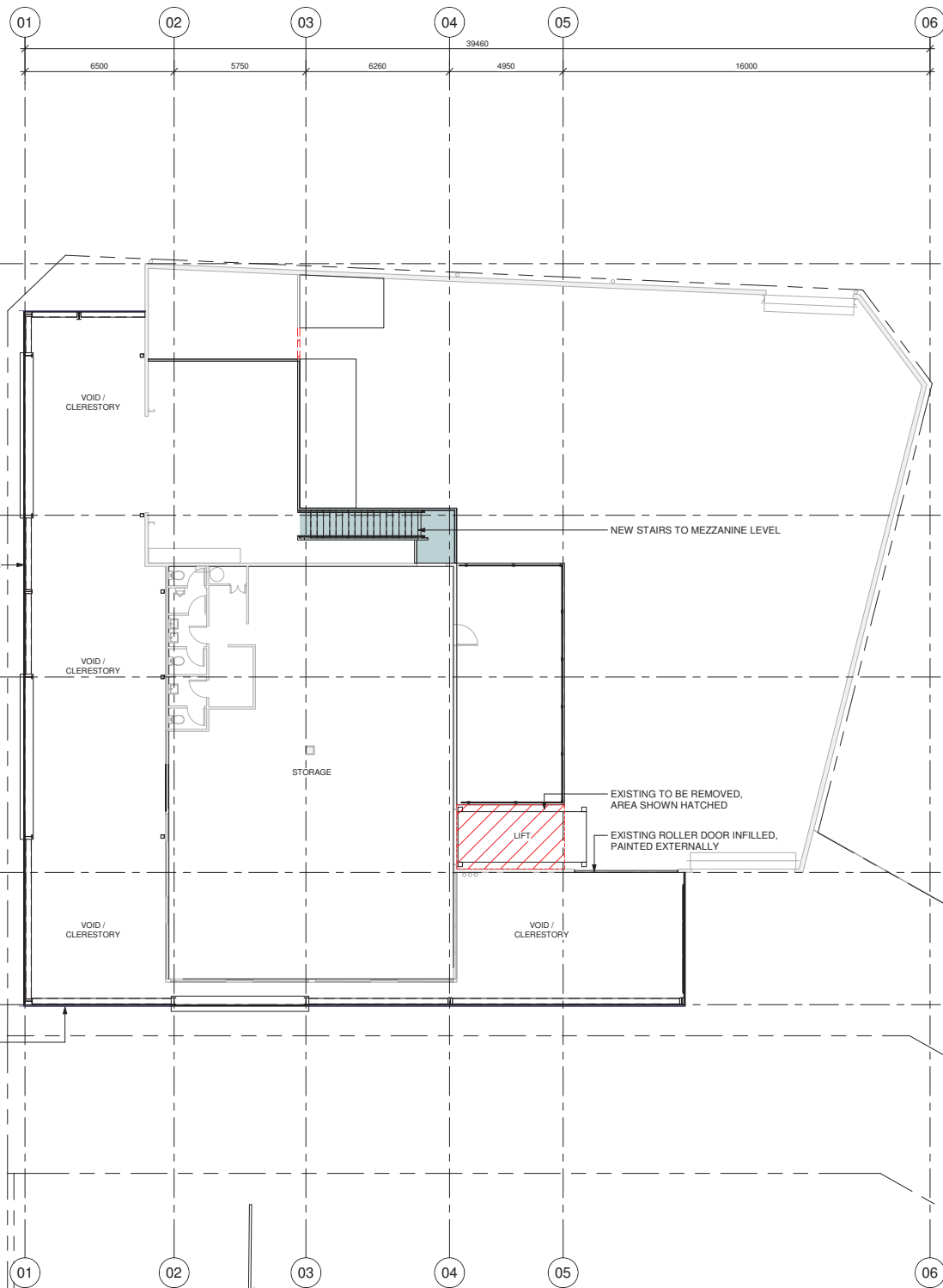


GENERAL NOTES AND LEGEND:

- SITE COVERAGE - PROPOSED
- INTERNAL TO BE REMOVED
- ANNOTATED DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE FROM DRAWINGS.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2018/946
Date: 1 February 2018

3	07-09-2018	VERGE REVISED TO MATCH SURVEY	GR
2	25-06-2018	ISSUE FOR DA	GR
1	05-06-2018	ISSUE FOR DISCUSSION	GR
#	Date	Revision	Name
construction hospitality property rohrig rohrig.com.au ROHRIG HOSPITALITY 248 Abbotsford Road, Brown Hills Qld 4006 PO Box 86 Abbots DC QLD 4010 Australia Phone: (07) 3257 4411 Fax: (07) 3257 2211 Email: qld@rohrig.com.au This document and its contents remain the property of Rohrig Hospitality. No part of this document or its contents may be reproduced, copied, altered or modified without the express written consent of Rohrig Hospitality. Copyright 2017 Rohrig Hospitality			
DA - GROUND FLOOR PLAN			
SCALE	A1 = 1:100 (A3 = 1:200) 0 1000 2000 5000mm		
PRIORITY	250 ABBOTSFORD ROAD - REFURBISHMENT		
CLIENT	RETAIL TENANCY		
DRAWN	GR	DATE	01A802 3
APPROVED	--	DATE	



GENERAL NOTES AND LEGEND:

- SITE COVERAGE - PROPOSED
- INTERNAL TO BE REMOVED
- ANNOTATED DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE FROM DRAWINGS.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/946

Date: 1 February 2018

3	25-06-2018	ISSUE FOR DA	GR
2	05-06-2018	ISSUE FOR DISCUSSION	GR
1	30-04-2018	INITIAL ISSUE	GR

#	Date	Revision	Name
1			

ROHRIG HOSPITALITY
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DA - MEZZANINE FLOOR PLAN

SCALE: A1 = 1:100 (A3 = 1:200) 0 1000 2000 5000mm

PROJECT: 250 ABBOTSFORD ROAD - REFURBISHMENT

CLIENT: RETAIL TENANCY

DRAWN: GR

APPROVED: --

DATE: 01A803

3

Signage content subject to BCC Local Laws

Landscaping on verge not approved as part of this approval

AMENDED IN RED

By: Marissa Bais
Date: 23 October 2018



PLANS AND DOCUMENTS referred to in the POA DEVELOPMENT APPROVAL

Approval no: DEV2018/946
Date: 1 February 2018



01 SOUTH ELEVATION
A1 = 1 : 100

Signage content subject to BCC Local Laws

02 WEST ELEVATION
A1 = 1 : 100

Landscaping on verge not approved as part of this approval

03 NORTH ELEVATION
A1 = 1 : 100

Signage content subject to BCC Local Laws

04 EAST ELEVATION
A1 = 1 : 100

Landscaping on verge not approved as part of this approval

4	25-06-2018	ISSUE FOR DA	GR
3	05-06-2018	ISSUE FOR DISCUSSION	GR
2	14-05-2018	SIGNAGE SHOWN	GR
1	30-04-2018	INITIAL ISSUE	GR
#	Date	Revision	Name
ROHRIG HOSPITALITY 248 Abbottsford Road, Bowen Hills Qld 4006 PO Box 86 Abbotts DC QLD 4010 Australia Phone: (07) 3257 4411 Fax: (07) 3257 2211 Email: qld@rohrig.com.au This document and its contents remain the property of Rohrig. Rohrig retains all intellectual property rights in this document and its contents. No part of this document or its content may be reproduced, copied, altered or modified without the express written consent of Rohrig. Copyright 2017 Rohrig Hospitality			
DA - FACADE ELEVATIONS			
SCALE	A1 = 1:100 (A3 = 1:200) 0 1000 2000 5000mm		
PROJECT	250 ABBOTSFORD ROAD - REFURBISHMENT		
CLIENT	RETAIL TENANCY		
DESIGN	FOR NO.	DRAWING NO.	SCALE
GR	--	01A804	4
APPROVED			

LANDSCAPING AREAS:		
LANDSCAPING	EXISTING	PROPOSED
	90 m ²	93 m ²

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/946

Date: 1 February 2018



2	07-09-2018	VERGE REVISED TO MATCH SURVEY	GR
1	25-06-2018	ISSUE FOR DA	GR
#	Date	Revision	Name
construction hospitality property rohrig rohrig.com.au ROHRIG HOSPITALITY 248 Abbotsford Road, Bowen Hills Qld 4006 PO Box 86 Abbots DC QLD 4010 Australia Phone: (07) 3257 4411 Fax: (07) 3257 2211 Email: qld@rohrig.com.au This document and its contents remain the property of Rohrig. Rohrig retains all intellectual property rights in this document and its contents. No part of this document or its content may be reproduced, copied, altered or modified without the express written consent of Rohrig. Copyright 2017 Rohrig Hospitality			
DA - LANDSCAPE CONCEPT PLAN			
SCALE A1 = 1:50 (A3 = 1:100) 0 500 1000 2500mm			
PROJECT 250 ABBOTSFORD ROAD - REFURBISHMENT			
CLIENT RETAIL TENANCY			
DRAWN GR	JOB NO. - -	DRAWING NO. 01A805	SHEET 2
FILE PATH: C:\projects\Bentley\MapInfo\2018\Abbottsford Road\2018\DA - Landscape Concept Plan.mxd			