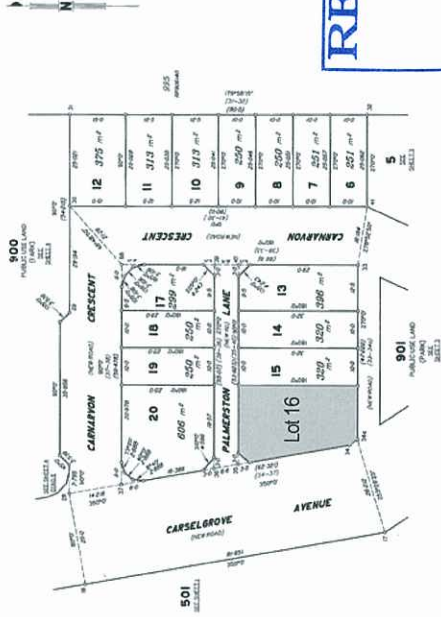



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3W.02

3W.02

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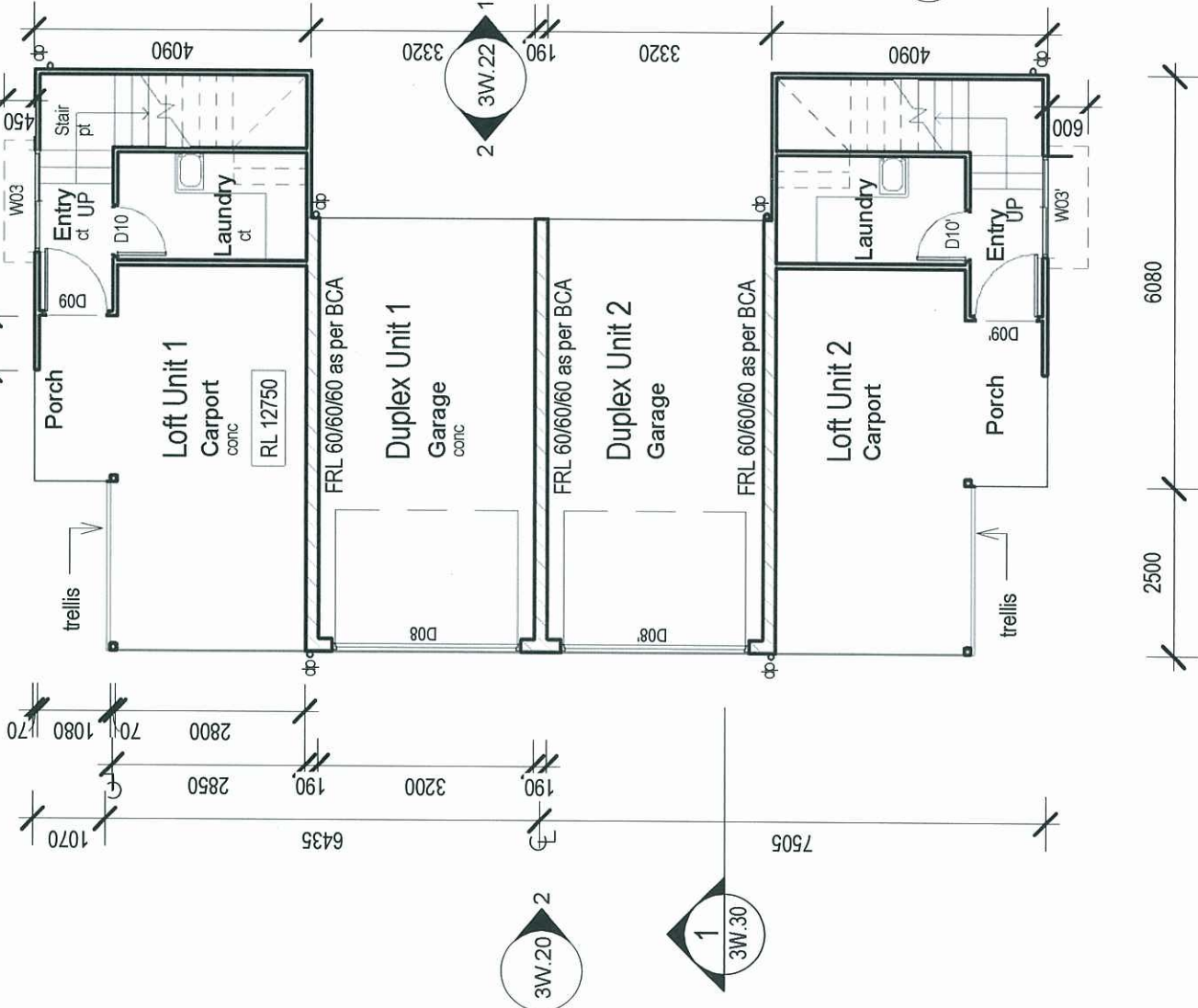
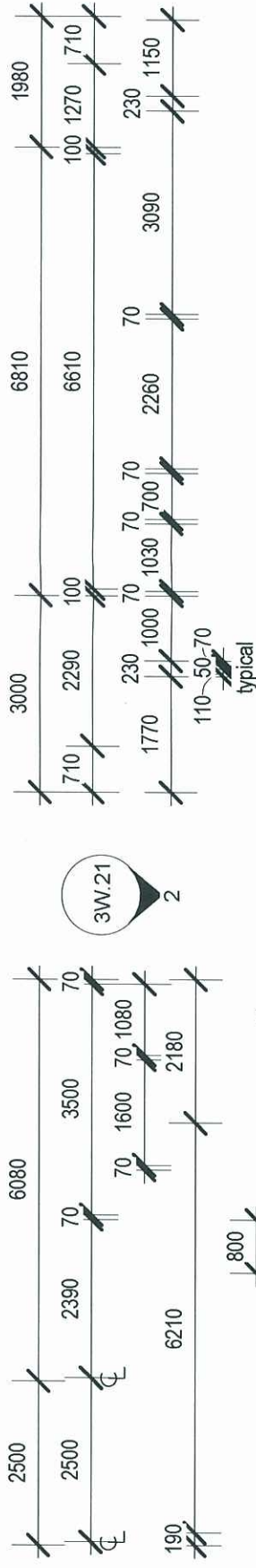
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SS	MK
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As indicated	5262 3W.02
<i>DATE</i>	<i>SUFFIX</i>
Dec 2010	6

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 7 / 11

1. Use figured dimensions in preference to scale
2. WC door to comply with the B.C.A.
3. All wet areas to comply with the B.C.A.
4. Provide necessary flashings to windows
5. All linings & coverings to be fixed in accordance with current manufacturers specifications
6. Colorbond fascia, gutter & 100Ø dp's
7. All services to be installed by licensed tradespersons in accordance with local authority and council requirements
8. Termitte protection by means of termimesh s.s. mesh physical barrier in accordance with the BCA and installed in strict accordance with current manufacturers specifications
9. Footings to be concealed below ground level and in accordance with engineers design and detail
10. Handrails and pool fence to comply with local authority and council requirements and the B.C.A.
11. Carter Holt Harvey "Shadowclad" with selected aluminium flashings to suit expressed vertical joints and pre-line corners.
12. Pre-finish metal sunshades with fully concealed frame and fixings.
13. Slim line colorbond flashings to parapets.
14. Halfround colorbond gutters.
15. Foil sisilation/wall wrap and bulk R1.5 to all external walls
16. R4 bulk to the flat ceiling
17. Under roof sheeting - anticon/wapachek product with R1.8



Ground Floor Plan

1 : 100

SUFFIX	REVISION	DATE	INITIALS
3	Preliminary BA Issue	22.02.11	SS
4	BA Issue	02.03.11	SS
5	Revised BA Issue	04.03.11	SS
6	Amended BA Issue	03.06.11	SS

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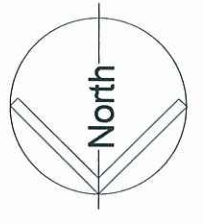
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PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 12 / 7 / 11

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- Legend
- conc concrete
 - cpt carpet
 - ct ceramic tiles
 - dp downpipe
 - exp.ag exposed aggregate concrete
 - ldy laundry
 - p pantry
 - pdr powder room
 - pt polished timber
 - r robe
 - s sunhood
 - sk skylight above

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SCALE 1 : 100 DRAWING No. 5262.3W.10
DATE Dec 2010 SUFFIX 6



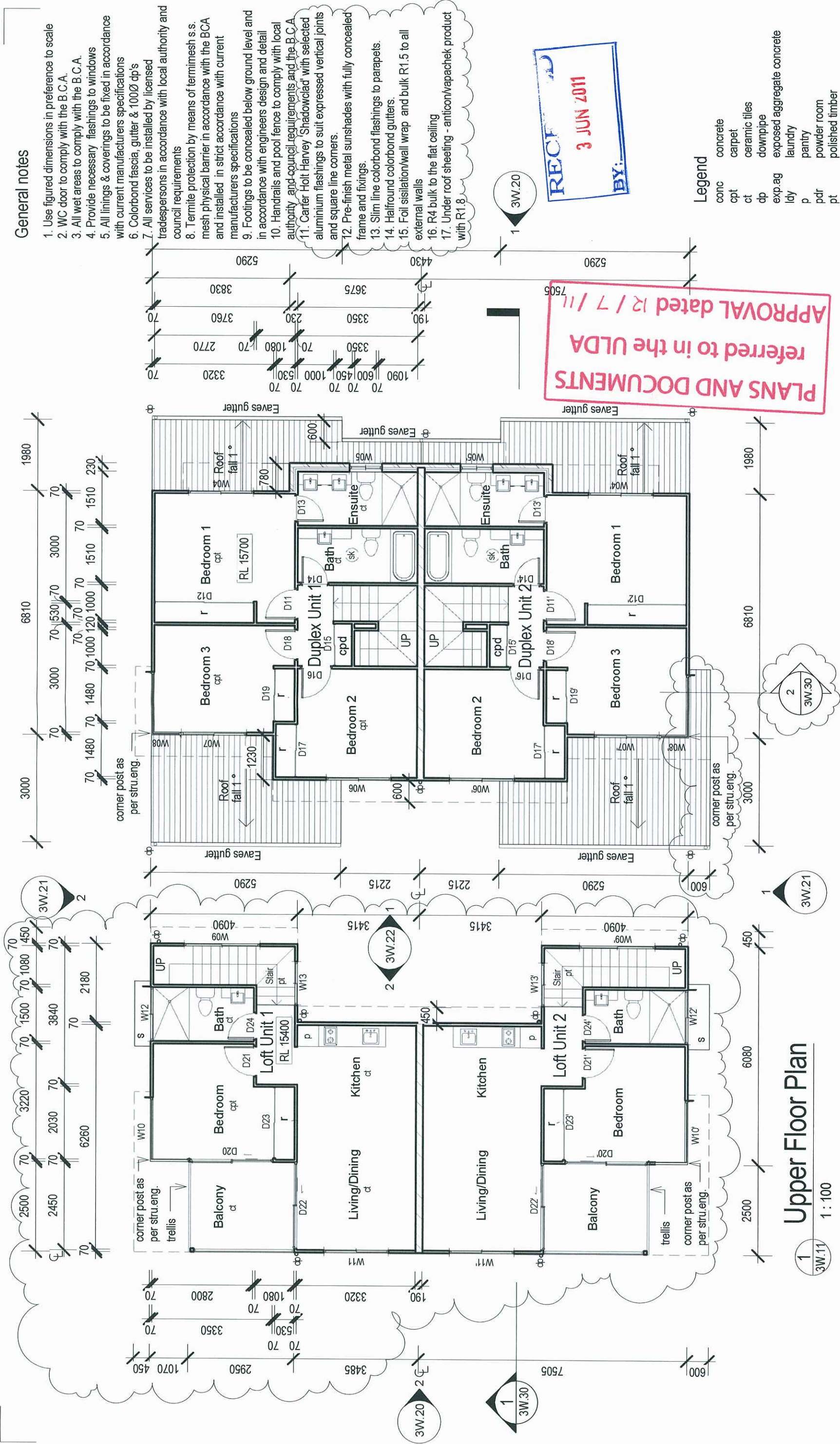
PROJECT Lot 16, Cnr Carselgrove Ave & Palmerston Lane, Fitzgibbon Chase, ULDA
DRAWING Ground Floor Plan

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General notes

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- Legend
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 - r robe
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 - sk skylight above

SUFFIX	REVISION	DATE	INITIALS
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Upper Floor Plan

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SCALE
1 : 100
DATE
Dec 2010

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DRAWING No.
5262.3W.11
SUFFIX
6

General notes

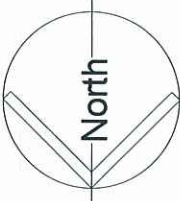
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- 16. R4 bulk to the flat ceiling
- 17. Under roof sheeting - anticon/vapachek product with R1.8

1 3W.20

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Legend

- conc concrete
- cpt carpet
- ct ceramic tiles
- dp downpipe
- exp.ag exposed aggregate concrete
- ldy laundry
- p pantry
- pdr powder room
- pt polished timber
- r robe
- s sunhood
- sk skylight above

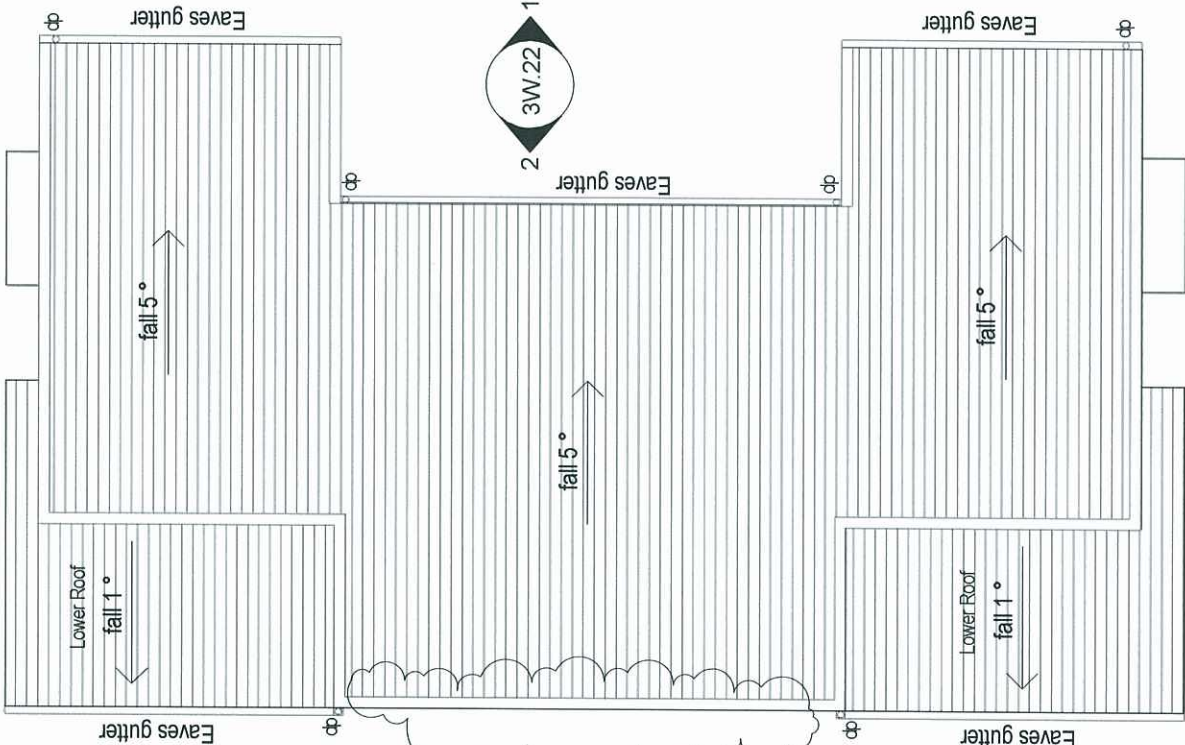


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PLANS AND DOCUMENTS
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3W.21
2

3W.21
1



Roof Plan
1:100

SUFFIX	REVISION	DATE	INITIALS
3	Preliminary BA Issue	22.02.11	SS
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5	Revised BA Issue	04.03.11	SS
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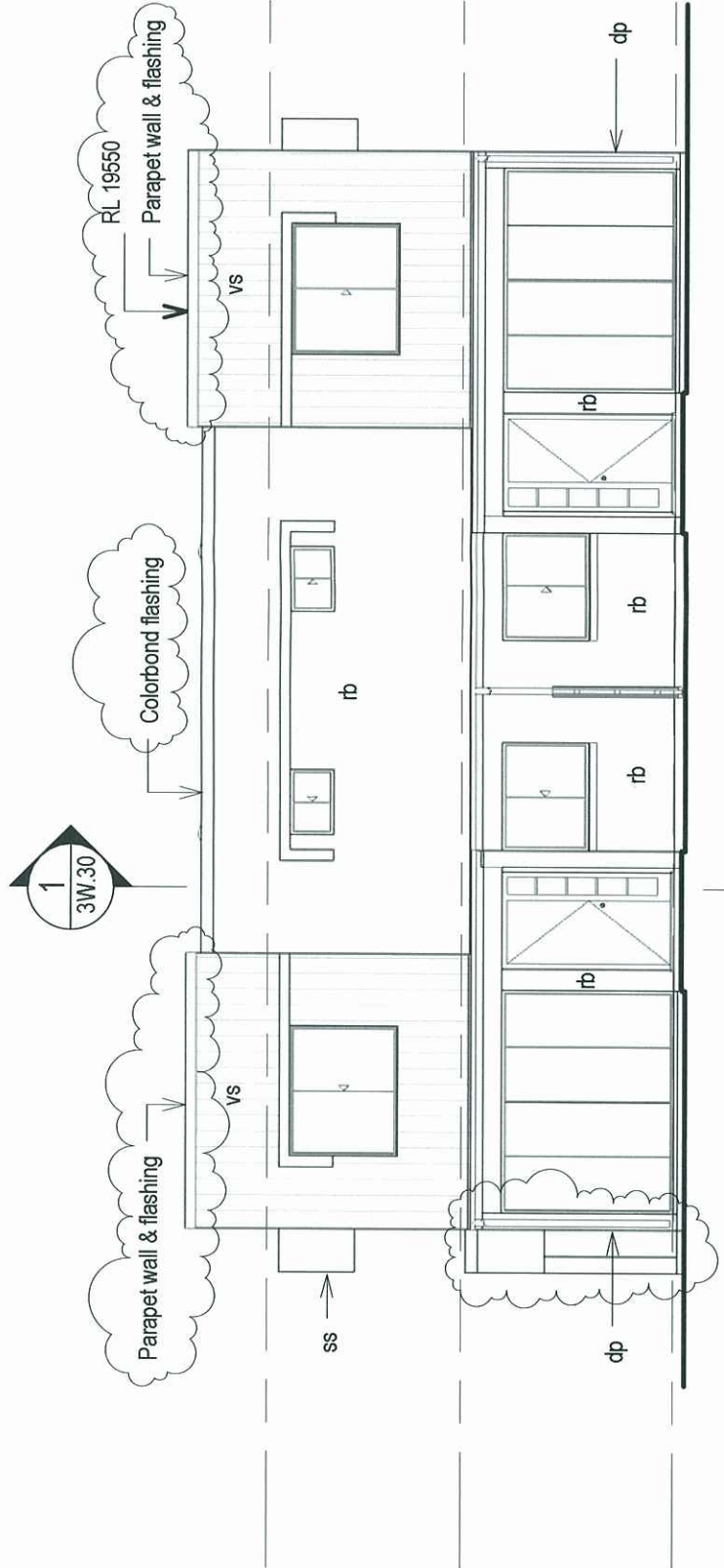
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PROJECT
Lot 16, Cnr Carselgrove Ave &
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DRAWING
Roof Plan

1
3W.30



RL18.400 Ceiling (Duplex)

RL15.700 Upper Floor (Duplex)

RL12.750 Ground Floor

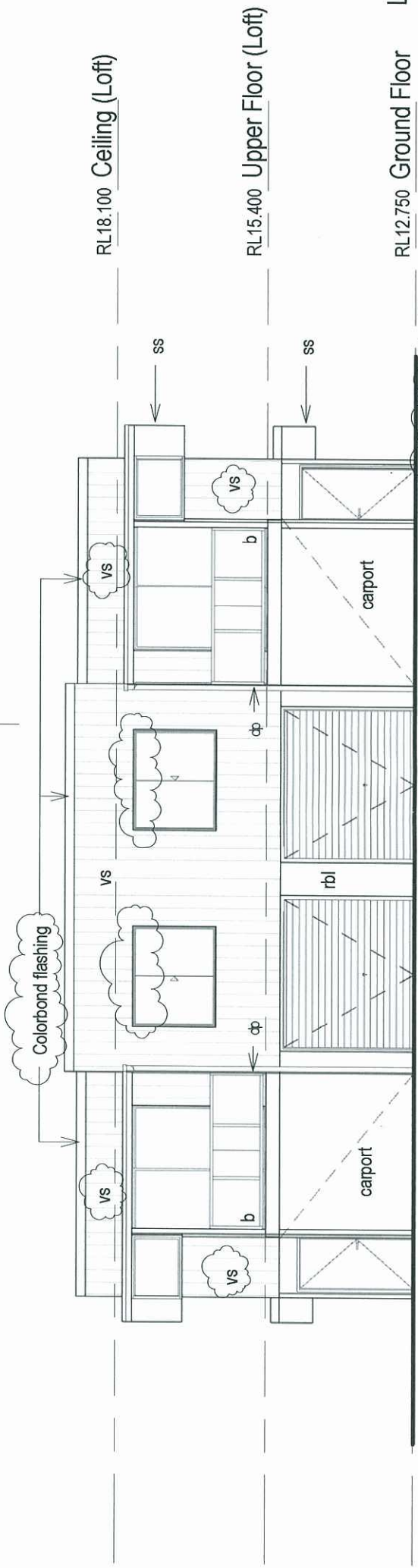
Front Elevation - Duplex Units

1
3W.20

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2
3W.20



RL18.100 Ceiling (Loft)

RL15.400 Upper Floor (Loft)

RL12.750 Ground Floor

Front Elevation - Loft Units

2
3W.20

1 : 100

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 7 / 11

Legend

- b balustrade
- vs Vertical shadowclad
- dp downpipe
- ptc painted fibre cement sheet
- rb rendered brickwork
- rbl rendered blockwork
- ss sunscreen
- tr trellis wall

General notes

1. Carter Holt Harvey 'Shadowclad' with selected aluminium flashings to suit expressed vertical joints and square line corners.
2. Pre-finish metal sunshades with fully concealed frame and fixings.
3. Slim line colorbond flashings to parapets.
4. Halfround colorbond gutters.

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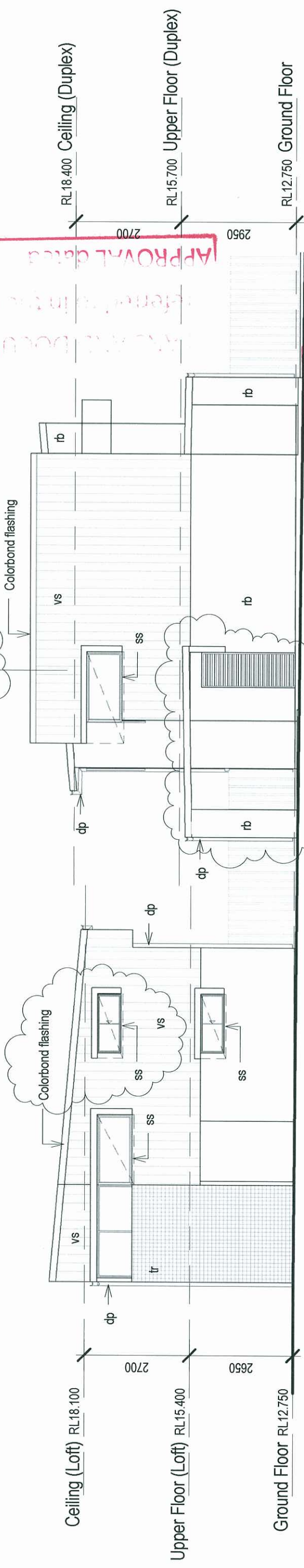
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4	BA Issue	02.03.11	SS
5	Revised BA Issue	04.03.11	SS
6	Amended BA Issue	03.06.11	SS



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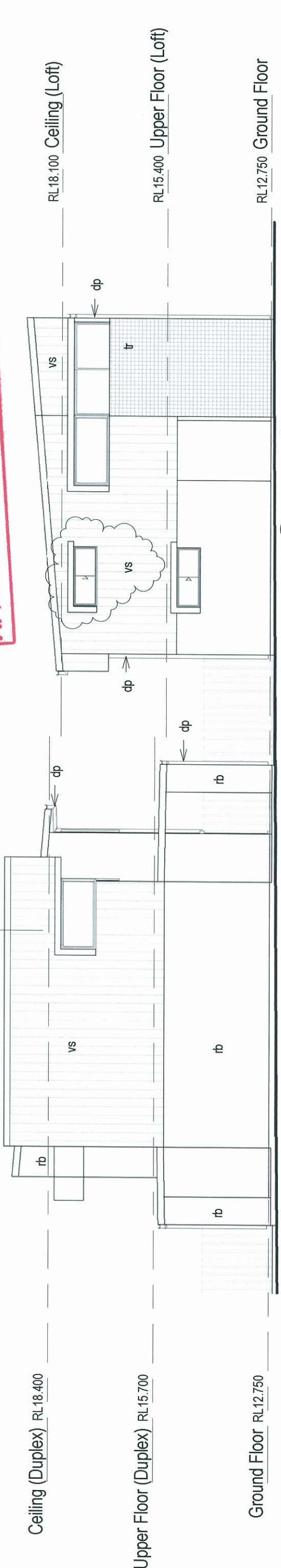
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ULDA
DRAWING
Elevations 1

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DATE	SUFFIX
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1 West Elevation - Loft/Duplex

1 : 100



2 East Elevation - Loft/Duplex

1 : 100

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Legend

- b balustrade
- vs Vertical shadowclad
- dp downpipe
- plc painted fibre cement sheet
- rb rendered brickwork
- rbf rendered blockwork
- ss sunscreen
- tr trellis wall

General notes

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4. Halfround colorbond gutters.

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PROJECT
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DRAWING
Elevations 2

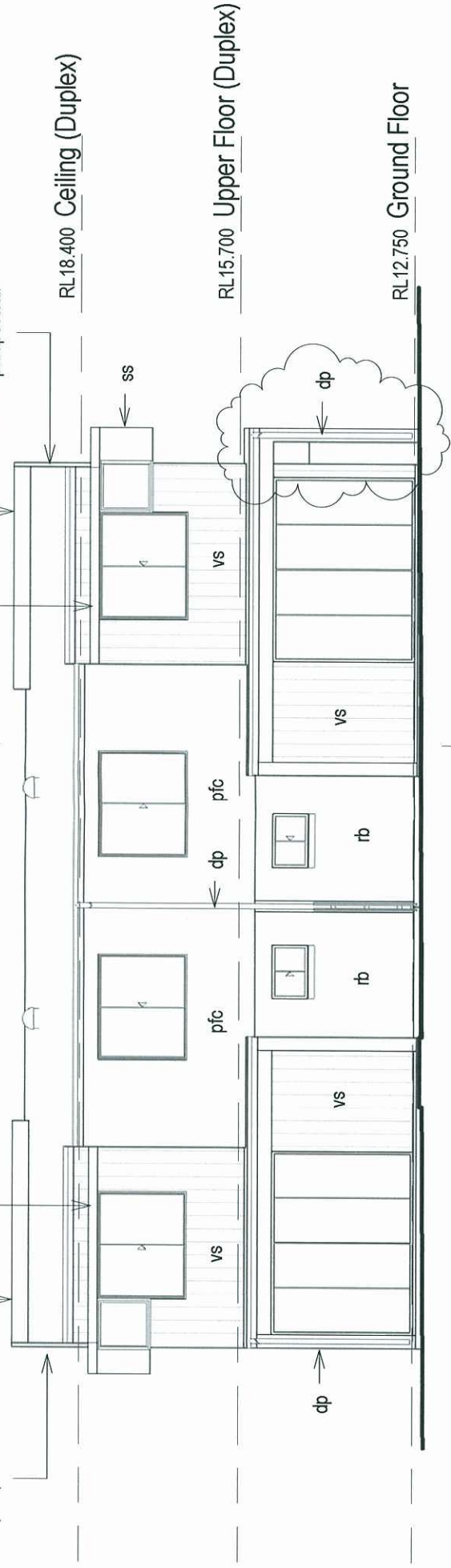
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SUFFIX
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Horizontal louvre
sunscreen to let
winter sun in
parapet wall

Horizontal louvre
sunscreen to let
winter sun in
parapet wall



Rear Elevation - Duplex Units

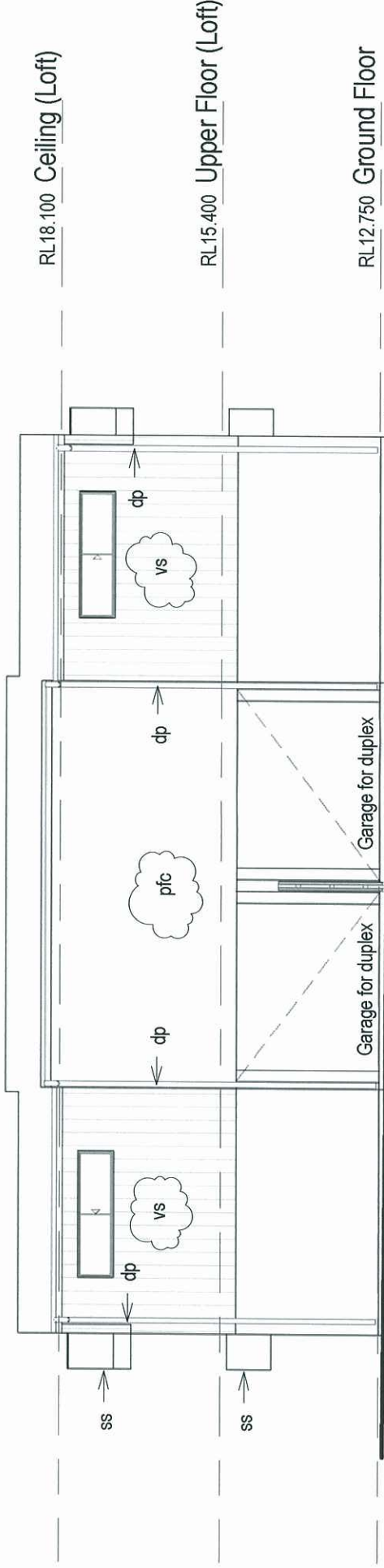
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3W.22

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Rear Elevation - Loft Units

2
3W.22

1 : 100

General notes

1. Carter Holt Harvey 'Shadowlaid' with selected aluminium flashings to suit expressed vertical joints and square line corners.
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Legend

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- vs Vertical shadowlaid
- dp downpipe
- pfc painted fibre cement sheet
- rb rendered brickwork
- ss rendered blockwork
- tr trellis wall

SUFFIX	REVISION	DATE	INITIALS
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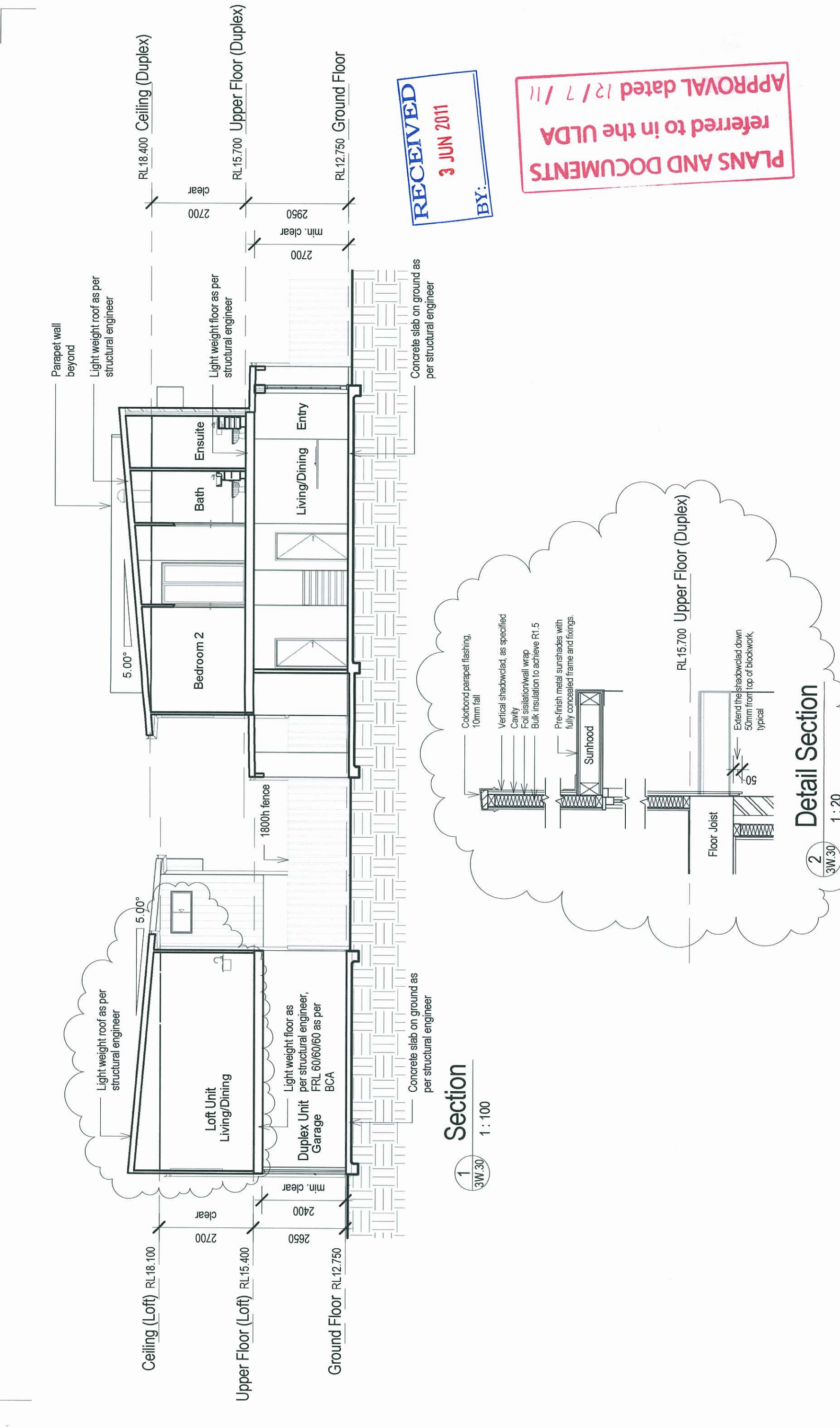


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Elevations 3

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PROJECT
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DRAWING
Sections

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