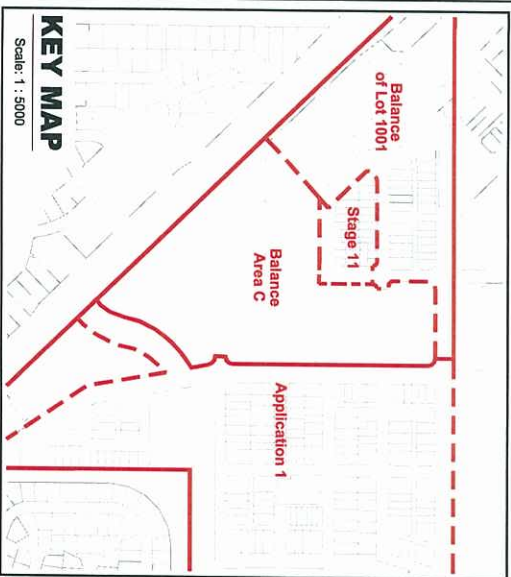


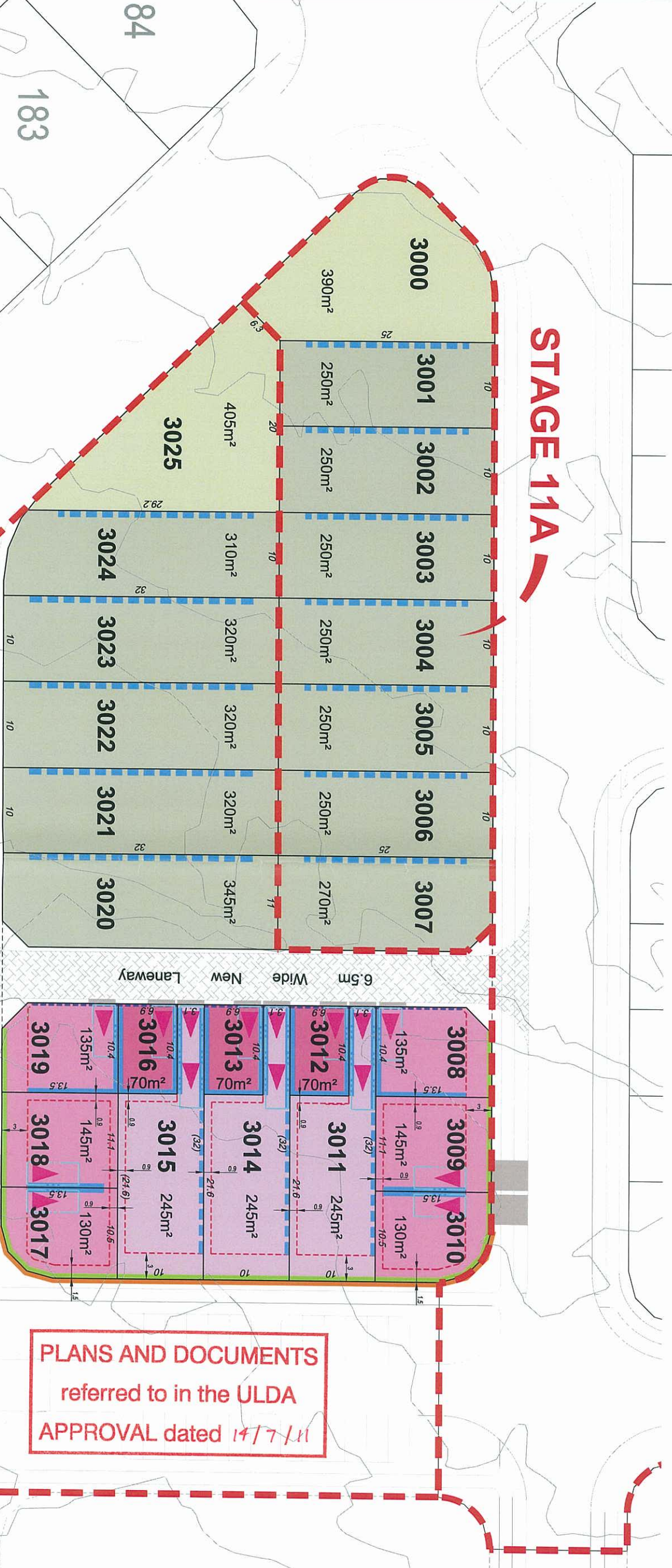


Site Development Table	Villa Allotments		Single Family Type 1		Single Family Type 2		Single Family Type 3	
	10m Frontage	12.5m Frontage	10m Frontage	10m Frontage	10m Frontage	10m Frontage	8.5m Frontage	10m Frontage
Ground Floor/ First Floor	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	0.9m
Side - General Lots	0.0m	1.0m	0.0m	1.0m	0.0m	0.9m	0.0m	0.0m
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	0.9m	0.0m	0.0m
Non Built to Boundary	0.9m	1.0m	0.9m	1.0m	0.9m	0.9m	0.9m	0.9m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Lane/Lane Lids								
Rear of Lot (from laneway boundary)		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Development Controls	
Site Boundary	Maximum Building Location Envelope (Single Family Lots)
Proposed Stage Boundary	Mandatory Built to Boundary Wall
Road	Optional Built to Boundary Wall
Lane/Lane Lids	0.0m Setback for Lane/Lane Lids
Indicative 3.5m Wide Driveway	No Vehicle Access
	Primary Frontage
	Preferred Garage Location (Single Family Lots)



- Notes -**
- General:
- All development is to be undertaken in accordance with the Development Approval.
 - Lot Homes are permissible over garages in Lane/Lane Allotments.
 - Building height is a maximum of 3 storeys.
 - Orientation:
 - Identified on the Plan of Development.
 - Lot Homes must be located only off an adjoining Lane/Lane.
 - Dwellings built on corner lots should address both street frontages.
 - Setbacks:
 - Setbacks are as per the Site Development Table unless otherwise specified.
 - The location of built to boundary walls are to have a maximum length of 12m and a maximum height of 7.0 metres and should not exceed the prescribed setbacks of the maximum height of 3.5 metres. Where optional built to boundary walls are used, the maximum height of 3.5 metres. Where optional built to boundary walls are used, the maximum height of 3.5 metres. Where optional built to boundary walls are used, the maximum height of 3.5 metres.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves should not encroach (other than where buildings are built to boundary closer than 450mm to the lot boundary, exceptions include:
 - Primary Street Frontage where eaves should not be closer than 2400mm, &
 - Rear lane boundary eaves can meet the zero lot boundary where the wall of the structure is setback 0.5m.
- Parking:**
- Minimum off-street parking requirements
 - Other - 2 spaces per dwelling
 - Parking spaces on driveways do not have to comply with AS2890.
 - Alignments with a rear laneway must locate garages and carports of the laneway. Garages and carports served off a laneway must be built between 0.0m and 0.5m off the rear boundary.
- Site Cover and Private Open Space:**
- Site cover must be in accordance with the following minimum standards:
 - Villa Allotment & Single Family Type 1 - 60% of the lot
 - Single Family Type 2 - 80% of the lot
 - Single Family Type 3 - 100% of the lot
 - Private Open Space must be in accordance with the following minimum standards:
 - Ground floor dwellings 21m² with a minimum dimension of 3.0m, or
 - Upper level dwellings 12m² with a minimum dimension of 3.0m (includes loft homes).
- Fencing:**
- Fencing on all Primary Street Frontages to be 1.5m and 50% transparent or not to exceed 1.2 metres in height.
 - Fencing on Secondary Street Frontages to be 50% transparent and not exceed 1.5m in height.
 - In the case of a laneway, a minimum 1.5m high Chain Link Design Subdividing Approval has been given by an officer of the ULDA Fitzgibbon Grass Development Team.
- Definitions:**
- Lot Homes - A dwelling built above a garage with its own entry door at ground level.
- Lane/Lane Allotment - Lot serviced by a Lane/Lane
- Streets - Roads/Streets other than a Lane/Lane



Note

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

CLIENT	URBAN LAND DEVELOPMENT AUTHORITY
PROJECT	FITZGIBBON CHASE
PLAN OF DEVELOPMENT	STAGE 11 AREA C
Drawn	
Origin	
Date	12 APRIL 2011
Comp By	WNW
DWG Name	22743-183 LOT 1008 OPT 4
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	FITZGIBBON
Job Reference	22743
Scale	1 : 250
Sheet	A1
Plan Ref	22743-184
Rev	A



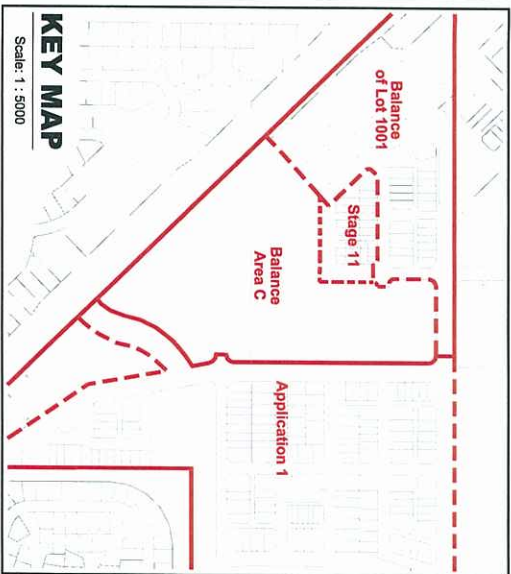
RPS Australia East Pty Ltd
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ABN 44 140 262 752
743 Ave Street
PO Box 1559
Furber Valley QLD 4036
P 61 7 237 8838
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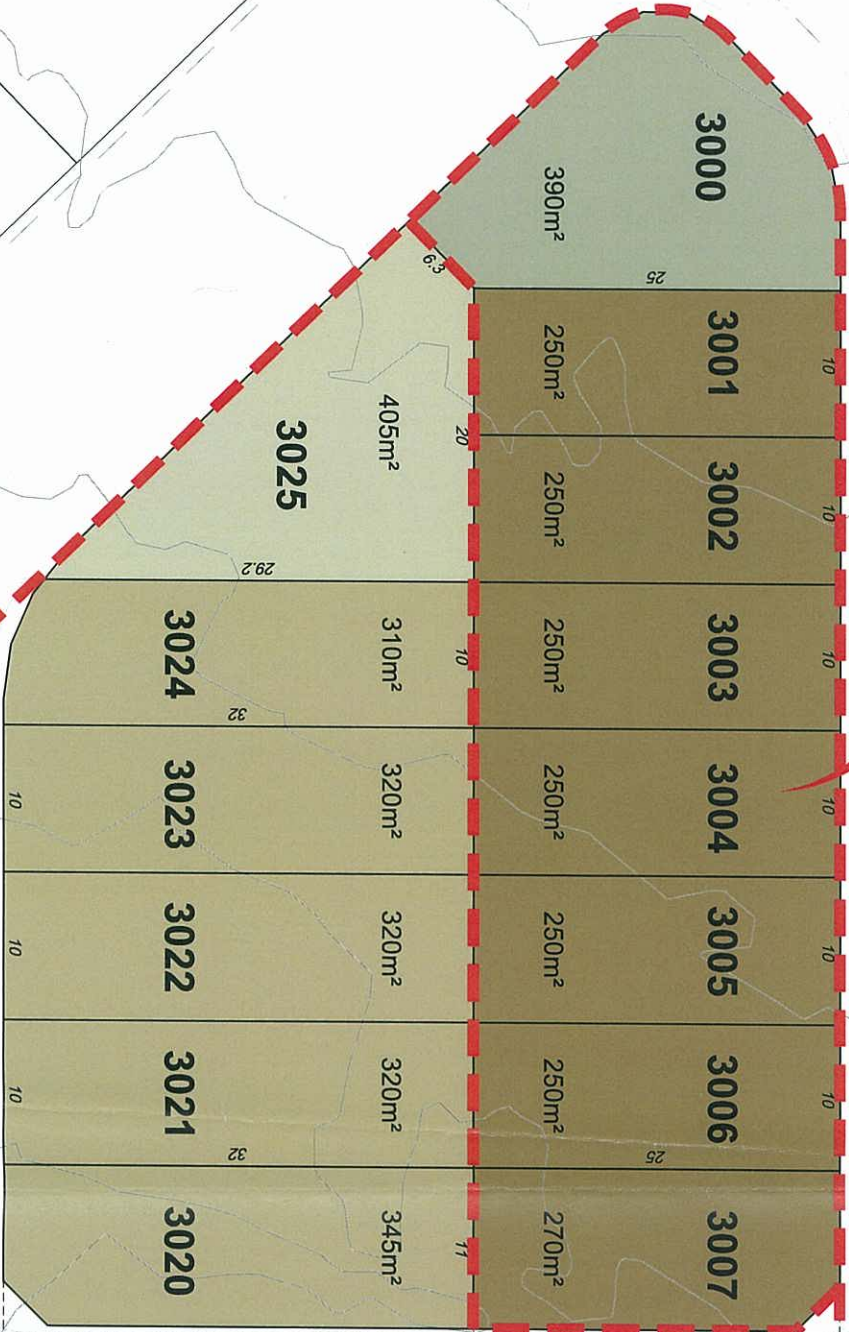
DEVELOPMENT STATISTICS				
Allotment Type	Access Configuration		Yield	
	Conventional	Rear Loaded	Total	Dwellings
House Lots	7	—	7	7
Villa Allotment Type 1 (10x25m)	5	—	5	5
Villa Allotment Type 2 (10x32m)	1	—	1	1
Villa Allotment Type 3 (12.5x32m)	1	—	1	1
Villa Allotment Type 4 (12.5x25m)	—	3	3	3
Single Family Type 1 (10x25m)	—	2	2	2
Single Family Type 2 (10x12.5m)	—	3	3	3
Single Family Type 3 (6.9x10.4m)	—	8	8	8
TOTAL	18	8	26	26

LAND USE BUDGET		
Land Use Budget	Area	Percentage
Site Area	6375 m ²	100.0%
Salable Area	5985 m ²	93.9%
Residential Lots	—	—
Road	390 m ²	6.1%
Local Roads	—	—
Road Type	Length	
Total Length of New Road	57m	
6.5m wide lane - 3.5m pavement	57m	

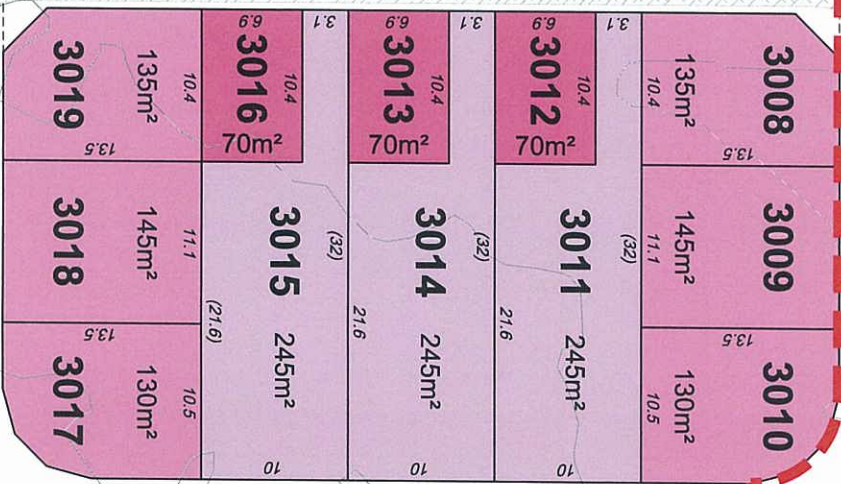
Legend	
--- Site Boundary	Allotment Type
--- Proposed Stage Boundary	Villa Allotment Type 1 (10x25m)
--- Road	Villa Allotment Type 2 (10x32m)
--- Lane	Villa Allotment Type 3 (12.5x32m)
--- Lane	Villa Allotment Type 4 (12.5x25m)
--- Lane	Single Family Allotment Type 1 (10 x 25m)
--- Lane	Single Family Allotment Type 2 (10 x 12.5m)
--- Lane	Single Family Allotment Type 3 (6.9 x 10.4m)



STAGE 11A



STAGE 11B



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 14/7/11

PRELIMINARY
ONLY

2 0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36m

REVISION
A: 10/04/2011 Amended Lots

Note
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

CLIENT
**URBAN LAND
DEVELOPMENT AUTHORITY**
PROJECT
**FITZGIBBON
CHASE**

SUBDIVISION PLAN
CANCELLING LOT 1009
STAGE 11
AREA C

Level Datum
Origin

Date
12 APRIL 2011

Comp By
WNW

DWG Name
22743-183 LOT 1009 OPT 4

Local Authority
URBAN LAND
DEVELOPMENT AUTHORITY

Locality
FITZGIBBON

Job Reference
22743

Scale
1 : 250

Sheet
A1

Plan Ref
22743-183

Rev
A

RPS

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