



APPENDICES



APPENDIX A DEFINITIONS

USE DEFINITIONS

Commercial Use Category

BUSINESS

Means the use of premises for administration, clerical, technical, professional or veterinarian clinic or other business activity where any goods or materials made, sold or hired on the premises are ancillary.

CAR PARK

Means the use of premises for the parking of motor vehicles where such parking is not ancillary to some other development on the same site.

HEALTH CARE SERVICES

Means the use of premises for medical, paramedical, alternative therapies and general health care and treatment of persons that involves no overnight accommodation.

SALES OFFICE

Means the use of premises for the temporary promotion and/ or sale of land and/ or buildings within an estate, where such premises are located within the estate which is proposed to be promoted or sold.

INDUSTRIAL USE CATEGORY

EXTRACTIVE INDUSTRY

Means the use of premises for extraction of sand, gravel, soil, rock, stone or similar substance from land. The term includes ancillary storage, loading or cartage and any crushing, screening, washing, blending or other treatment processes of material extracted from the site.

HIGH IMPACT INDUSTRY

Means the use of premises for industrial activities that have significant off-site impacts on non-industrial uses including air, noise or odour emissions that are not easily controlled or contained.

These uses may operate outdoors, but do not involve the manufacture of agricultural chemicals, pharmaceutical products, explosives or fertilisers.

LOW IMPACT INDUSTRY

Means the use of premises for industrial activities which have negligible impacts on surrounding non-industrial uses. The manufacturing aspects of the use are undertaken indoors. Any off site impacts including air, noise and odour emissions are able to be readily mitigated.

MEDIUM IMPACT INDUSTRY

Means the use of premises for industrial activities that have offsite air, noise and odour emissions. Despite mitigation measures these activities would still have noticeable impacts on nonindustrial uses. The primary (noise, odour and air emitting) aspects of the use are undertaken indoors.

NOXIOUS AND HAZARDOUS INDUSTRY

Means the use of premises for industrial activities that have the potential for extreme, adverse impacts on other land uses. This includes the potential for fire, explosion or toxic release. These uses may involve the production of organic and inorganic chemicals, and the storage and production of explosives.

RESEARCH AND TECHNOLOGY FACILITY

Means the use of premises for innovative and emerging technological industries involved in research design, manufacture, assembly, testing, maintenance and storage of machinery, equipment and component. The use may include emerging industries such as energy, aerospace, and biotechnology.

SERVICE INDUSTRY

Means the use of premises for industrial activities that have no external air, noise or odour emissions from the site and can be suitably located with other non-industrial uses.

WAREHOUSE

Means the use of premises for the storage of goods whether or not in a building, including self-storage facilities or storage yards.

RESIDENTIAL USE CATEGORY

DISPLAY HOME

Means the temporary use of premises for the promotion and/ or sale of land and/ or houses within an estate, where such premises are located within the estate which is proposed to be promoted or sold.

HOME BASED BUSINESS

Means the use of premises for a House or Multiple residential for an occupation or business activity as a secondary use where:

- The floor area used specifically for the home business does not exceed 50m²
- Any visitor accommodation does not exceed 4 visitors
- There is no hiring out of materials, goods, appliances or vehicles
- There is only one sign related to the Home business, located within the premises or on a fence facing the road
- There is no repairing or servicing of vehicles not normally associated with a residential use
- There is no industrial use of premises
- The maximum height of a new building, structure or object does not exceed the height of the House or Multiple residential and the setback is the same as, or greater than, buildings on adjoining properties
- Car parking is in accordance with Appendix H
- There is no display of goods
- Number of employees does not exceed 4.

HOUSE

Means a residential use of premises containing one primary single dwelling on a lot. The use includes out-buildings and works normally associated with a dwelling and may include a secondary dwelling.

The secondary dwelling is subordinate to the primary dwelling, capable of being used as a self-contained residence and may be constructed under the primary dwelling, attached to it or free standing.

LOFT DWELLING

A self contained dwelling generally with a single garage constructed adjacent to the laneway and above the garaging on that allotment.

MULTIPLE RESIDENTIAL

Means the use of premises for residential purposes if there are two or more dwelling units on any one lot. Multiple residential dwelling units may be contained on one lot or each dwelling unit may be contained on its own lot subject to community title schemes. The term multiple residential does not include House.

OTHER RESIDENTIAL

Means the use of premises for the accommodation and care of aged and retired people, small groups of disadvantaged persons or persons who are being nursed, require ongoing supervision/ support or are convalescing. This term may include but is not limited to ancillary dining and recreation facilities, administration offices, laundries, kitchens, ancillary medical facilities and residential accommodation for management and staff.

RELOCATABLE HOME PARK

Means the use of premises for relocatable dwellings that provide long term residential accommodation. The term includes ancillary facilities such as amenities, laundries, kitchens and recreation facility for persons associated with the development. It also includes a manager’s office and residence.

SHORT TERM ACCOMMODATION

Means the use of premises comprising primarily accommodation units for short term accommodation, generally for travellers and visitors, such as motel or backpackers. The use may include dining, laundry and recreational facilities which cater exclusively for the occupants of the premises, a manager’s office and residence. The term does not include Other residential, Hotel or Tourist park.

RETAIL USE CATEGORY

BULK LANDSCAPE SUPPLIES

Means premises used for bulk storage and sale of landscaping and gardening supplies including soil, gravel, potting mix and mulch, where the majority of materials sold from the premises are not in pre-packaged form.

FAST FOOD PREMISES

Means the use of premises for the preparation and sale of food to the public generally for immediate consumption off the premises. The term may include drive through facilities and ancillary facilities for the consumption of food on the premises.

FOOD PREMISES

Means the use of premises for the preparation and sale of food and drink to the public for consumption on or off the site. The term includes a cafe, restaurant, coffee shop, bistro, tea room, milk bar, snack bar, kiosk, take-away, but does not include fast food premises as separately defined.

GARDEN CENTRE

Means the use of premises for the sale of plants and includes gardening and landscaping products and supplies where these are sold mainly in pre-packaged form. The use may include an ancillary cafe or coffee shop.

MARKET

Means the use of premises for the display and sale of goods to the public on a regular but infrequent basis, where goods are primarily sold from temporary structures such as stalls, booths or trestle tables. The use includes ancillary food and beverage sales and ancillary entertainment provided for the enjoyment of customers.

OUTDOOR SALES

Means the used for the display, sale, hire or lease of products where the use is conducted wholly or predominantly outdoors and may include construction, industrial or farm plant and equipment, vehicles, boats and caravans.

SERVICE STATION

Means the use of premises for the retail sale of fuel including petrol, liquid petroleum and automotive distillate to refuel motor vehicles.

SHOP

Means the use of premises for the display, sale or hire of goods or the provision of personal services or betting to the public.

SHOPPING CENTRE

Means the use of premises comprising two or more individual tenancies that is comprised primarily of shops and which function as an integrated complex.

SHOWROOM

Means the use of premises primarily for the sale of goods of a related product line that are of a size, shape or weight that requires:

- A large area for handling, display or storage and
- Direct vehicle access to the building by members of the public for loading and unloading items purchased or hired.

RURAL USE CATEGORY

AGRICULTURE

Means the use of premises for commercial purposes for the growing and harvesting of trees, crops, pastures, flowers, fruit, turf, vegetables and the like for commercial or business purposes. The definition includes the storage and packing of produce grown on the subject site and the repair and servicing of machinery and other ancillary activities.

AGRICULTURAL SUPPLY STORE

Means the use of premises for the sale of agricultural products and supplies including agricultural chemicals and fertilisers, seeds, bulk veterinary supplies, farm clothing, saddlery, animal feed and irrigation materials.

ANIMAL KEEPING AND HUSBANDRY

Means the use of premises for keeping, depasturing, grazing or stabling of any animal, bird, insect and reptile. The term includes the use of land for keeping, breeding, stabling, training or boarding animals.

INTENSIVE ANIMAL INDUSTRIES

Means the use of premises for the intensive breeding of animals or animal products in an enclosure that may require the provision of food and water either mechanically or by hand.

The use includes the ancillary storage and packing of feed and produce.

INTENSIVE HORTICULTURE

Means the use of premises for the intensive cultivation of plants or plant material on imported media and located within a building or structure or where outdoors, artificial lights or containers are used.

The use includes the storage and packing of produce and plants grown on the subject site.

WHOLESALE NURSERY

Means the use of premises for the sale of plants where the plants are grown on or adjacent to the site. The use may include sale of gardening materials where these are ancillary to the primary use.

SERVICE, COMMUNITY AND OTHER USES CATEGORY

CEMETERY

Means the use of premises for the interment of the dead. The term does not include a crematorium or funeral parlour.

CHILD CARE CENTRE

Means the use of premises for the minding or care, but not residence of children generally under school age. The use includes but is not limited to a kindergarten, creche or early childhood centre.

COMMUNITY FACILITY

Means the use of premises for social or community purposes, such as a community centre, library, public building or the like.

CREMATORIUM

Means the use of premises for cremating bodies and may include the interment of the ashes. The term does not include a funeral parlour or cemetery.

EDUCATIONAL ESTABLISHMENT

Means the use of premises for systematic training and instruction, including any other ancillary uses. This definition includes prep facilities, primary school, secondary school, college, university, technical institute, academy or other educational centre.

This term may include residential accommodation and other ancillary uses provided for the employees and the students of such premises.

EMERGENCY SERVICES

Means the use of premises for by government bodies or community organisations to provide essential emergency services, disaster management services and including management support facilities for the protection of persons, property and the environment.

FUNERAL PARLOUR

Means the use of premises for arranging and conducting funerals, memorial services and the like, but does not include burial and cremation. The definition includes the storage and preparation of bodies for burial or cremation and includes a mortuary and funeral chapel. The term does not include a cemetery or crematorium.

HOSPITAL

Means the use of premises for medical or surgical care or treatment of patients whether or not residing on the premises. The

use may include accommodation for employees and ancillary activities directly serving the needs of patients and visitors.

PLACE OF ASSEMBLY

Means the use of premises for worship and activities of a religious organisation, community or association.

TELECOMMUNICATIONS FACILITY

Means the use of premises for systems that carry communications by means of radio, including guided or unguided electromagnetic energy whether such facility is manned or remotely controlled. The term does not include low impact facilities that are exempt from State planning laws under the Telecommunications Act 1997 and specified in the Telecommunications (Low-impact facilities) Determination 1997.

UTILITY INSTALLATION

Means the use of premises to provide the public with the following services:

- Supply of water, hydraulic power, electricity or gas
- Sewerage or drainage services
- Transport services including road rail or water
- Waste management facilities
- Network infrastructure.

The use includes maintenance and storage depots and other facilities for the operation of the use.

VETERINARY HOSPITAL

Means the use of premises for the treatment of sick or injured animals where such animals are accommodated overnight or for long stay periods on the premises. The term does not include animal keeping and husbandry or veterinary clinic.

SPORT, RECREATION AND ENTERTAINMENT USE CATEGORY

INDOOR ENTERTAINMENT

Means the use of premises for public entertainment predominantly within a building. The term includes facilities commonly described as cinema, nightclub, adult entertainment, theatre and hotel.

INDOOR SPORT AND RECREATION

Means the use of premises for leisure, sport, recreation or conducting large scale receptions, displays and functions, predominantly within a building. The term includes facilities commonly described as sports centre, gymnasium, convention centres, amusement and leisure centres.

OUTDOOR SPORT AND RECREATION

Means the use of premises for recreation or sport activity, or other leisure past-time, which is conducted wholly or mainly outside of a building. The term includes facilities such as (outdoor) public swimming pools, golf courses and driving ranges, outdoor courts and sportsgrounds and the like. The term also includes the provision of a clubhouse and other ancillary facilities.

PARK

Means the use of premises by the public for free recreation and enjoyment and may be used for community events. Facilities may include children's playground equipment, informal sports fields, ancillary vehicle parking and other public conveniences.

TOURISM USE CATEGORY

TOURIST ATTRACTION

Means the use of premises for providing on site entertainment, recreation or similar facilities for the general public. The use may include provision of food and drink for consumption on site.

TOURIST PARK

Means the use of premises to provide accommodation in caravans, self contained cabins, tents and similar structures for the touring or holidaying public. The use may include a manager's residence and office, kiosk, amenity buildings and the provision of recreation facilities for the exclusive use of occupants of the tourist park.

OTHER DEVELOPMENT

FILLING OR EXCAVATION

Means removal or importation of material to or from a lot that will change the ground level of the land.

MATERIAL CHANGE OF USE

As defined in the Economic Development Act 2012.

MINOR BUILDING WORK OR DEMOLITION WORK

Means:

- Internal building work
- Demolition work
- External building work up to 25m² for roofs over existing decks or paved areas, sun hoods, carports and the like
- Demolition where not involving a place of cultural heritage listed building under the Queensland Heritage Act 1992
- Building work that increases the approved Gross Floor Area (GFA) or lawfully existing GFA at the time of commencement of this scheme by no more than 25m²
- Raising a house where the resultant height does not exceed 9m.

OPERATIONAL WORK

As defined in the Economic Development Act 2012.

RECONFIGURING A LOT

As defined in the Economic Development Act 2012.

ADMINISTRATIVE DEFINITIONS

ACCESSIBLE HOUSING

Housing in accordance with the applicable EDQ guideline.

AFFORDABLE HOUSING

Affordable housing means private rental housing and home purchase options (including housing aimed at the first home owners market) for low to moderate income households.

BASEMENT

A storey below ground level or where the underside of the ceiling projects no more than one metre above ground level.

BUILDING

As defined in the Building Act 1975.

BUILDING WORK

As defined in the Economic Development Act 2012.

BUILDING HEIGHT

The maximum vertical distance between the natural ground level and the roof or parapet at any point but not including anything projecting from a building such as an antenna, aerial, chimney, flagpole or the like.

CARETAKER’S ACCOMMODATION

The residential use of part of a premises where in connection with a non-residential use on the same premises.

COMMUNITY GREENSPACE NETWORK

An integrated greenspace network including both active and passive recreation, linear/ riparian corridors, parks and private and public sporting recreation facilities.

CONTAMINATED LAND REGISTER

As defined in the Environmental Protection Act 1994.

DEVELOPMENT SCHEME

As defined in the Economic Development Act 2012.

DWELLING UNIT

Means a building or part of a building used or capable of being used as a self-contained residence which must include:

- Food preparation facilities
- A bath or shower
- A toilet and wash basin.

The term includes works ancillary to a dwelling.

ENVIRONMENTAL MANAGEMENT REGISTER

As defined in the Environmental Protection Act 1994.

ENVIRONMENTALLY RELEVANT ACTIVITIES

As defined in the Environmental Protection Act 1994.

GROSS FLOOR AREA (GFA)

The total floor area of all storeys of a building, including mezzanines, measured from the outside of external walls or the centre of a common wall, excluding area used for:

- Building services
- Ground floor public lobby
- A public mall in a shopping complex
- The parking, loading and manoeuvring of motor vehicles
- Private balconies whether roofed or not.

GROUND LEVEL

Means:

- The existing level of the site providing it has not been unlawfully altered; or
- Where the land has been unlawfully altered the level of land prior to the alteration; or
- The ‘as-constructed’ level of the land in accordance with an approval for filling and excavation.

HIGH WATER MARK

Refers to the ordinary high water mark at spring tides.

INTERIM USES

An interim use is a land use that, because of its nature, scale, form or intensity, is not an appropriate long term use of the land. Interim land uses may occur if appropriately developed and operated and where located in areas which will not compromise the zone intent

in the long term. Possible interim uses are identified in the zone provisions.

LOCAL GOVERNMENT INFRASTRUCTURE AGREEMENT (LGIA)

Caloundra South Infrastructure Agreement (Local Government Infrastructure) between Stockland, MEDQ and Sunshine Coast Council, executed 2/11/2015.

MEZZANINE

An intermediate floor within a room.

NEIGHBOURHOOD CENTRE

Means the use of premises for servicing the convenience needs of the community. The term includes Business, Medical centre, Retail and Community facility which ultimately function as an integrated complex. It may include a key open space area (such as park or plaza).

NET RESIDENTIAL DENSITY

Net residential density means the total number of dwellings divided by the combined area of residential lots, local parks , internal local roads and half the width of local roads bordering the site. Average net residential density means net residential density calculated for a whole neighbourhood.

PLANNING SCHEME

The planning scheme for the Sunshine Coast Regional Council.

PLOT RATIO

The ratio between the gross floor area of a building and the total area of the site.

PREMISES

As defined in the Economic Development Act 2012.

PRIVATE OPEN SPACE

An outdoor area for the exclusive use of occupants.

PUBLIC HOUSING

As defined in the *Planning Act 2016*.

PUBLIC INTEREST

Refers to an outcomes that benefits the wider community rather than local, site specific or land ownership desires.

PUBLIC REALM

Refers to spaces that are used by the general public, including streets, squares, plazas and parks.

SENSITIVE USES

Means any of the following: Child care centre, Educational establishment, Health care services, Hospital, House, Multiple residential, Other residential, Relocatable home park and Short term accommodation.

SETBACK

The shortest distance measured horizontally from the wall of the building or structure to the vertical projection of the boundary of the lot (ie. excluding eaves).

SIGNIFICANT VEGETATION

Means all vegetation, except those listed as pest vegetation by State or local government, that is significant in its:

- Ecological value at local, state or national levels including vegetation mapped as endangered remnant vegetation on

the regional ecosystem maps prepared under the Vegetation Management Act 1999

- Contribution to the preservation of natural landforms
- Contribution to the character of the landscape
- Cultural or historical value
- Amenity value to the general public. Note: vegetation may be living or dead and the term includes their root zone.

SITE COVER

The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

STOREY

A space within a building which is situated between one floor level and the floor level next above or if there is no floor above, the ceiling or roof above. This does not mean:

- A space that contains only:
- A lift shaft, stairway or meter room
- A bathroom, shower room, laundry, toilet or other sanitary compartment
- Accommodation intended for not more than 3 vehicles
- A combination of the above
- A mezzanine

URBAN DESIGN

Refers to the holistic design of urban environments, including the overall townscape, individual buildings, street networks, streetscapes, parks and other public spaces.

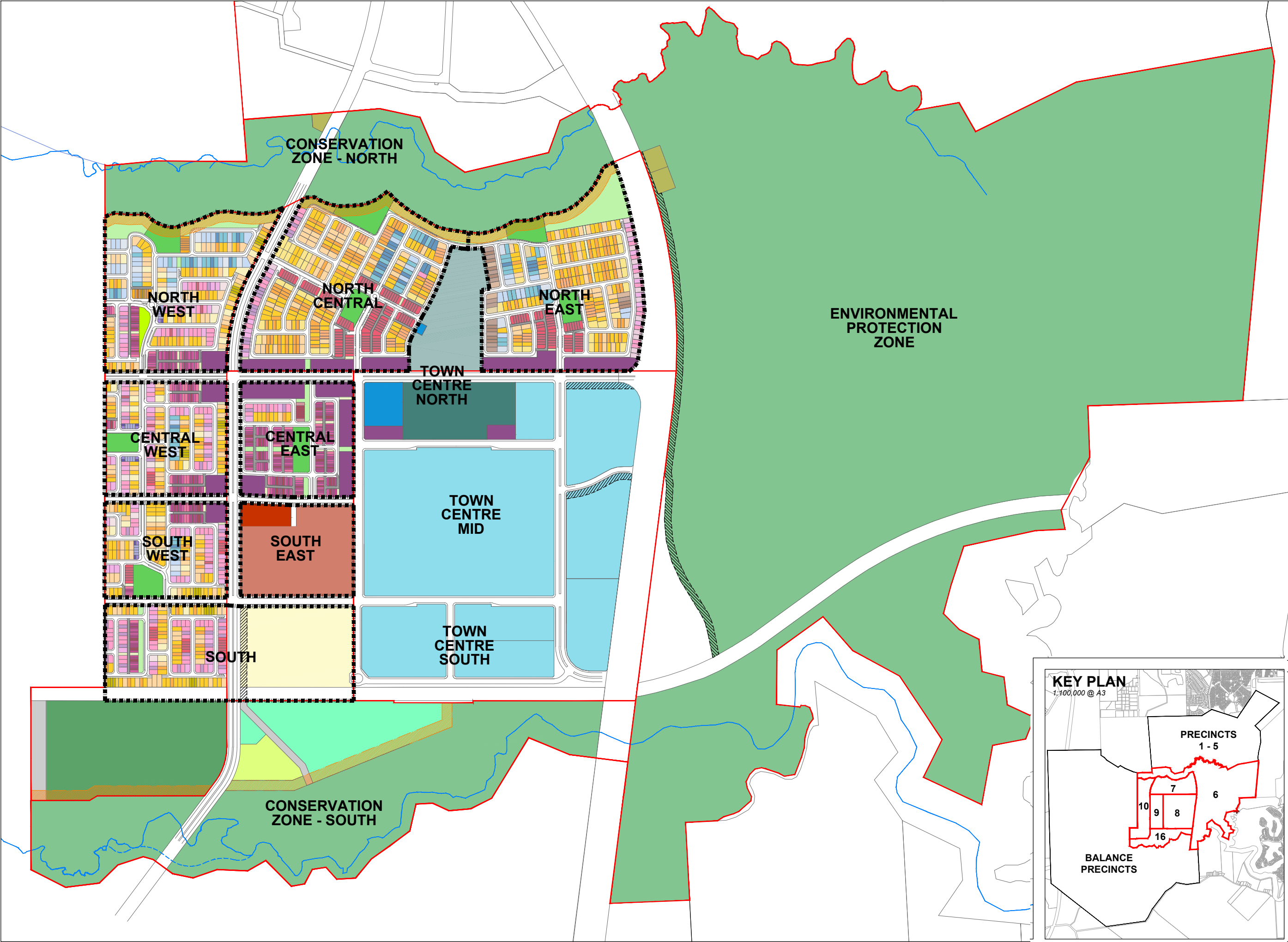
TABLE 1: MASTER PLAN DEFINITIONS

TERM	DEFINITION
Adjacent	Situated near; very close; proximal
Active Street / Uses	Contiguous string of business or retail land uses that open directly to, or addressed to the street, footpath or other public open space to the effect of creating active, people-orientated street frontages.
Arts Strategy	A policy and action plan developed in accordance with Artbeat to support the planning and delivery of arts and cultural infrastructure.
Associated Activity	An activity that is: a. allied to the main activity on the same site; b. compatible with the main activity on the same site; and c. subordinate to the main activity on the same site.
Best Practice	A method or technique that can be substantiated as producing results superior to those achieved by other conventional or out dated means, such as to be recognised as achieving an agreed benchmark capable of evolving as improved methods become available.
Caloundra South Development Scheme	The Caloundra South Urban Development Area Development Scheme (as approved October 2011)
CAMCOS	Proposed rail line connecting the Brisbane suburban network at Beerwah with Maroochydore (as identified by the 'Caloundra and Maroochydore Corridor Study').
Central Park	A major sport and recreation space located proximal and to the south of the Town Centre, providing a regional hub for major sports, passive, recreation and environmental protection/amenity purposes.
Coast Connect	A bus corridor from Caloundra to Maroochydore including bus priority lanes, bus stations in key activity areas, bus stop upgrades, and bus queue bypasses.
Cycle End of Trip Facility	Dedicated amenities that are publicly accessible for bike storage area, lockers and change facilities
Dedicated high frequency bus corridor	A high frequency "Urbanlink" bus service identified for strategic corridors as defined by the Queensland Department of Transport and Main Roads publication Connecting SEQ 2031 — An Integrated Regional Transport Plan for SEQ.
Eco sanctuary	The natural value area which is the target of land rehabilitation east of the Town Centre and within the Environmental Protection Zone, for the purpose of delivering an interpretive experience trail through the conservation areas connecting the northern Community Hub to the Town Centre.
Enabling Infrastructure and works	Infrastructure and works essential to prepare a precinct for building work.
Explanatory Content	Content that is not intended to be used to assess subsequent applications.
Infrastructure Lot	Any lot created to coincide with and to accommodate an item of infrastructure required for development within the Master Plan Area.
Main Street	"The Main Street" is located in the Town Centre Core with high levels of pedestrian use and amenity, connecting the plaza of the People's Place to the Transit Centre and Central Park.
Master Developer	Is reference to Stockland Development Pty Ltd (ACN 000064835)
Master Plan	The approved Caloundra South Master Plan for the site.
Master Plan Area	The Area shown on Master Plan Map 2 — Environmental Connectivity Plan being: - Lot 22 SP190373 (part) - Lot 505 RP884348 (part) - Lot 3 RP910849 (part)
Minister	The Minister responsible for implementing the Act.
Mixed Use Centre	A balanced mix of different but co-dependent land uses including and not limited to a range or retail, commercial, residential, short-term accommodation and entertainment venues, etc. which promote the client access for users.
MMTC	Abbreviation of the Multi-Modal Transport Corridor as required and defined by the Queensland Department of Transport and Main Roads.
Nominated Assessing Authority	Pursuant to Section 58 of the Urban Land Development Authority Act 2007 (the Act) means: i. for operational works:– a. the Chief Executive Officer of the Urban Land Development Authority (ULDA) or their delegate; b. a Certifier as agreed to by the ULDA; or c. if the site is no longer within a declared Urban Development Area under the Act, the local government or entity responsible for assessing and deciding planning and/or development applications in the area. ii. for other matters:– a. the Chief Executive Officer of the Urban Land Development Authority (ULDA) or their delegate; or b. if the site is no longer within a declared Urban Development Area under the Act, the local government or entity responsible for assessing and deciding planning and/or development applications in the area.

TERM	DEFINITION
Now, New and Next Sustainability Approach	- Now: the existing or current standard approach for technologies or best practice implementation. - New: the emerging opportunities for piloting of technologies or implementation approaches. - Next: over the horizon opportunities that might be suitable for further investigation and research.
Peoples Place	An area of public space located within the Town Centre, adjoining the northern boundary of the Town Centre Core, for the provision of a mixture of passive and active recreational opportunities including formal gardens, major community facilities, aquatic facilities and events spaces. Refer Part 11.3.
Plan of Development (PoD)	A PoD may accompany an application for a Material Change of Use or Reconfiguration a Lot and may deal with residential or non-residential uses as well as operational work. A PoD is prepared by an applicant and may include maps, graphics and text. A PoD cannot include land beyond the boundary of land the subject of the Application.
Planning Content	Content that is to be used to inform subsequent applications to the extent outlined in the relevant Part of the Master Plan
Precinct	Provides a spatial reference to the appropriate allocation of land uses throughout each of the Localities. Refer Part 8.
Road	A local government road or a State-controlled road.
Shopfront	The ground level façade for the display and retailing of goods and personal services with a pedestrian entry point to the premises.
Site Cover	The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.
Stockland	Means Stockland Corporation Limited and any subsidiary company.
Super Lot	A lot created from a parent lot or lots, with the intention of being further subdivided at a point in the future and for the purpose of accommodating particular development facilitated by the Master Plan, but to also be the subject of further development applications.
Temporary or Interim Land Uses	Uses that operate for not more than 10 years, and are directly associated with an approved and complementary land use or are directly related to the construction within the Master Plan Area (such as borrow pits, stockpiles, crushing and screening plants, storage yards).
Transit Centre	Accommodates the major passenger terminal within the Town Centre Core, for servicing by a dedicated high frequency bus corridor connected to the Bells Creek Arterial road, together with the CAMCOS transit corridor and local and sub-regional transport services.



APPENDIX B APPROVED RECONFIGURING A LOT PLANS



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Waterway
- Proposed Waterway
- Lifestyle Buffer (30m Deep)
- Drainage Easement
- Access Easement

LAND USE

- Town Centre Mixed Use / Commercial
- Multiple Unit Dwelling Sites
- Community Use
- Private School
- Mixed Use
- Retirement Village
- Future Residential
- Utility Installation

OPEN SPACE

- Local Park
- Neighbourhood Park
- People's Place
- Drainage Reserve
- Environment Protection
- Local Linear Park
- Pedestrian Link
- Major Sports Park
- Major Recreation Park
- Major Sports Facility

RESIDENTIAL

32 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional
- 18.0m - Premium Traditional

28 Deep Lots

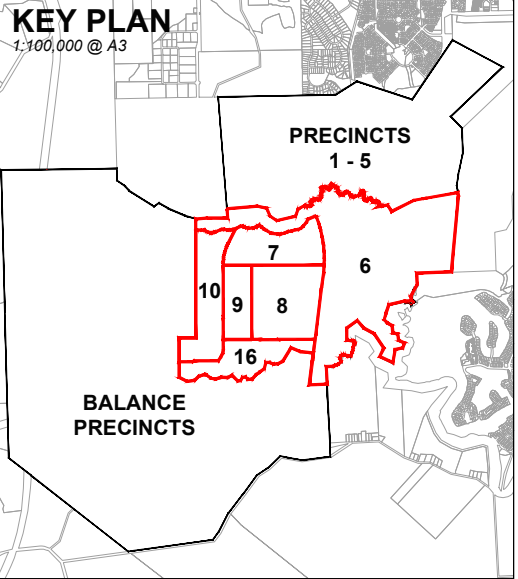
- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional
- 18.0m - Premium Traditional

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 6.2m - Front Loaded Terrace
- 10m+ - Front Loaded End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 8.5m - Mode
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Lifestyle buffer (30m Deep)
- Permissible Multiple Residential

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Local Park
- Neighbourhood Park
- People's Place
- Environment Protection
- Local Linear Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

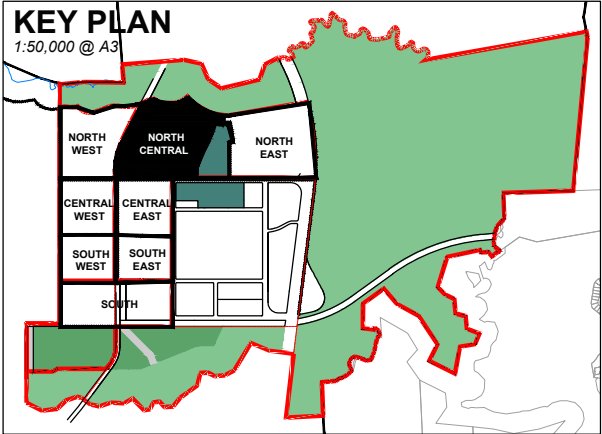
28 Deep Lots

- 8.5m - Mode
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

25 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

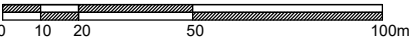
Number of Lots	422
Park Area	2.6 ha
Neighbourhood Area	25.04 ha



Caloundra South

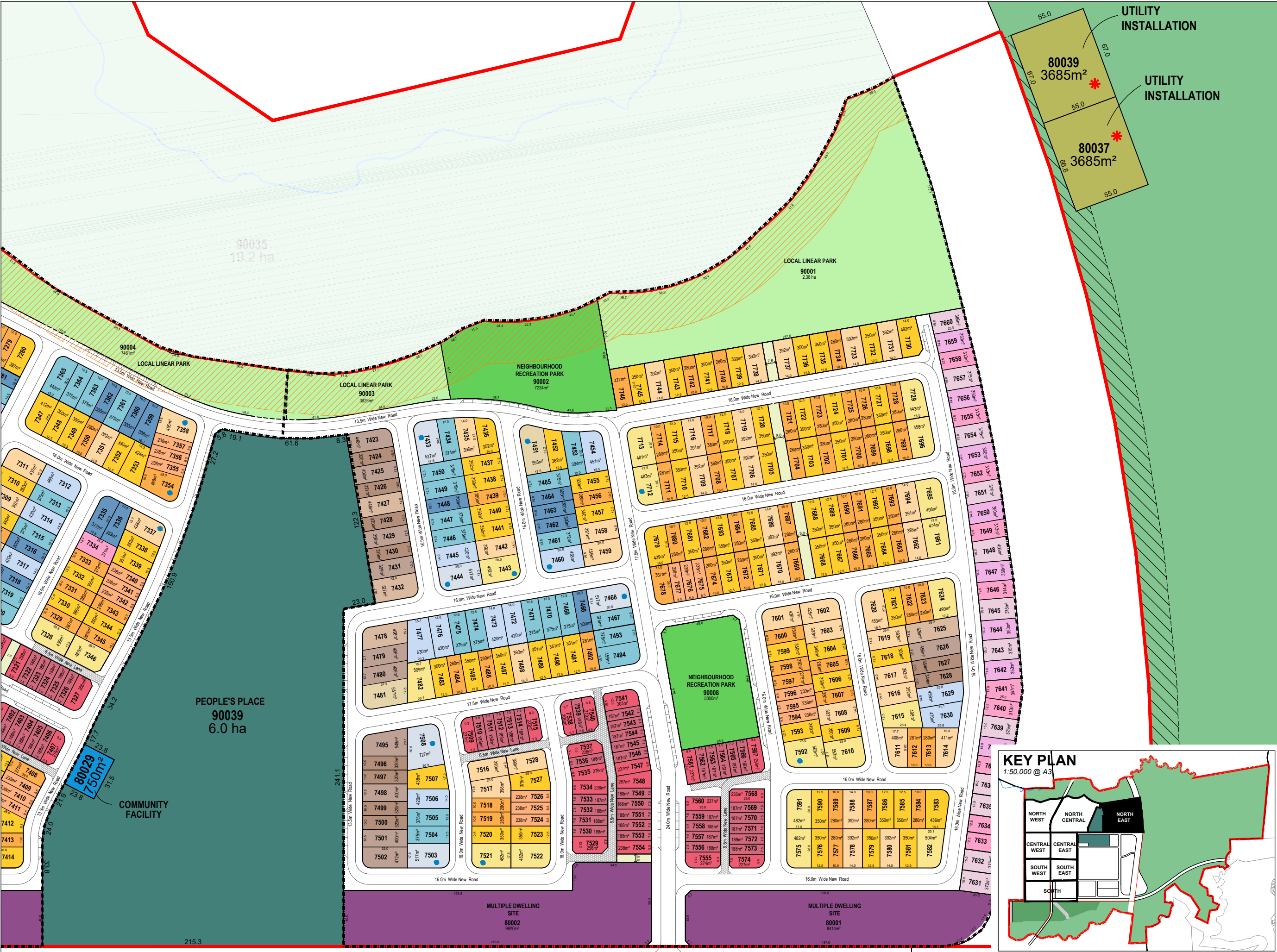
Reconfiguration of a Lot Plan - NORTH-CENTRAL NEIGHBOURHOOD

Scale 1:2,000 @ A3



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PROJECT NO: BD0332
DATE: 26.04.16
DRAWING NO: ROL03
REV: 3



LEGEND

GENERAL

Precinct Boundary

Neighbourhood Boundary

Lifestyle buffer (30m Deep)

Permissible Multiple Residential

Utility Installation

Access Easement

LAND USE

Multiple Unit Dwelling Sites

Utility Installation

OPEN SPACE

Neighbourhood Park

People's Place

Environment Protection

Local Linear Park

Pedestrian Link

RESIDENTIAL

32 Deep Lots

10.0m - Villa

12.5m - Premium Villa

14.0m - Courtyard

15.0m - Traditional

30 Deep Lots

10.0m - Villa

12.5m - Premium Villa

14.0m - Courtyard

15.0m - Traditional

28 Deep Lots

8.5m - Mode

10.0m - Villa

12.5m - Premium Villa

14.0m - Courtyard

15.0m - Traditional

25 Deep Lots

7.5m - Terrace

8.5m+ - End Terrace

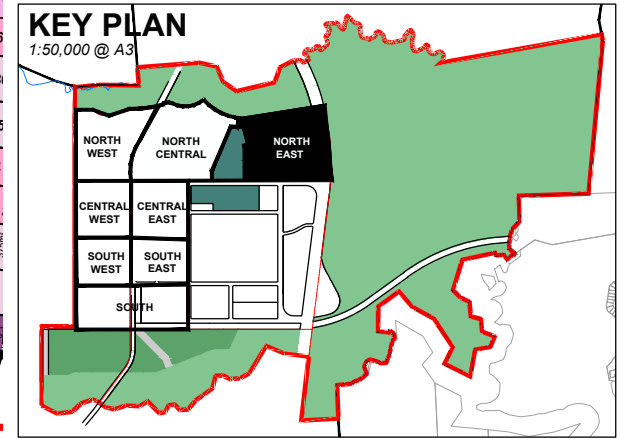
10.0m - Villa

12.5m - Premium Villa

14.0m - Courtyard

15.0m - Traditional

Number of Lots	324
Park Area	4.0 ha
Neighbourhood Area	22.9 ha





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Lifestyle Buffer (30m Deep)
- Permissible Multiple Residential

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Local Park
- Neighbourhood Park
- Environment Protection
- Local Linear Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

28 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

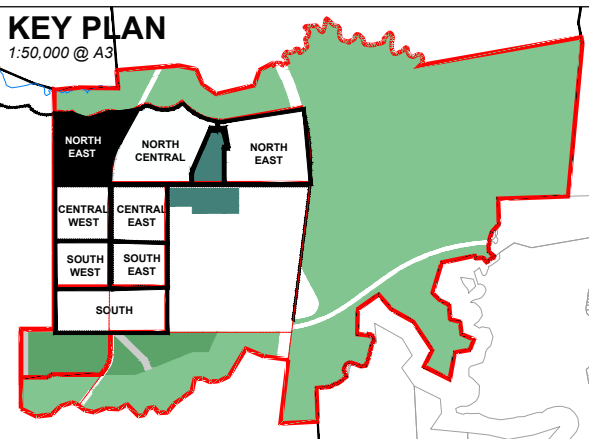
25 Deep Lots

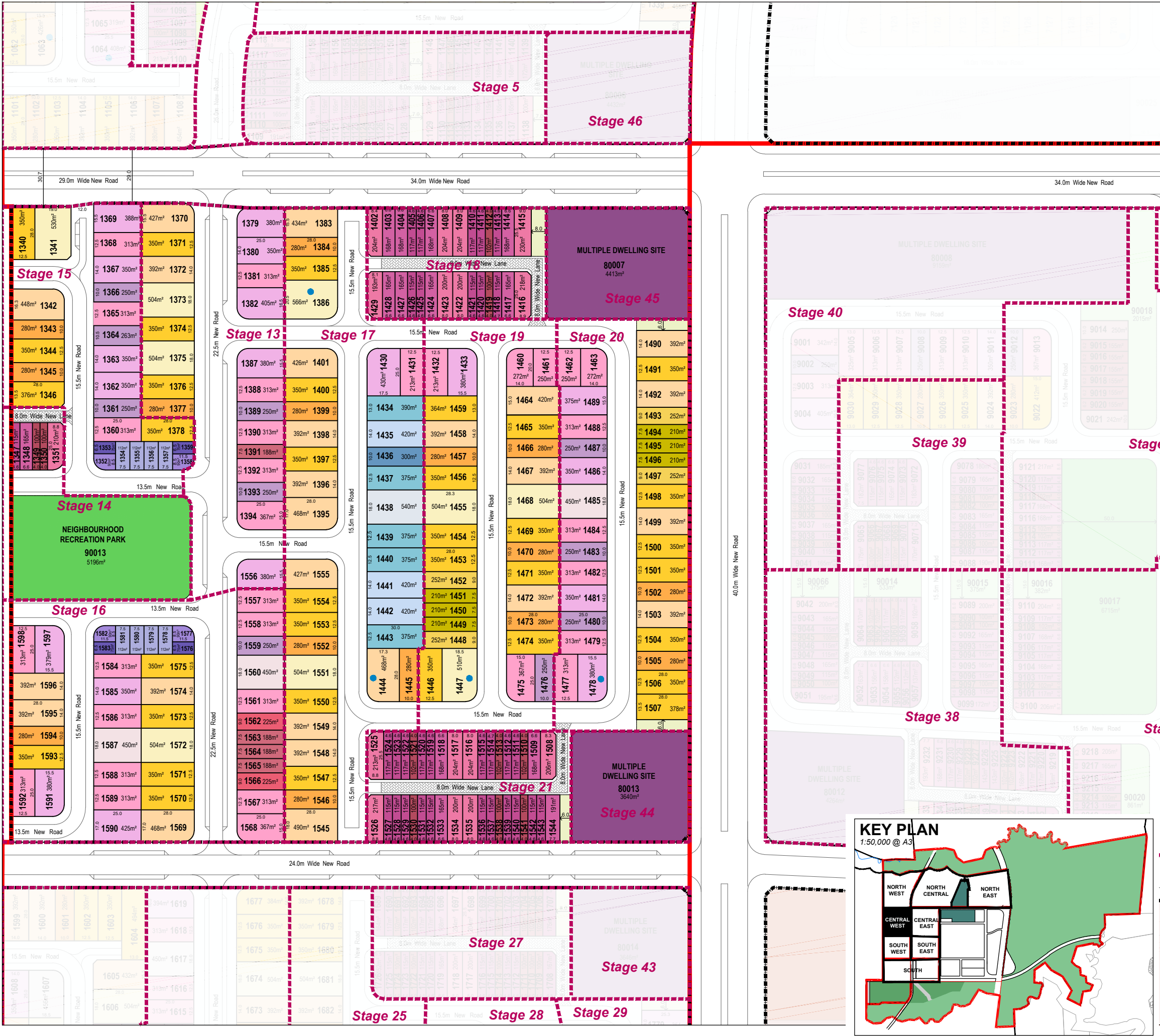
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- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 8.5m - Mode
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D

Number of Lots 339
Park Area 2.95ha
Neighbourhood Area 19.04ha





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Permissible Multiple Residential

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Neighbourhood Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

28 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

25 Deep Lots

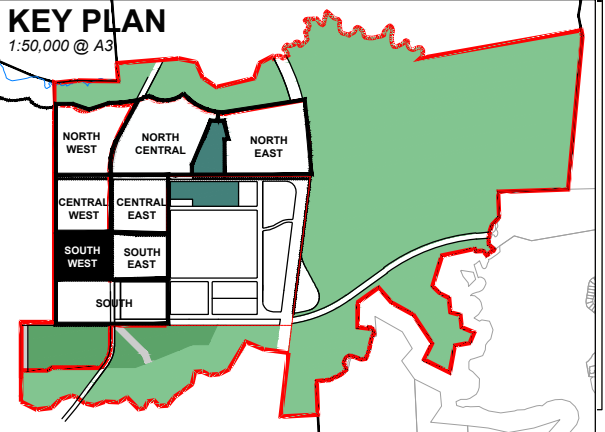
- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 9.0m - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D

Number of Lots	259
Park Area	0.52ha
Neighbourhood Area	11.96ha

Reconfiguration of a Lot Plan - SOUTH-WEST NEIGHBOURHOOD



GENERAL

- Precinct Boundary
 Neighbourhood Boundary
 Indicative Staging Boundary
 Permissible Multiple Residential

LAND USE

- Multiple Unit Dwelling Sites**

OPEN SPACE

- Neighbourhood Park
Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard

28 Deep Lots

- | |
|-----------------------------|
| 7.5m - Terrace |
| 8.5m+ - End Terrace |
| 10.0m - Villa |
| 12.5m - Premium Villa |
| 14.0m - Courtyard |
| 18.0m - Premium Traditional |

25 Deep Lots

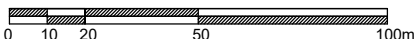
- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D

Number of Lots	210
Park Area	7546m ²
Neighbourhood Area	10.14ha

Scale 1:2,000 @ A3



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PROJECT NO: BD0332

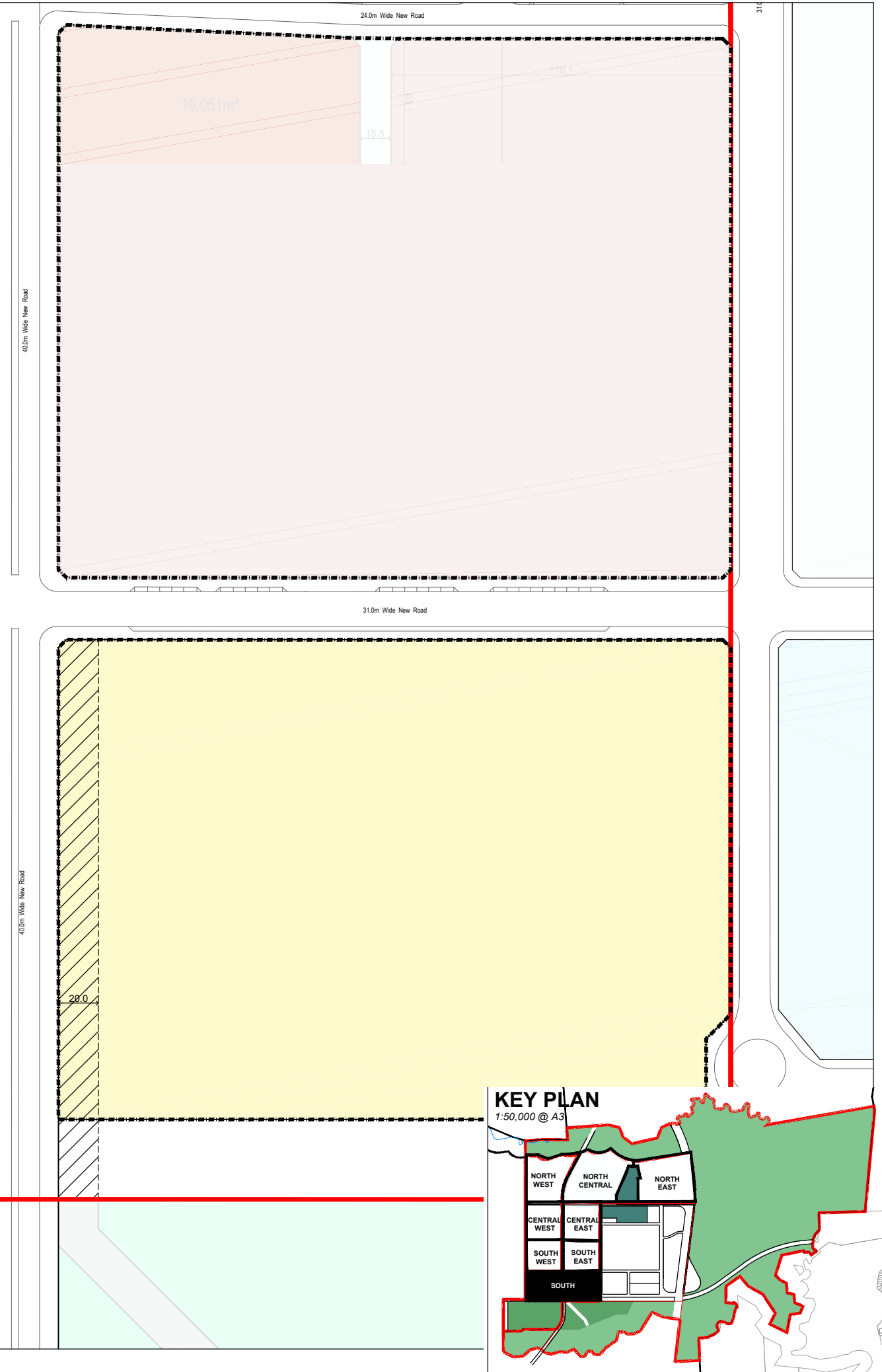
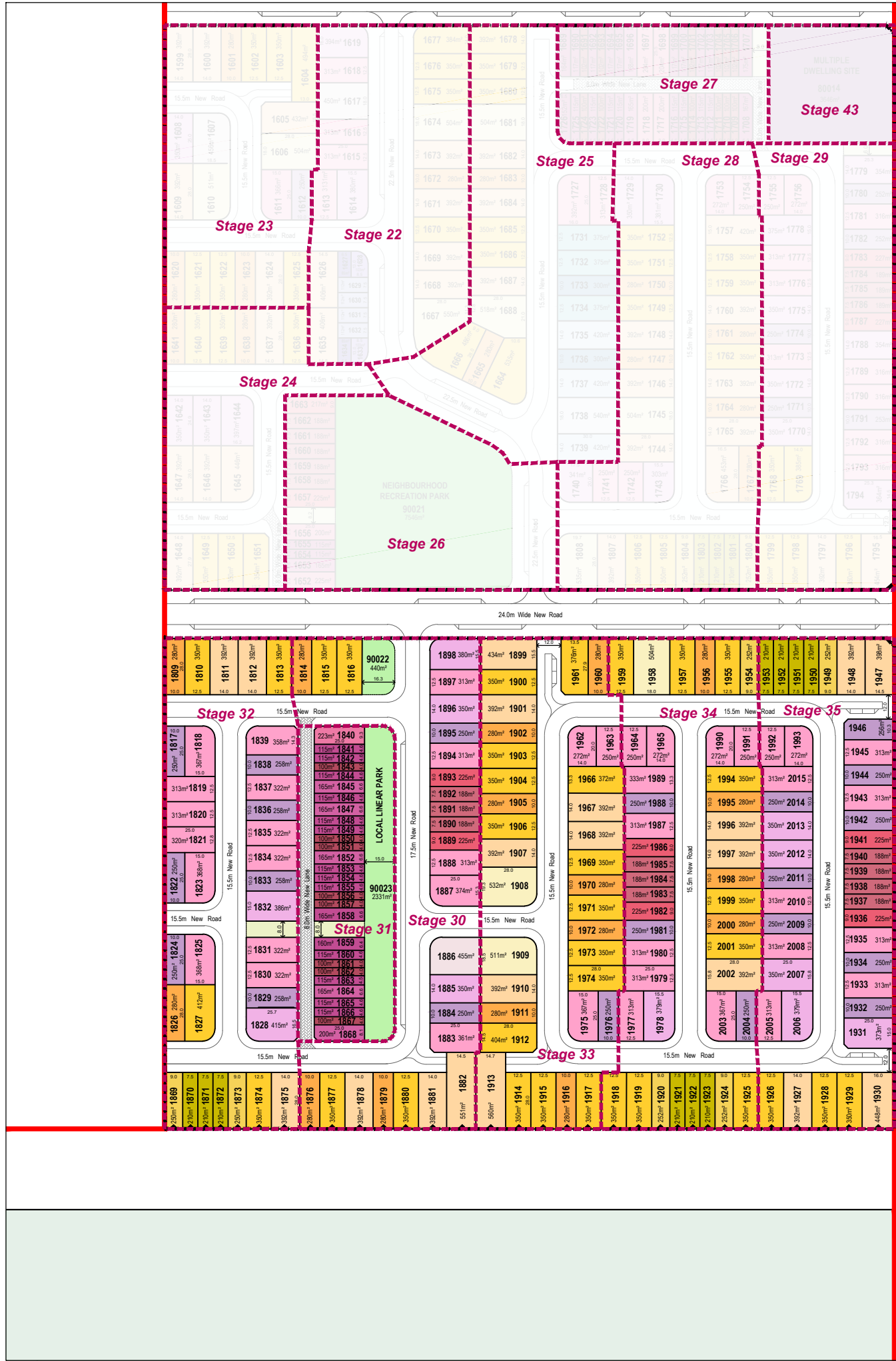
DATE: 09.04.18

DRAWING NO: ROL07

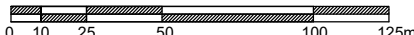
REV: 5

Caloundra South

Reconfiguration of a Lot Plan - SOUTH NEIGHBOURHOOD



Scale 1:2,500 @ A3



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PROJECT NO: BD0332
DATE: 15.05.18
DRAWING NO: ROL09
REV: 6

LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Drainage Easement

LAND USE

- Private School

OPEN SPACE

- Local Linear Park
- Pedestrian Link

RESIDENTIAL

28 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Number of Lots 207
Park Area 0.28 ha
Neighbourhood Area 16.8 ha

GENERAL

- ## LAND USE

- OPEN SPACE**

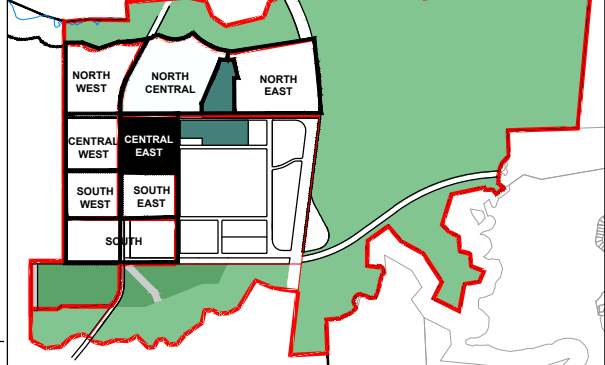
- RESIDENTIAL**

- ### 28 Deep Lots

- ### 25 Deep Lots

- | | |
|--------------------|--------|
| Number of Lots | 246 |
| Park Area | 1.2ha |
| Neighbourhood Area | 11.4ha |

1:50,000 @ A3



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PROJECT NO: BD0332
DATE: 09.04.18
DRAWING NO: ROL06
REV: 5

urbis

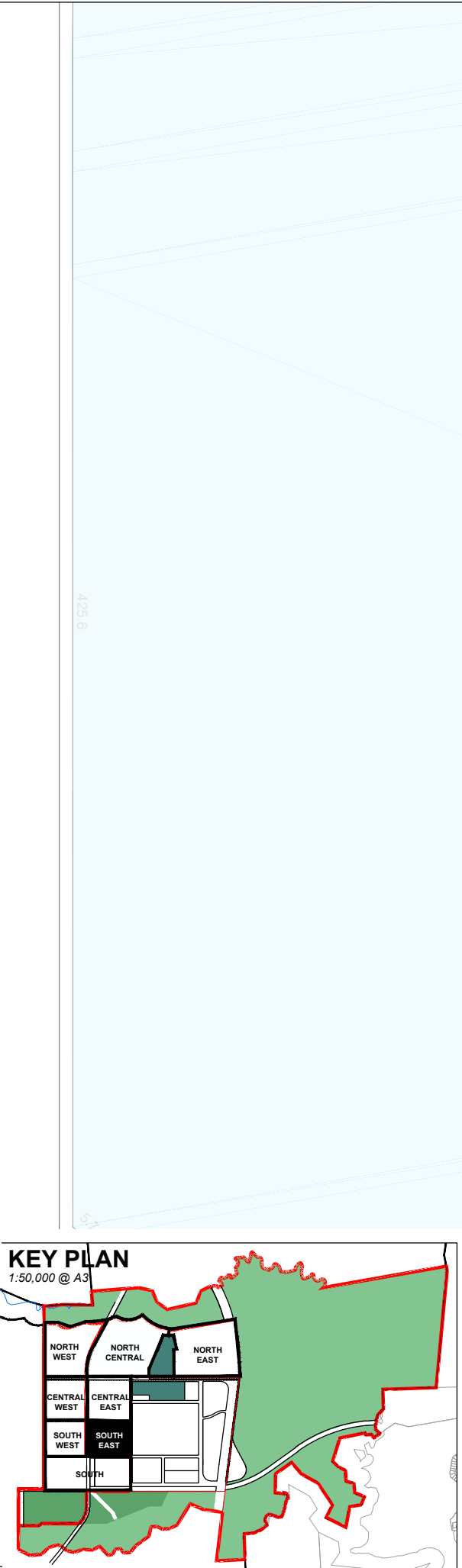
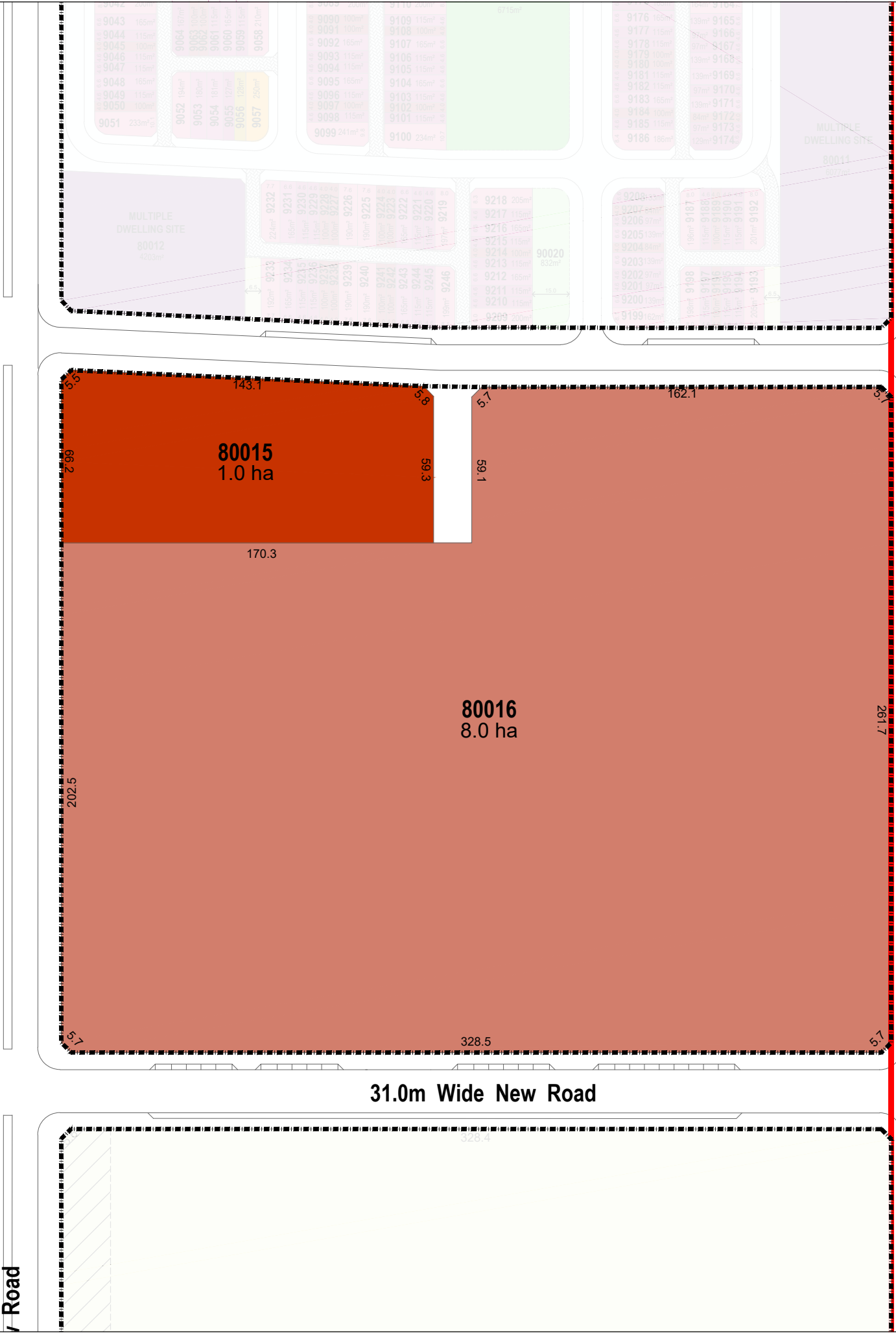
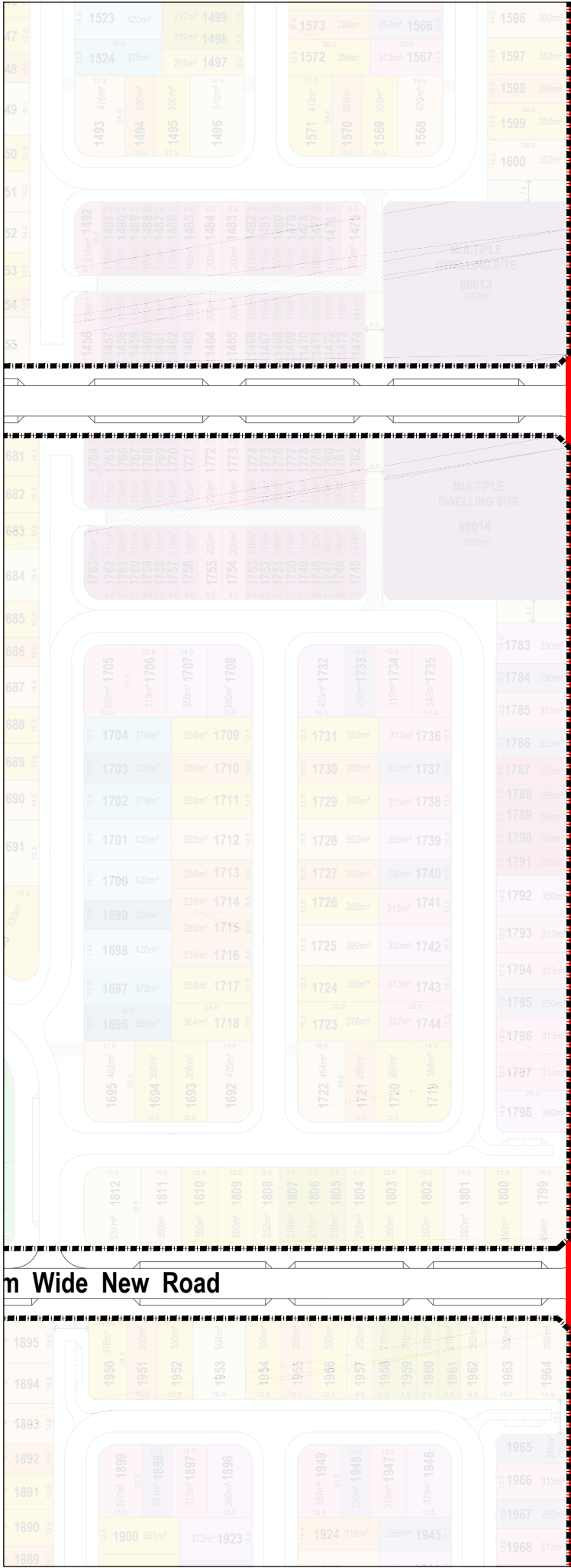
Brisbane
Level 7, 123 Albert Street
Brisbane QLD 4000
t 07 3007 3800
Urbis Pty Ltd ABN 50 105 256 228

Caloundra South

Reconfiguration of a Lot Plan - CENTRAL-EAST NEIGHBOURHOOD

Scale 1:2,000 @ A3





LEGEND

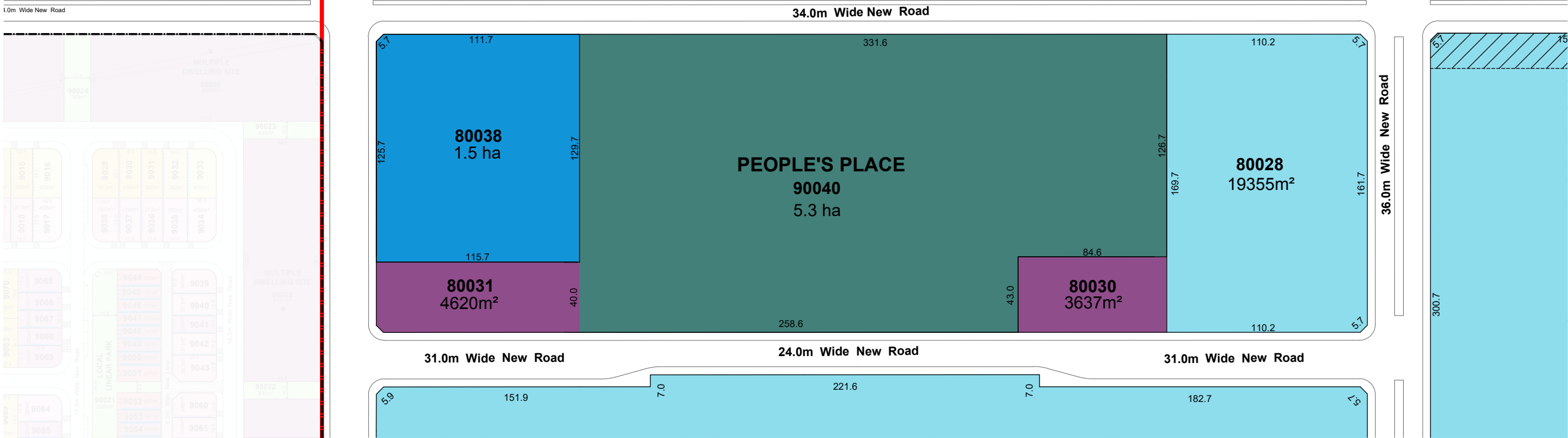
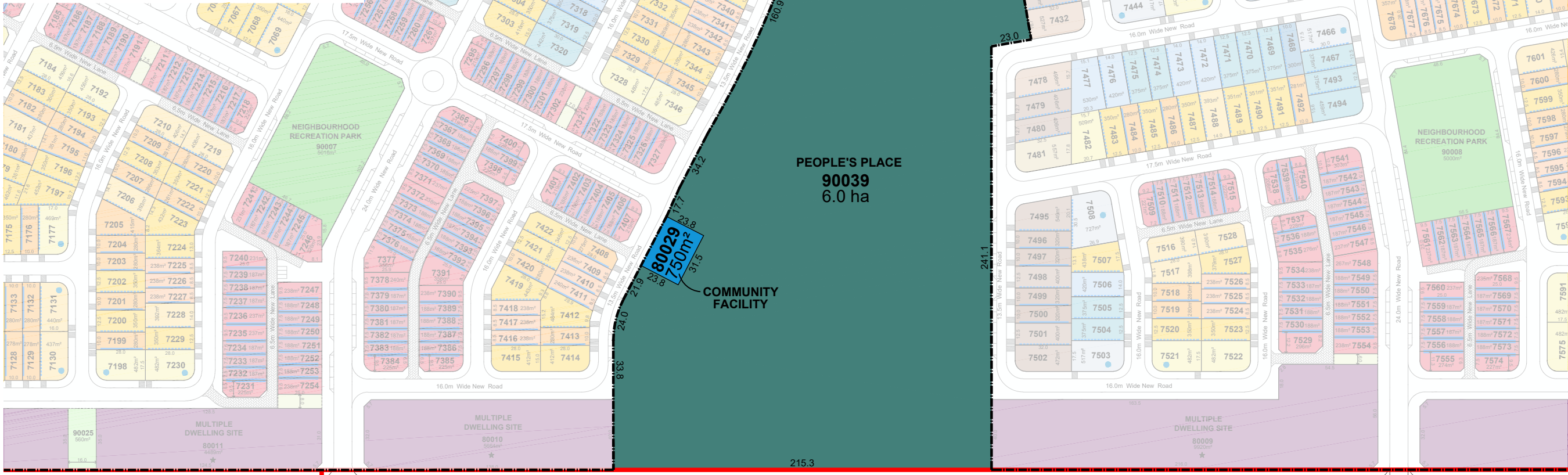
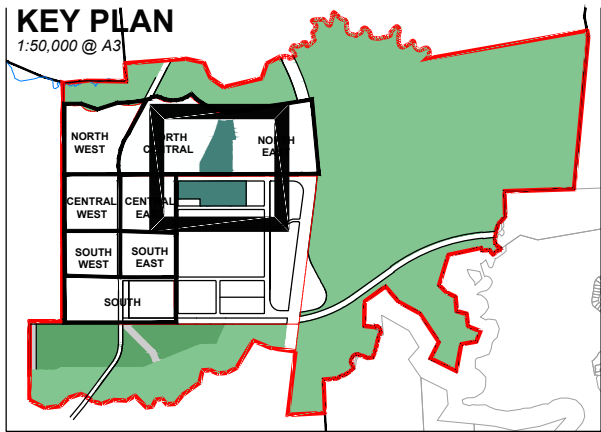
GENERAL

- Precinct Boundary
- Neighbourhood Boundary

LAND USE

- Mixed Use
- Retirement Village

Number of Lots	0
Park Area	0
Neighbourhood Area	9.12ha



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Drainage Easement

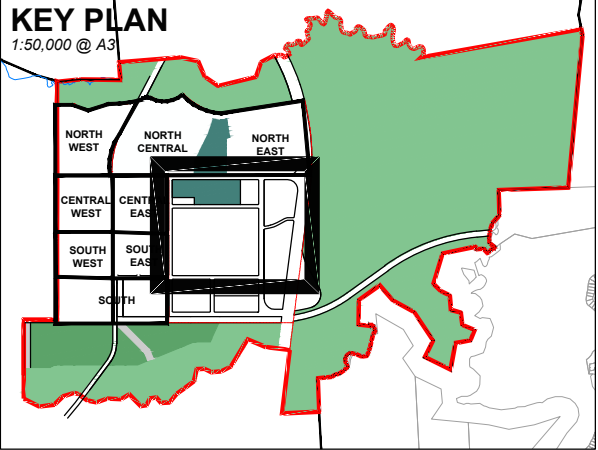
LAND USE

- Town Centre Mixed Use / Commercial
- Multiple Unit Dwelling Sites
- Community Use

OPEN SPACE

- People's Place





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Drainage Easement

LAND USE

- Town Centre Mixed Use / Commercial
- Multiple Unit Dwelling Sites

OPEN SPACE

- People's Place

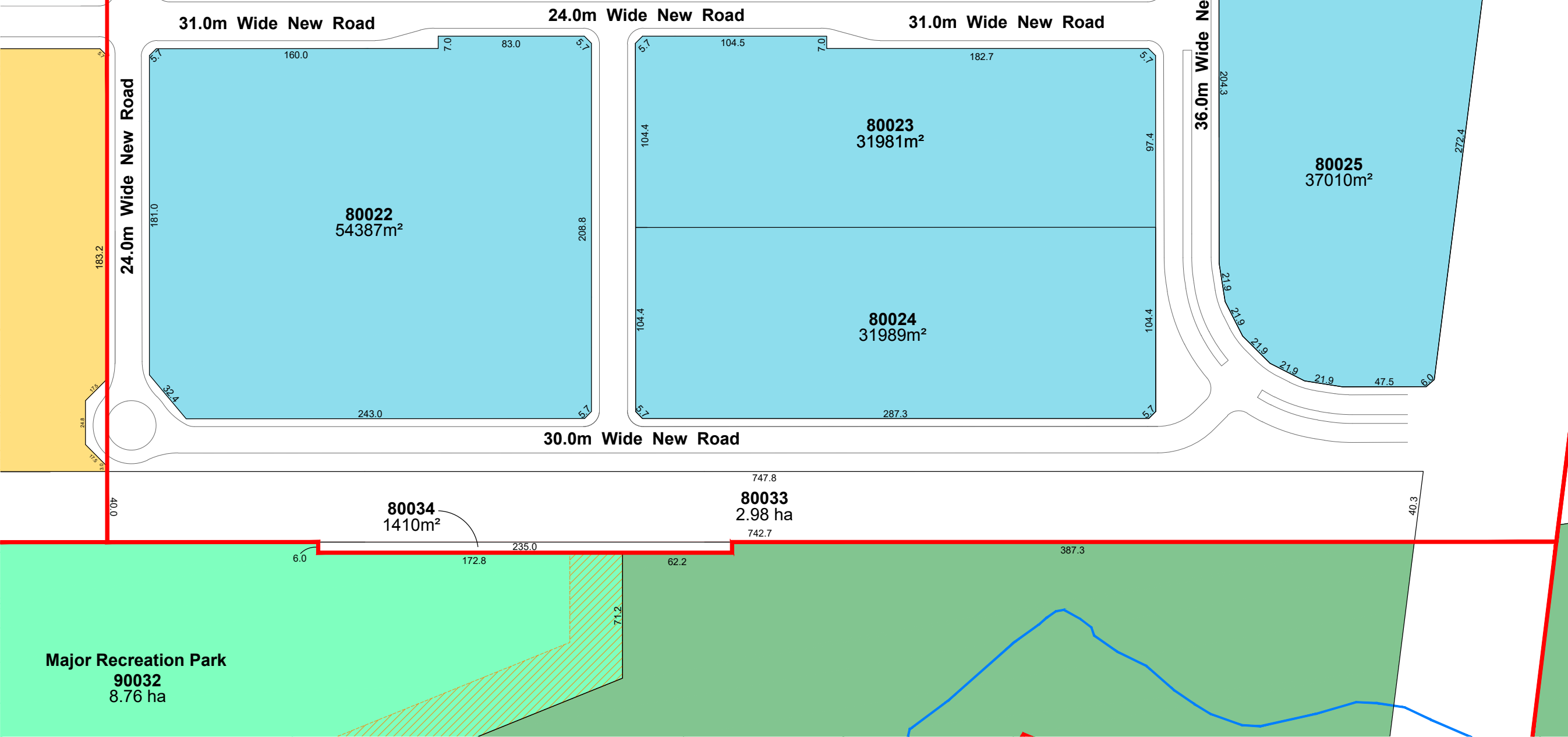
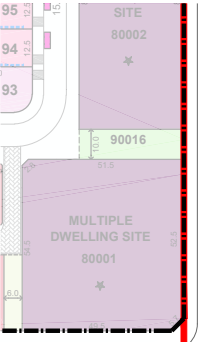
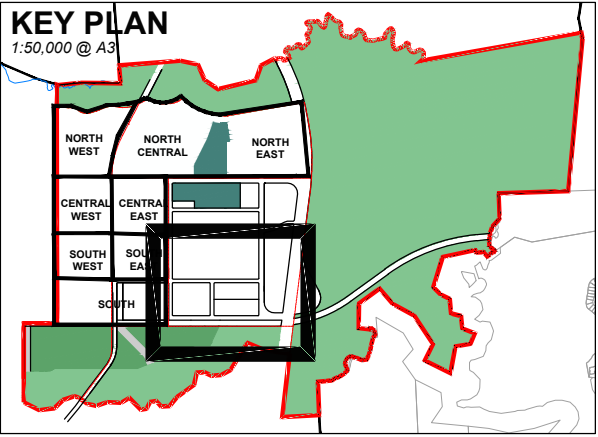
Caloundra South

Reconfiguration of a Lot Plan - TOWN CENTRE MID



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PROJECT NO: BD0332
DATE: 28.08.16
DRAWING NO: ROL11
REV: 4



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary

LAND USE

- Town Centre Mixed Use / Commercial
- Private School

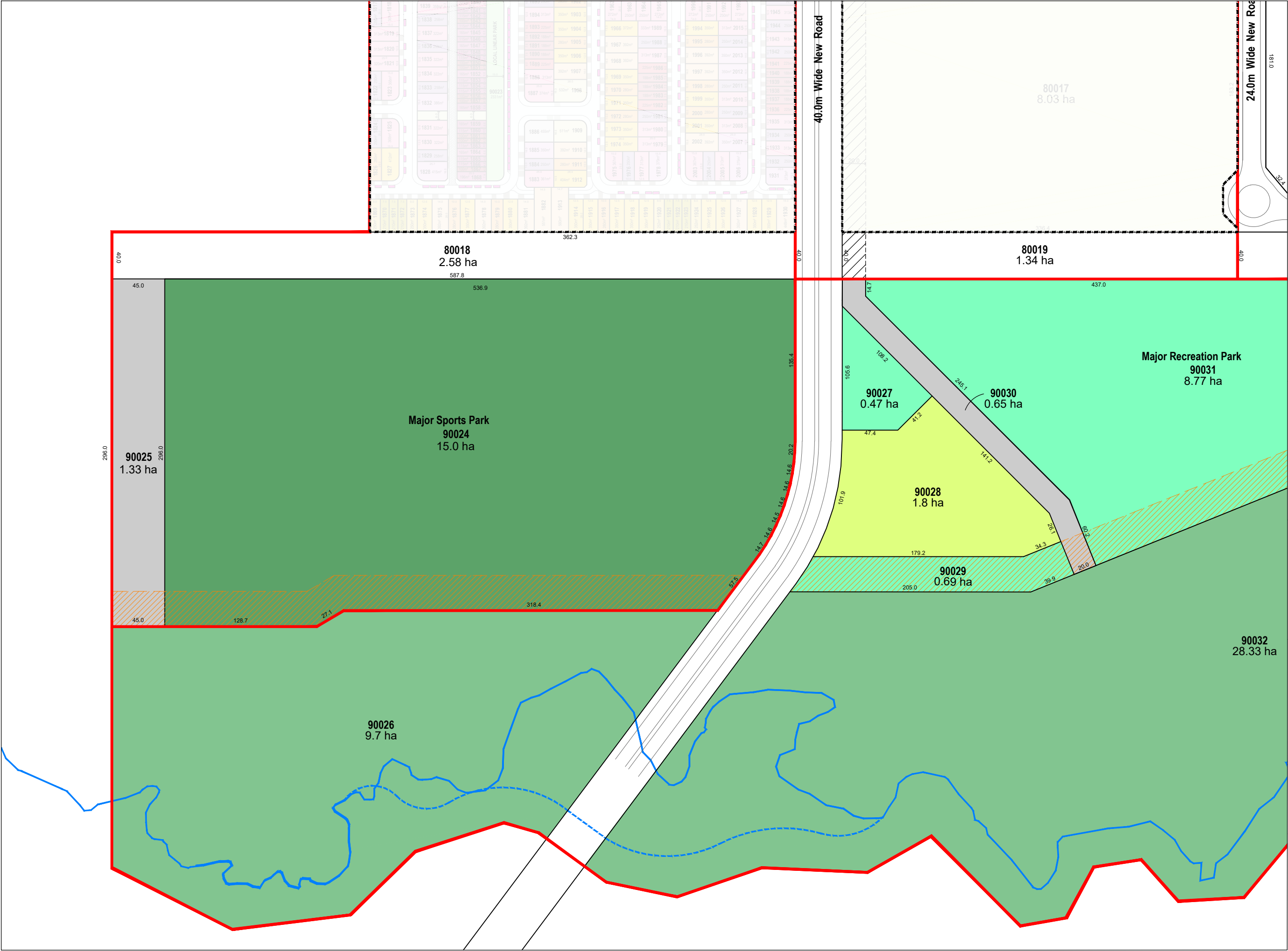
OPEN SPACE

- Environment Protection
- Major Recreation Park

Caloundra South

Reconfiguration of a Lot Plan - TOWN CENTRE SOUTH





LEGEND

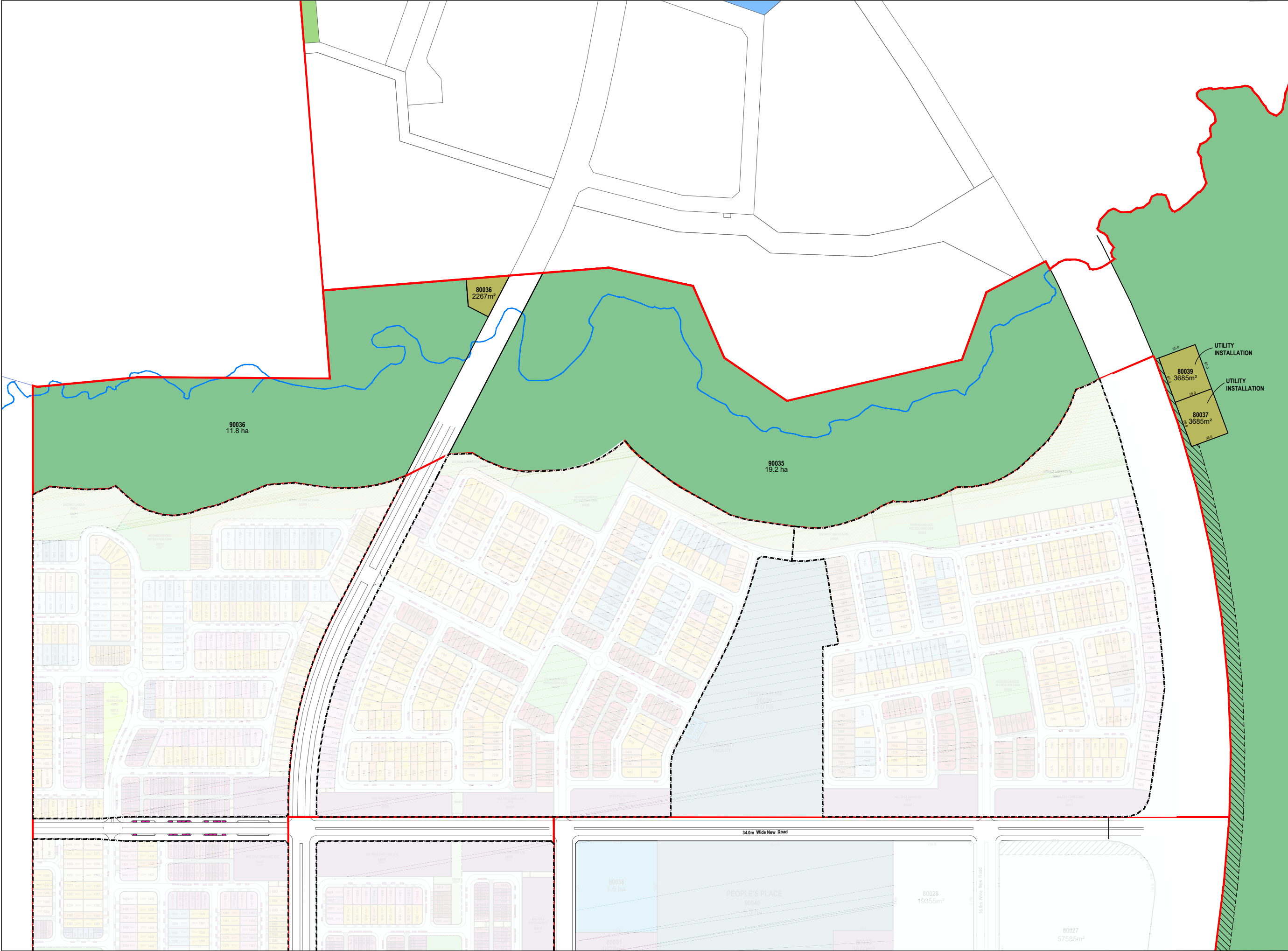
GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Waterway
- Proposed Waterway
- Lifestyle Buffer (30m Deep)
- Drainage Easement

OPEN SPACE

- Drainage Reserve
- Environment Protection
- Major Sports Park
- Major Recreation Park
- Major Sports Facility





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Waterway
- Access Easement
- Utility Installation

OPEN SPACE

- Environment Protection





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Waterway
- Proposed Waterway
- Lifestyle Buffer (30m Deep)
- Drainage Easement

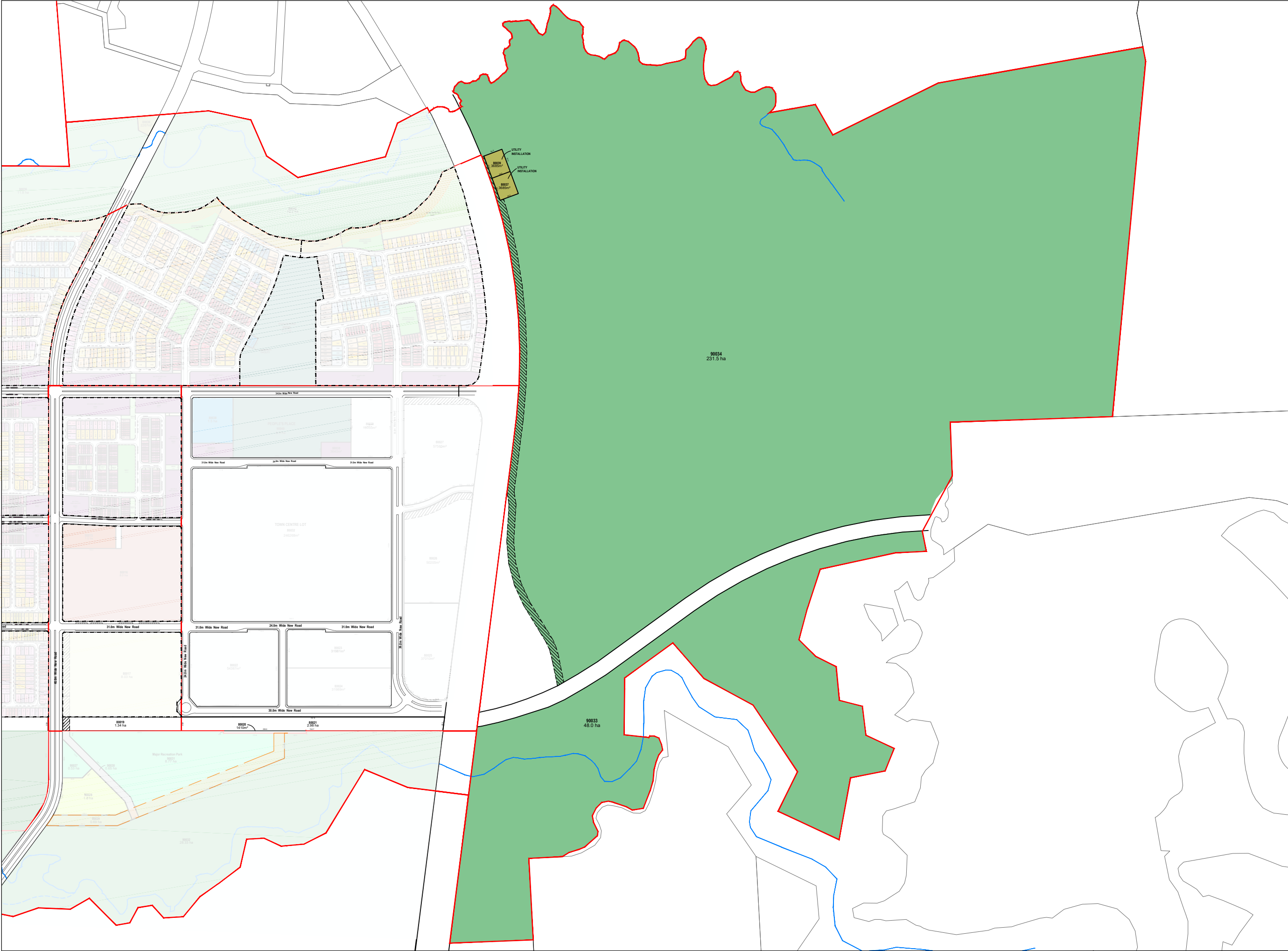
OPEN SPACE

- Drainage Reserve
- Environment Protection
- Major Sports Park
- Major Recreation Park
- Major Sports Facility

Caloundra South

Reconfiguring of a Lot Plan - CONSERVATION ZONE - SOUTH





LEGEND

GENERAL

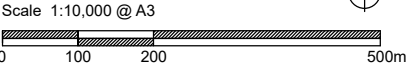
- Precinct Boundary
- Neighbourhood Boundary
- Waterway
- Access Easement
- Utility Installation

OPEN SPACE

- Environment Protection

Caloundra South

Reconfiguring of a Lot Plan - ENVIRONMENTAL PROTECTION ZONE

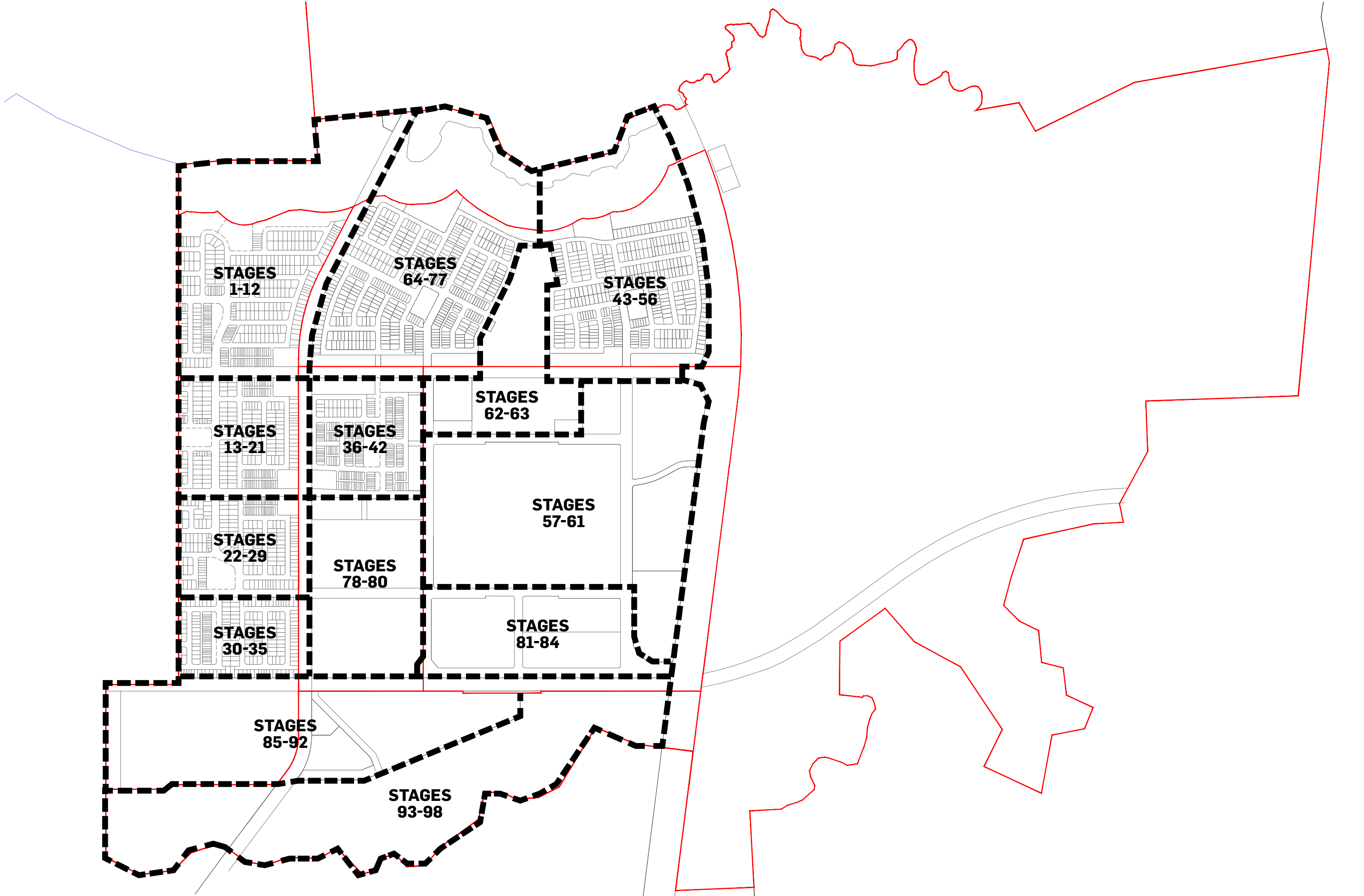


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PROJECT NO: BD0332
DATE: 27.09.17
DRAWING NO: ROL15
REV: 5



APPENDIX C INDICATIVE STAGING PLAN



Brisbane
 Level 7, 123 Albert Street
 Brisbane QLD 4000
 t 07 3007 3800
 Urbis Pty Ltd ABN 50 105 256 228

Caloundra South

Indicative Staging Plan

Scale 1:10,000 @ A3



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PROJECT NO: BD0332
DATE: 27.09.17
DRAWING NO: SP01
REV: 2





APPENDIX D APPROVED ADVERTISING DEVICES

Legend

- Application Boundary
- Estate Entry Sign
- Billboard (to be illuminated) (15-year duration)
- Pylon Identification Sign (10 year duration)
- Permanent Pylon Identification Sign (15-year duration)

Notes

- Proposed Advertising Devices must be of materials and colours which complement the design theme of the residential estate and present a visually attractive appearance to the public.
- Unless otherwise agreed to in writing by the DSDIP, the advertising devices nominated on this plan are to be considered temporary only and are not permitted to remain longer than:
 - Fifteen (15) years from the date the approval is granted where an Estate Entry Sign or a Billboard Identification Sign; or
 - Fifteen (15) years from the date the approval is granted or once the last residential lot is sold within the estate, whichever is earliest, where a Pylon Identification Sign (15 year duration); or
 - Ten (10) years from the date the approval is granted or once the last residential lot is sold within the estate, whichever is the earliest, where a Pylon Identification Sign (10 year) or a Flagpole Sign; or
 - Five (5) years from the date the approval is granted or once the last residential lot is sold within the estate, whichever is the earliest, where a Pylon Identification Sign (5 year duration);After these times, the Advertising Devices must be removed.
- Advertising Devices must be:
 - Maintained to not cause disturbance to the occupants of nearby developments; and
 - Located and designed to not create a nuisance or potential hazard to pedestrians.
- Construction of Advertising Devices is limited to 6:30am–6:30pm Monday to Saturday, and may not occur outside of these hours, on Sundays or on public holidays.
- Advertising Devices are to be consistent with the scale and design of the existing buildings and other works on the site and in the locality, and complement the local streetscape; and where appropriate, to reflect the character of the area.
- An Estate Entry Sign:
 - Is placed at the entrance of an estate;
 - Is set at or within 500mm of ground level;
 - Is maintained as a freestanding structure in a landscaped environment;
 - Does not obstruct pedestrian/cycle access to the estate;
 - Signface area does not exceed 50m²;
 - Is a maximum height of 6 metres.
- A Billboard Identification Sign or Pylon Identification Sign is permitted where complying with the following Criteria:
 - Is mounted as freestanding structure in a landscape environment;
 - Does not project beyond the front alignment of the site;
 - Is designed and treated in such a way that the supporting framework and the back of the signface area blend with the surrounding streetscape or field a view;
 - Has a maximum thickness not exceeding 75mm per metre of height above ground level; and
 - Is permitted up to a maximum height of 15 metres and a maximum signface area of 43m² per signface;
- A Flagpole Sign is permitted where complying with the following criteria:
 - is limited to one (1) flag per 10 metres of street front boundary;
 - does not exceed a maximum signface area of 2.5m²; and
 - does not exceed a maximum height of 5 metres above ground level.
- A Third Party Sign is permitted to be erected on land owned or under the control of Stockland, and intended to advertise the emerging community of Caloundra South.





APPENDIX E APPROVED PLAN OF DEVELOPMENT PLANS



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Waterway
- Lifestyle buffer (30m Deep)
- Permissible Multiple Residential
- Lots Potentially Impacted By Road Traffic Noise

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Neighbourhood Park
- People's Place
- Environment Protection
- Local Linear Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

28 Deep Lots

- 8.5m - Mode
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

25 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 15.0m - Traditional

DEVELOPMENT CONTROLS

- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveway
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

PARKING

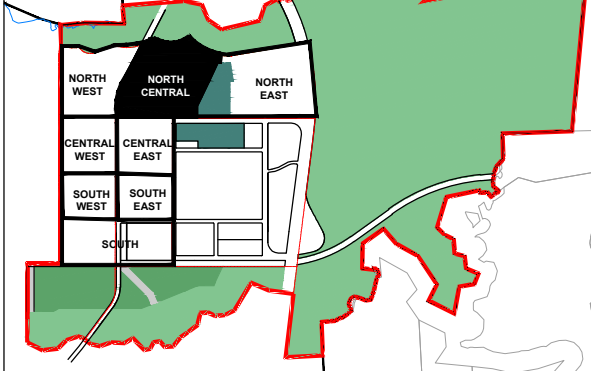
Total Visitor Parking Spaces	217
Total Lots	422

Note:

- On lots marked on plan as potentially impacted by road traffic noise:
- Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
 - Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

KEY PLAN

1:50,000 @ A3



Caloundra South

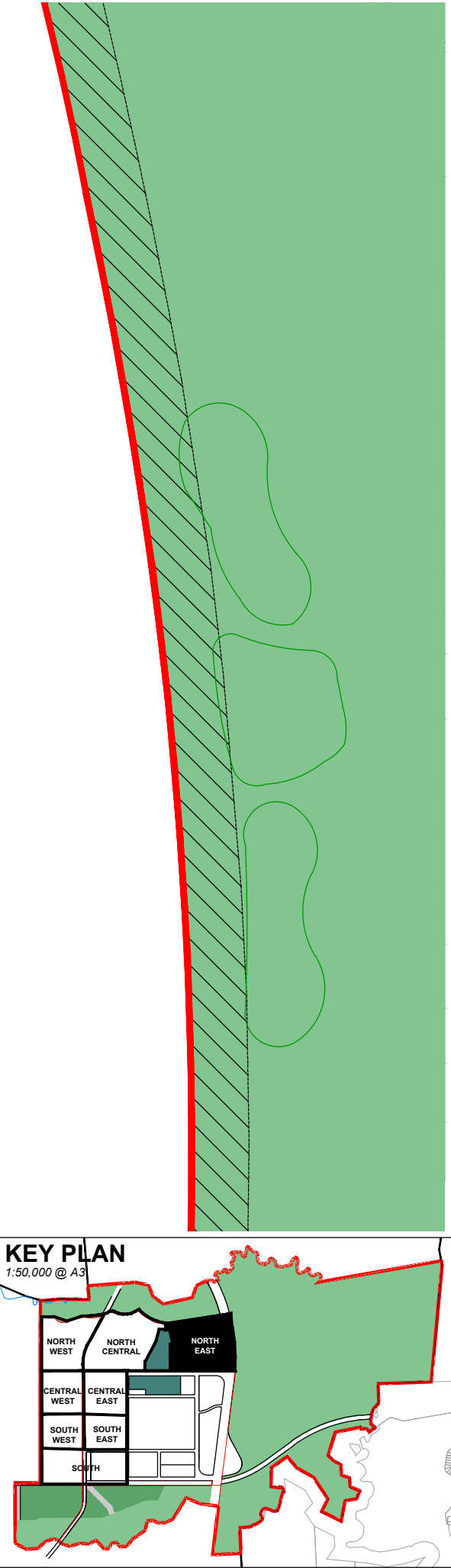
Plan of Development - NORTH-CENTRAL NEIGHBOURHOOD

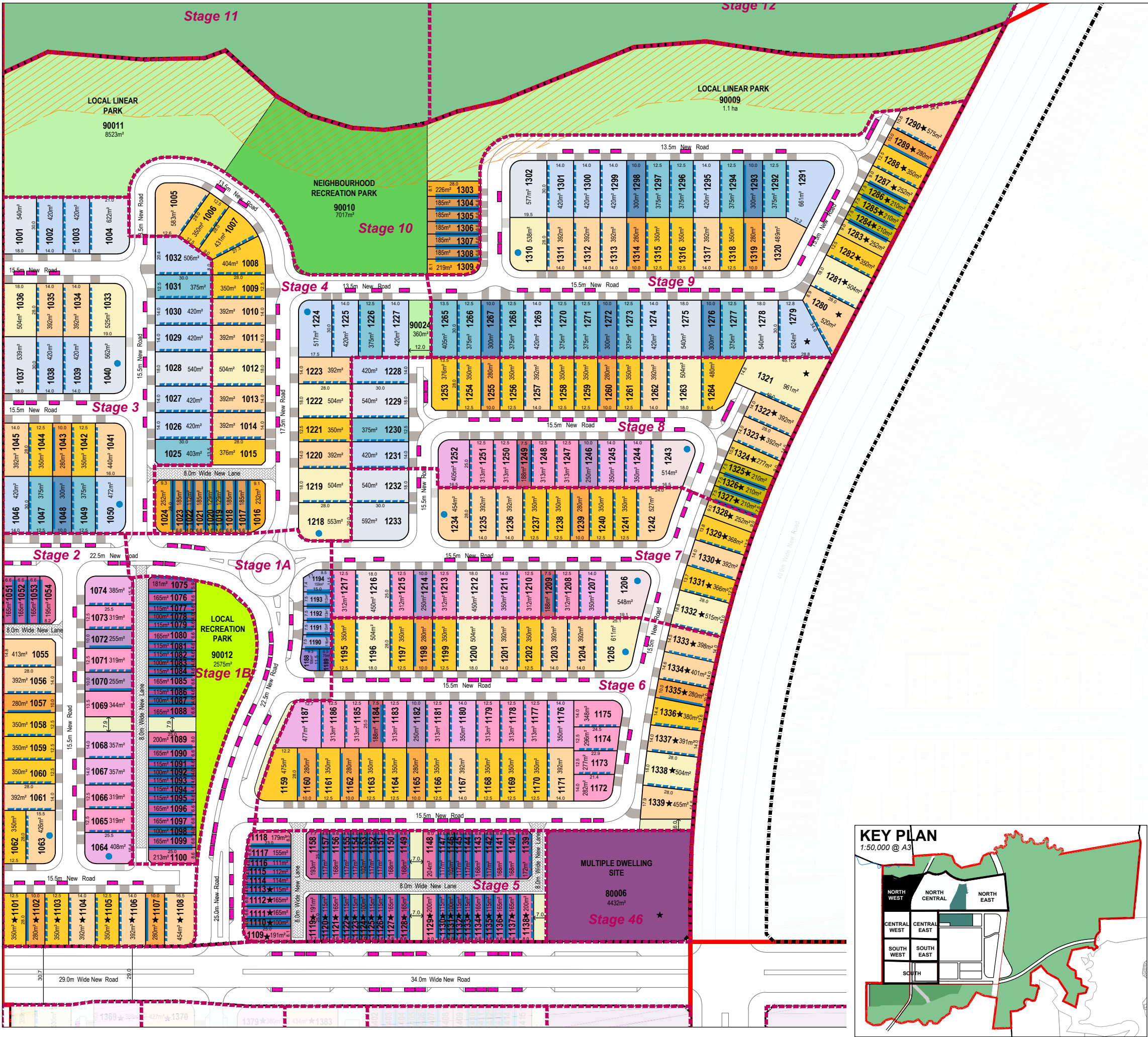
Scale 1:2,000 @ A3



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PROJECT NO: BD0332
DATE: 10.04.18
DRAWING NO: ROL03
REV: 3





LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Lifestyle buffer (30m Deep)
- Permissible Multiple Residential
- Lots Potentially Impacted By Road Traffic Noise

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Local Park
- Neighbourhood Park
- Environment Protection
- Local Linear Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

28 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D

DEVELOPMENT CONTROLS

- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveways
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

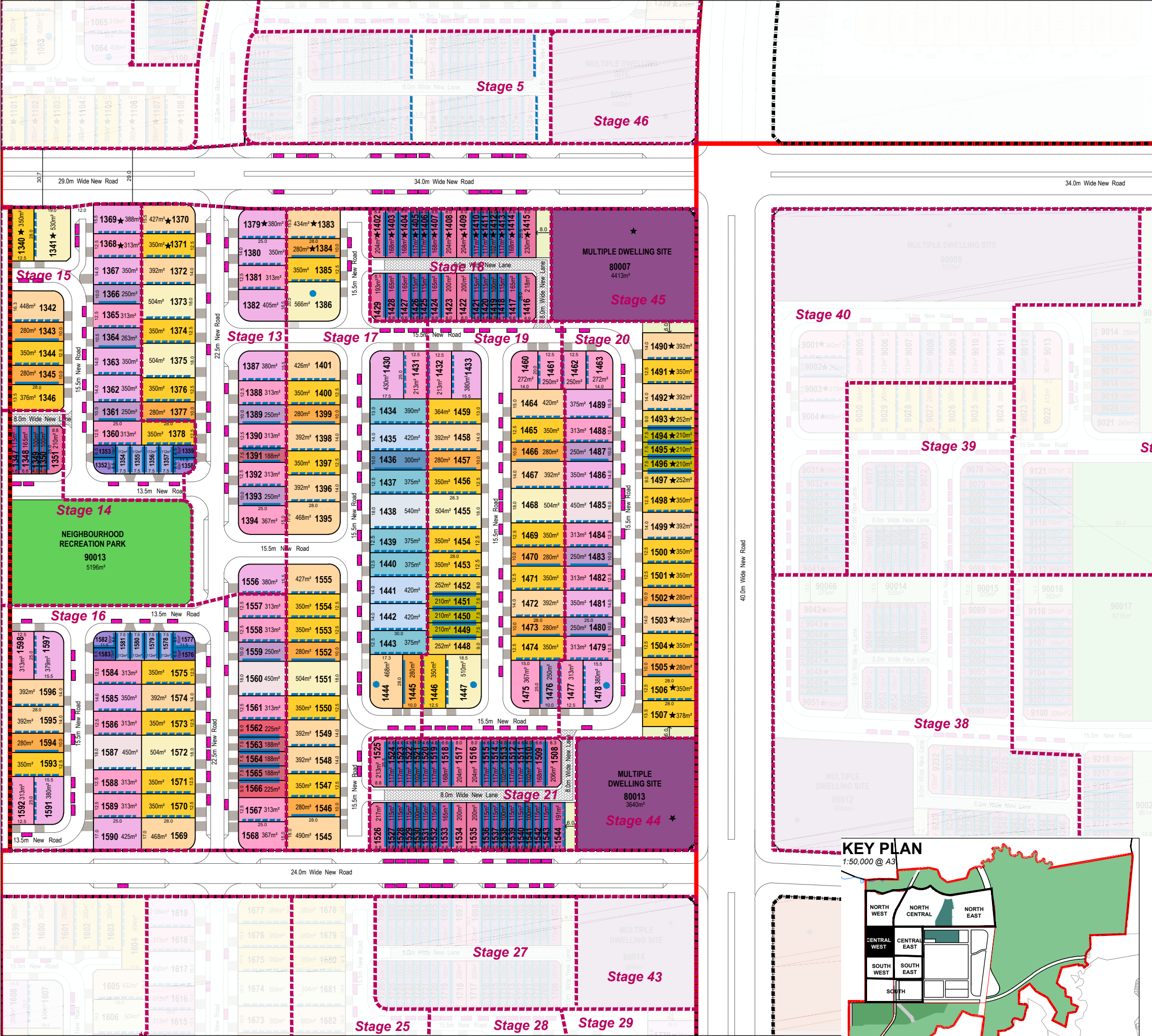
PARKING

Total Visitor Parking Spaces	176
Total Lots	339

Note:
On lots marked on plan as potentially impacted by road traffic noise:
• Dwellings must be designed such that internal noise levels comply with AS/ NZS2107:2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
• Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

KEY PLAN

1:50,000 @ A3



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Permissible Multiple Residential
- Lots Potentially Impacted By Road Traffic Noise

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Neighbourhood Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

28 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D

DEVELOPMENT CONTROLS

- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveways
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

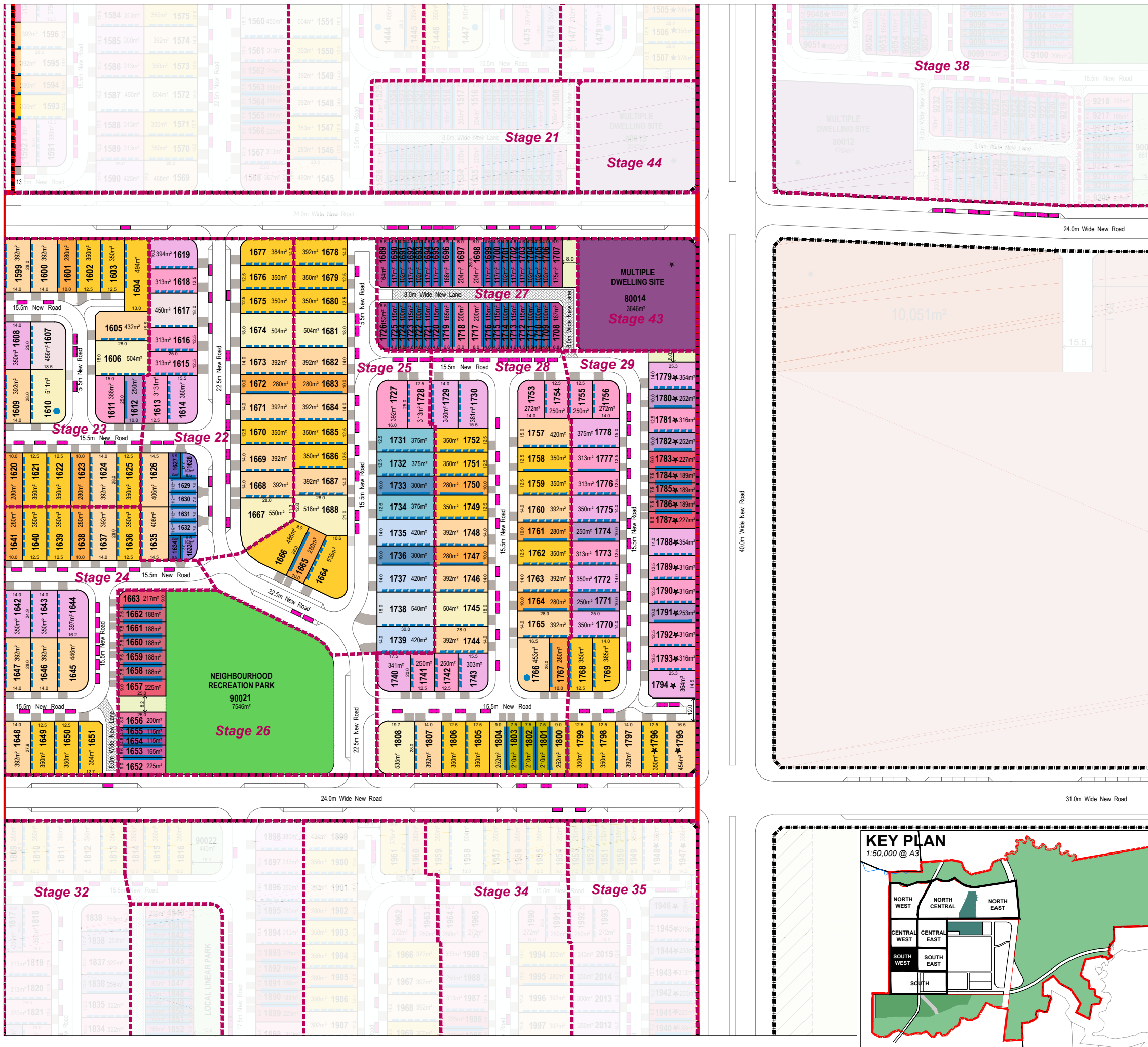
PARKING

Total Visitor Parking Spaces	133
Total Lots	259

Note:
On lots marked on plan as potentially impacted by road traffic noise:
• Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
• Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

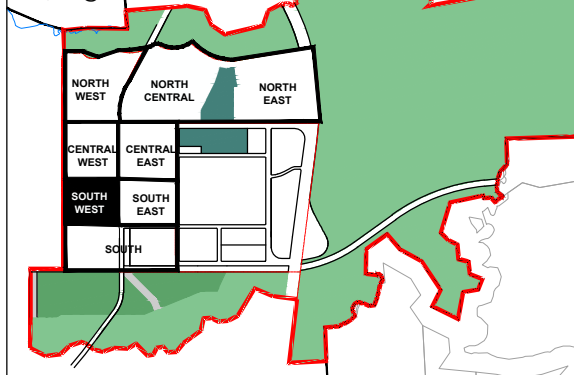
Caloundra South

Plan of Development - SOUTH-WEST NEIGHBOURHOOD



KEY PLAN

1:50,000 @ A3



Note:
On lots marked on plan as potentially impacted by road traffic noise:
• Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
• Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Lifestyle buffer (30m Deep)
- Permissible Multiple Residential
- Lots Potentially Impacted By Road Traffic Noise

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Neighbourhood Park
- Pedestrian Link

RESIDENTIAL

30 Deep Lots

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

28 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 6.2m - Front Loaded Terrace
- 10m+ - Front Loaded End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

Urban Lots

- Urban Lot Type A
- Urban Lot Type B
- Urban Lot Type C & D

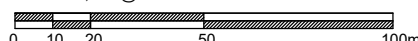
DEVELOPMENT CONTROLS

- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveways
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

PARKING

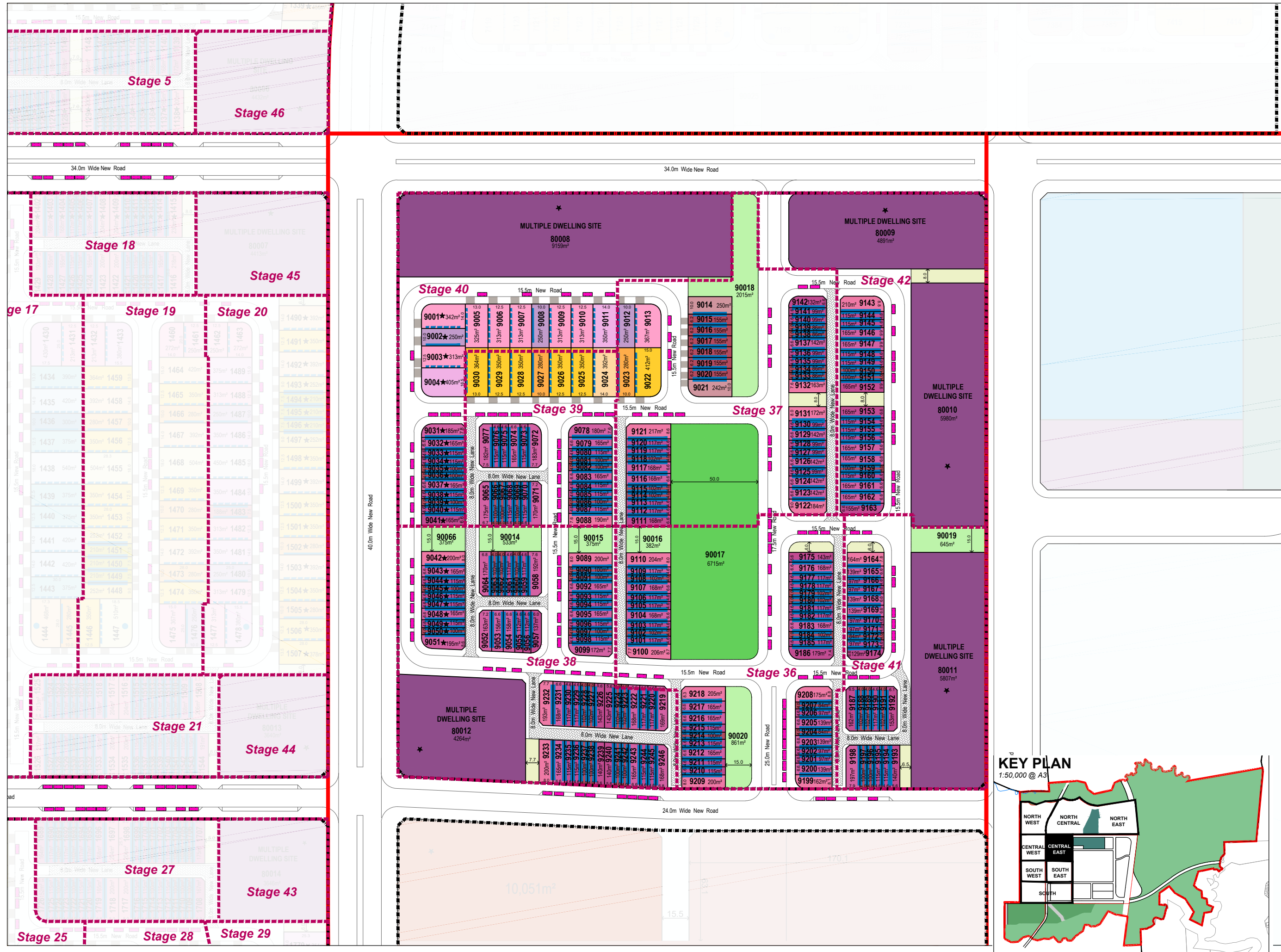
Total Visitor Parking Spaces	108
Total Lots	210

Scale 1:2,000 @ A3



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PROJECT NO: BD0332
DATE: 10.04.18
DRAWING NO: POD07
REV: 5



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Lots Potentially Impacted By Road Traffic Noise

LAND USE

- Multiple Unit Dwelling Sites

OPEN SPACE

- Neighbourhood Park
- Local Linear Park
- Pedestrian Link

RESIDENTIAL

28 Deep Lots

- 4.6m - Terrace
- 6.6m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 6.2m - Front Loaded Terrace
- 10m+ - Front Loaded End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard

DEVELOPMENT CONTROLS

- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveways
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

PARKING

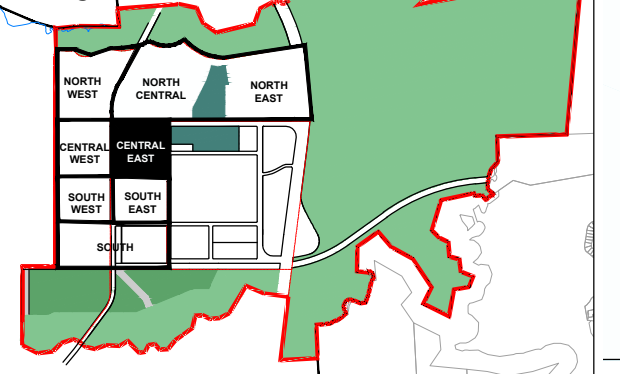
Total Visitor Parking Spaces	128
Total Lots	246

Note:

- On lots marked on plan as potentially impacted by road traffic noise:
- Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
- Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

KEY PLAN

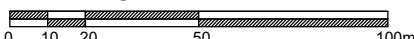
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Caloundra South

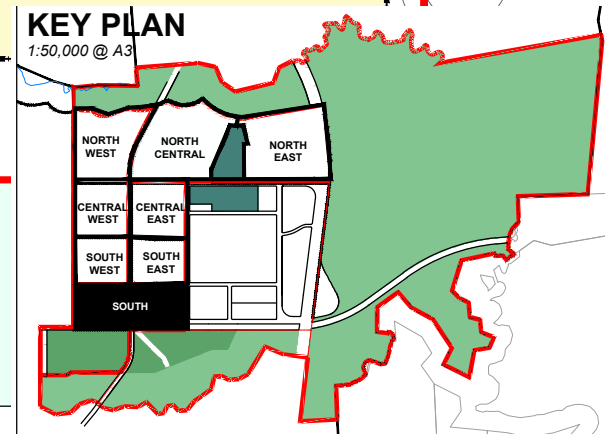
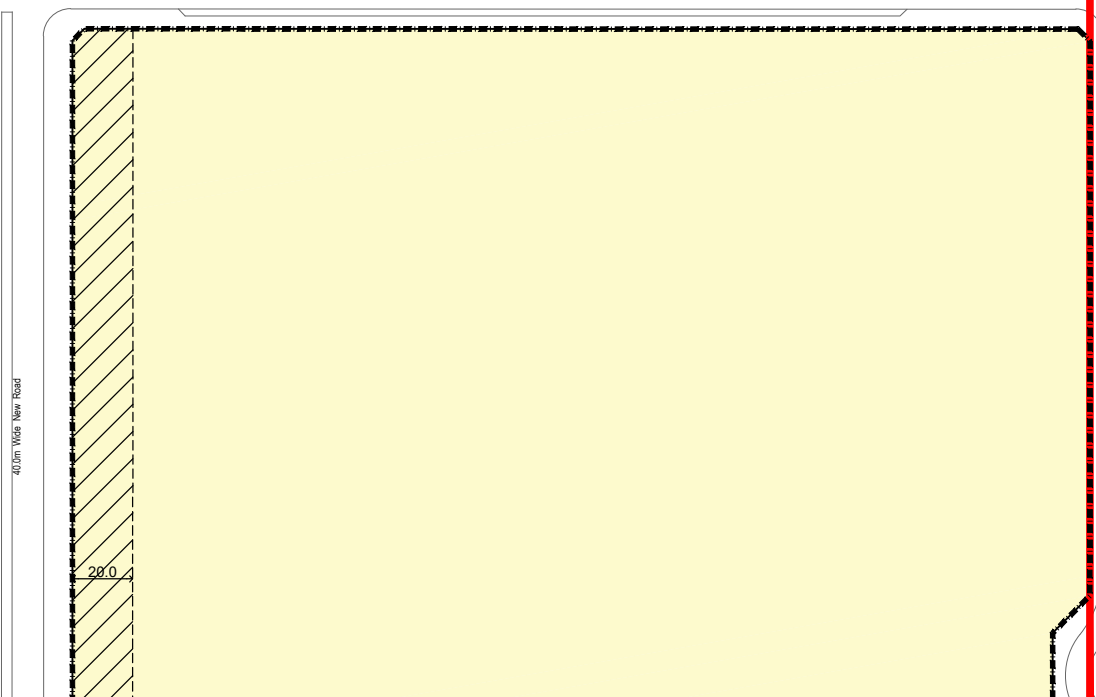
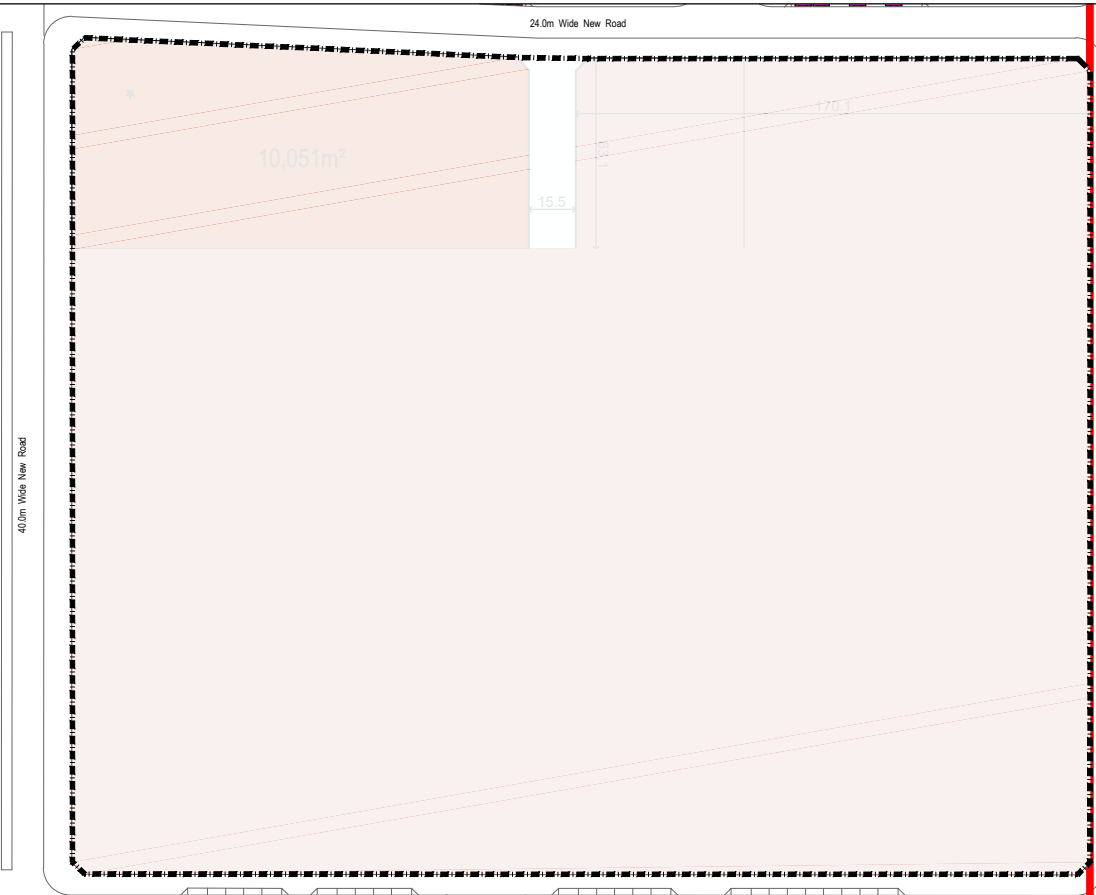
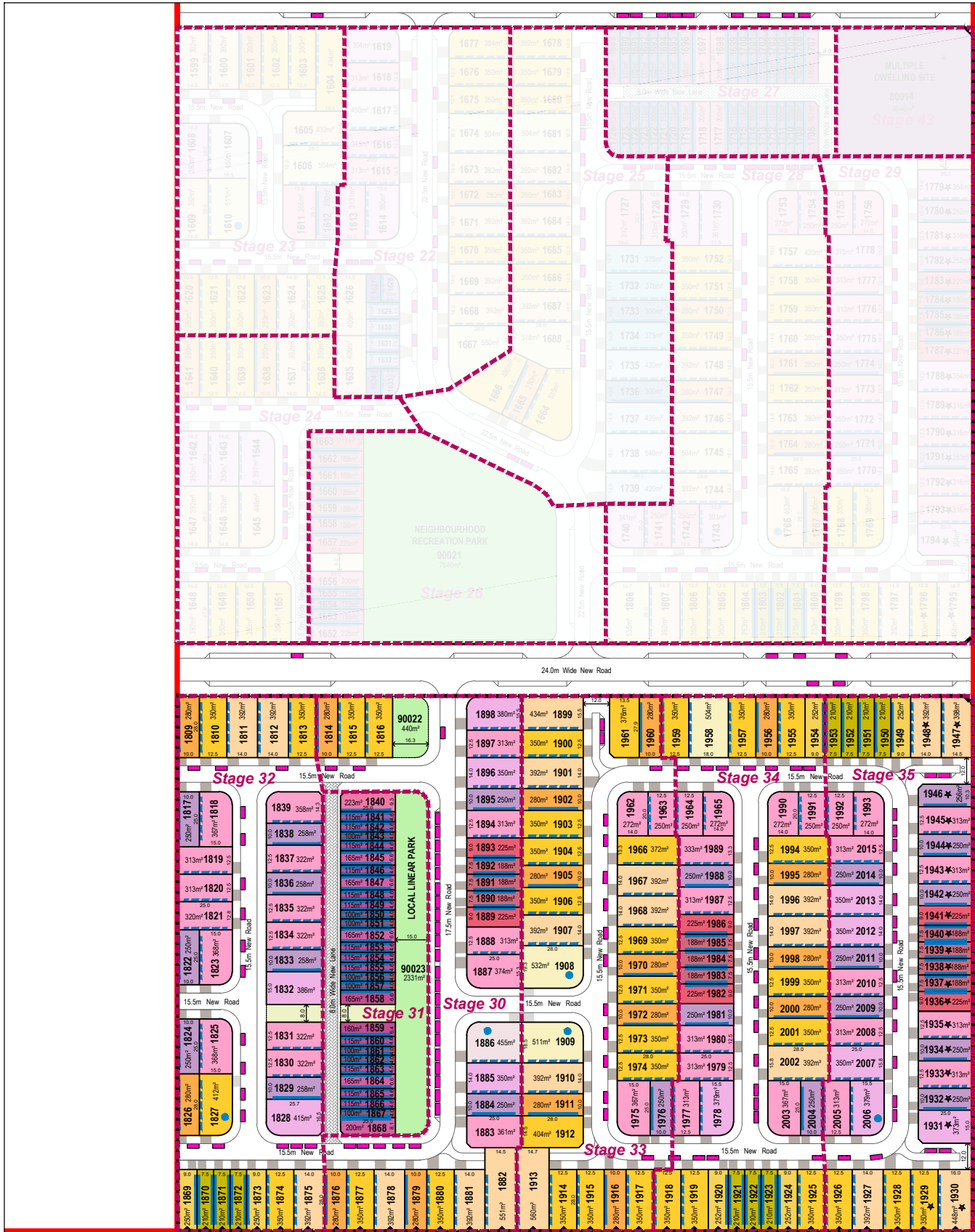
Plan of Development - CENTRAL-EAST NEIGHBOURHOOD

Scale 1:2,000 @ A3



Caloundra South

Plan of Development - SOUTH NEIGHBOURHOOD



LEGEND

GENERAL

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Permissible Multiple Residential
- Lots Potentially Impacted By Road Traffic Noise
- Drainage Easement
- Alternative Location For Private Open Sp (For Lots Adjoining CAMCOS Corridor)

LAND USE

- Private School

OPEN SPACE

- Local Linear Park
- Pedestrian Link

RESIDENTIAL

28 Deep Lots

- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

25 Deep Lots

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 18.0m - Premium Traditional
- 14.0m - Courtyard

DEVELOPMENT CONTROLS

- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveways
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

PARKING

Total Visitor Parking Spaces	107
Total Lots	207

Note:

- On lots marked on plan as potentially impacted by road traffic noise:
 - Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
 - Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

Scale 1:2,500 @ A3

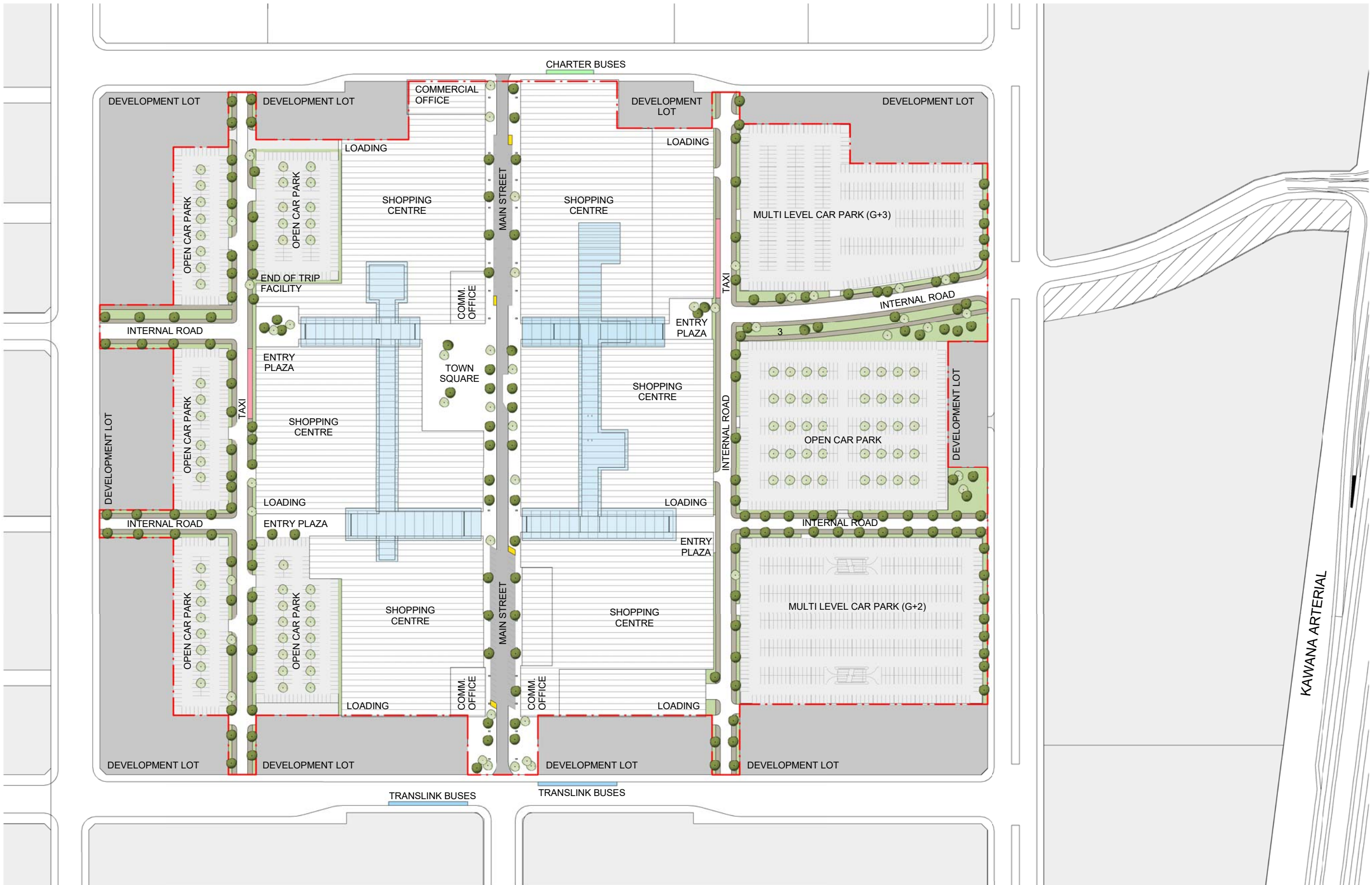


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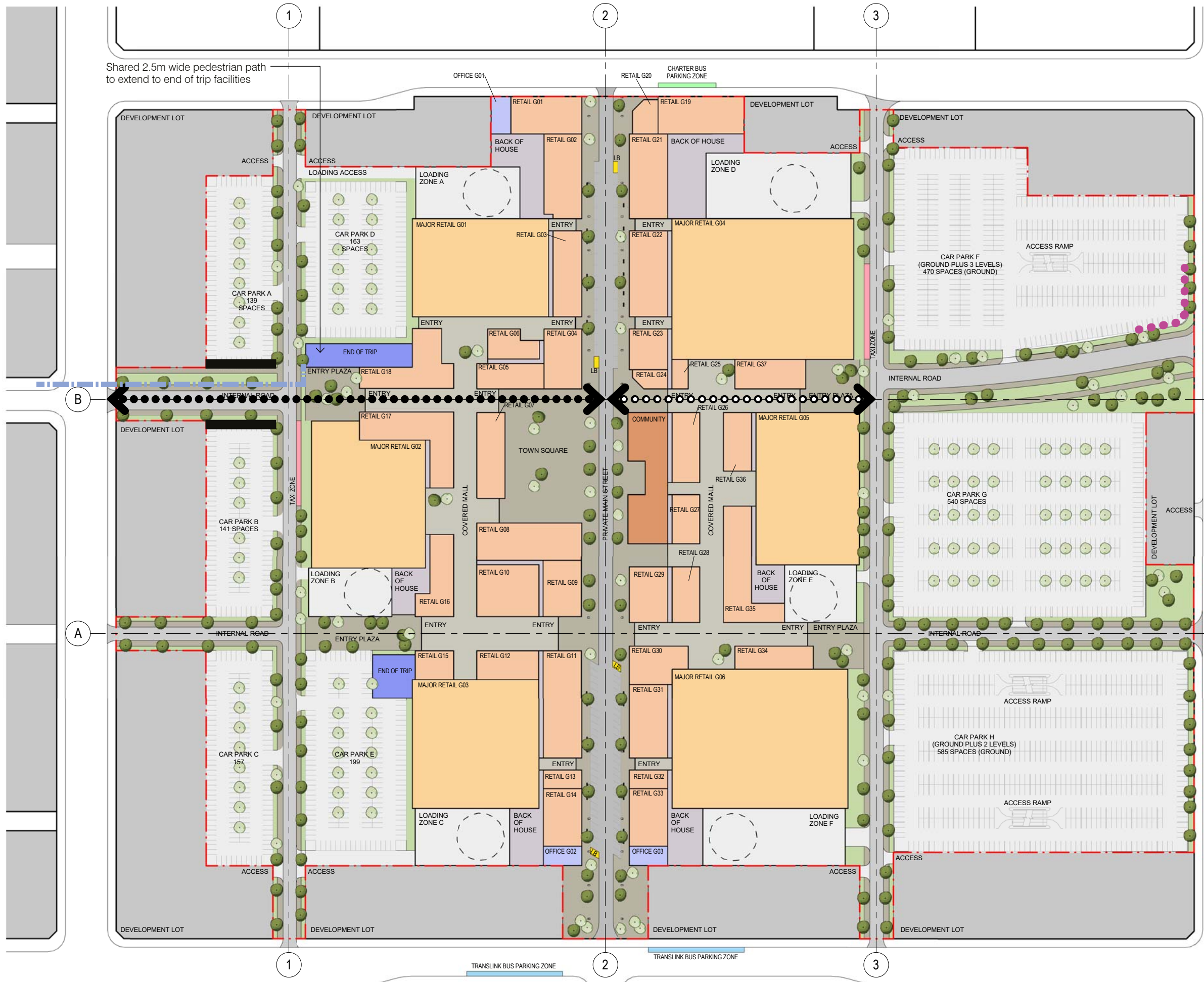
PROJECT NO: BD0332
DATE: 15.05.18
DRAWING NO: POD09
REV: 6



APPENDIX F APPROVED SHOPPING CENTRE ARCHITECTURAL PLANS



1 ILLUSTRATIVE CONCEPT PLAN
1:1250



- LEGEND**
- Extent of Shopping Centre MCU
 - Major Retail
 - Specialty Retail
 - Commercial Office
 - Community Facility
 - End of Trip / Secure Bicycle Parking
 - Plaza / Main Street
 - Circulation / Covered Mall
 - Back of House
 - Loading Bays
- Turning circle (25m diameter)
- Pedestrian Link (western) to remain open to pedestrian access 7 days a week, 24 hours a day
 - Pedestrian Link (eastern) open to pedestrian access 7 days a week from 6am to 10pm
 - Multi-level car park to be sleeved by architectural screen treatment
 - Shared 2.5m wide pedestrian path
 - Active Frontage

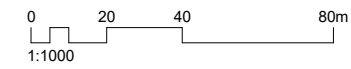
- NOTES**
- Specialty Retail may comprise the following uses:
- Fast food premises
 - Food premises
 - Market
 - Shop
 - Shopping centre
 - Business
 - Health care services
 - Indoor sport and recreation
 - Car park
 - Sales office
 - Mini Major Retail
- Landscaping is indicative.
- Parking layouts are subject to refinements through detail design.
- Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.
- Retail layout subject to refinements through detailed design

Parking Schedule - Ground			
GROUND			1924
			1924
East			
GROUND	Carpark D	470	
GROUND	STREET	47	517
West			
GROUND	STREET	47	
		47	
Grand total:		2488	2488

1 GROUND LEVEL PLAN
1 : 1000

HASSELL

Date:
08/06/2016



Scale
1 : 1000 @ A1
1 : 2000 @ A3

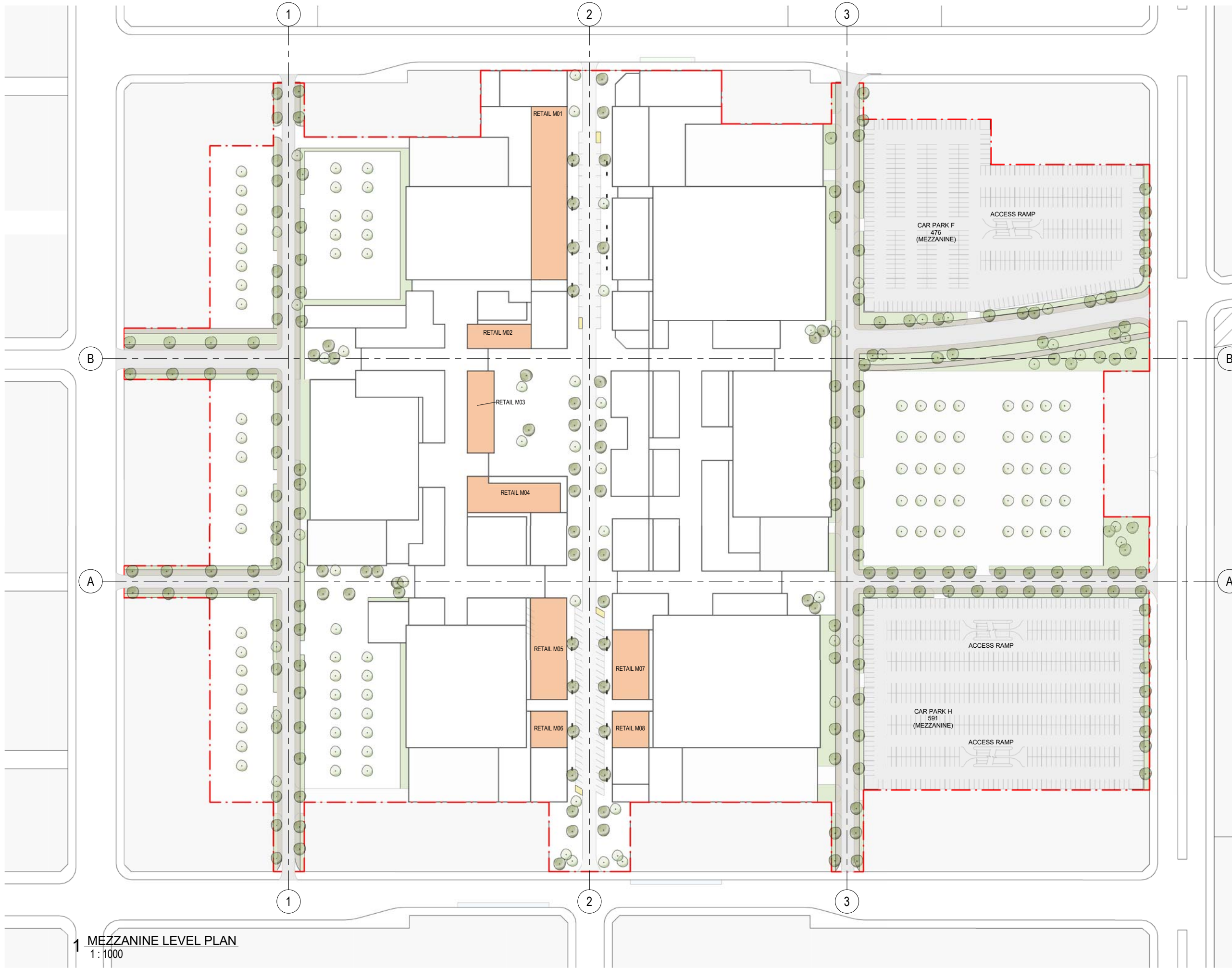
Client
Stockland

Project Name
Caloundra South Town Centre

Sub precinct 8.1
Shopping Centre MCU
Drawing
102
GROUND FLOOR PLAN

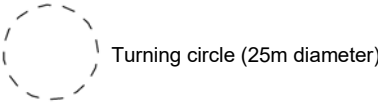
Original Sheet Size A1 - 840 X 594mm

CU_Retail_Projects\A007122011.Tor



LEGEND

- Extent of Shopping Centre MCU
- Major Retail
- Specialty Retail
- Commercial Office
- Community Facility
- End of Trip / Secure Bicycle Parking
- Plaza / Main Street
- Circulation / Covered Mall
- Back of House
- Loading Bays



NOTES

Specialty Retail may comprise the following uses:

- Fast food premises
- Food premises
- Market
- Shop
- Shopping centre
- Business
- Health care services
- Indoor sport and recreation
- Car park
- Sales office
- Mini Major Retail

Landscaping is indicative.

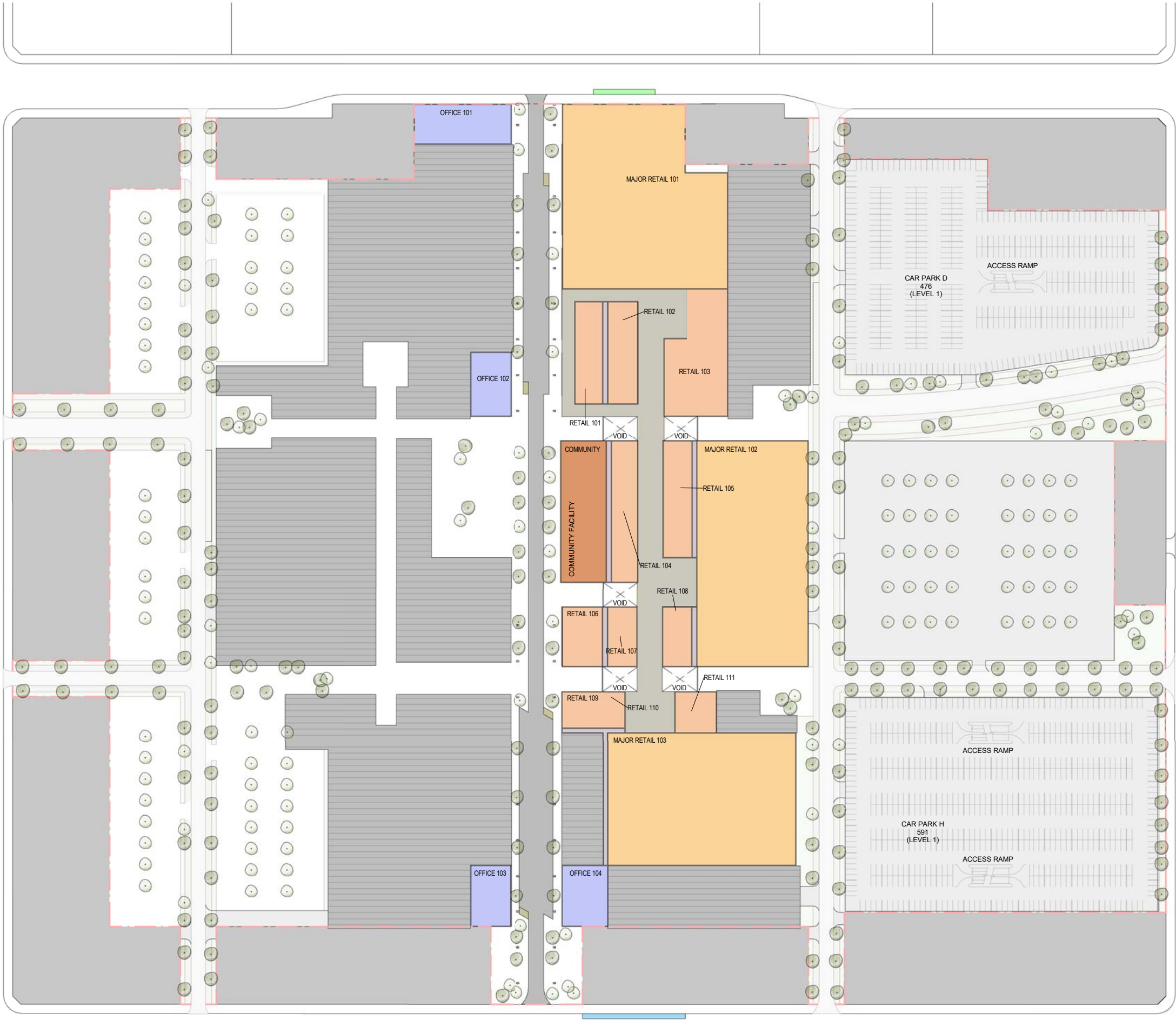
Parking layouts are subject to refinements through detail design.

Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.

Retail layout subject to refinements through detailed design

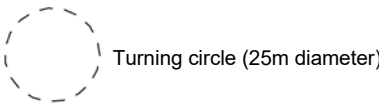
Parking Schedule - Mezzanine			
East			
Resi Level 1	East	Carpark D	476
Resi Level 1	East	Carpark H	591
Grand total: 1067			1067

1 MEZZANINE LEVEL PLAN
1:1000



LEGEND

- Extent of Shopping Centre MCU
- Major Retail
- Specialty Retail
- Commercial Office
- Community Facility
- End of Trip / Secure Bicycle Parking
- Plaza / Main Street
- Circulation / Covered Mall
- Back of House
- Loading Bays



NOTES

Specialty Retail may comprise the following uses:

- Fast food premises
- Food premises
- Market
- Shop
- Shopping centre
- Business
- Health care services
- Indoor sport and recreation
- Car park
- Sales office
- Mini Major Retail

Landscaping is indicative.

Parking layouts are subject to refinements through detail design.

Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.

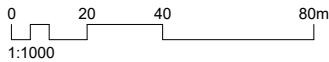
Retail layout subject to refinements through detailed design

Parking Schedule - Level 1		
East		
LEVEL 01	Carpark D	476
LEVEL 01	Carpark H	591
		1067
Grand total:		1067

1 LEVEL 1
1:1000

HASSELL

Date:
08/06/2016



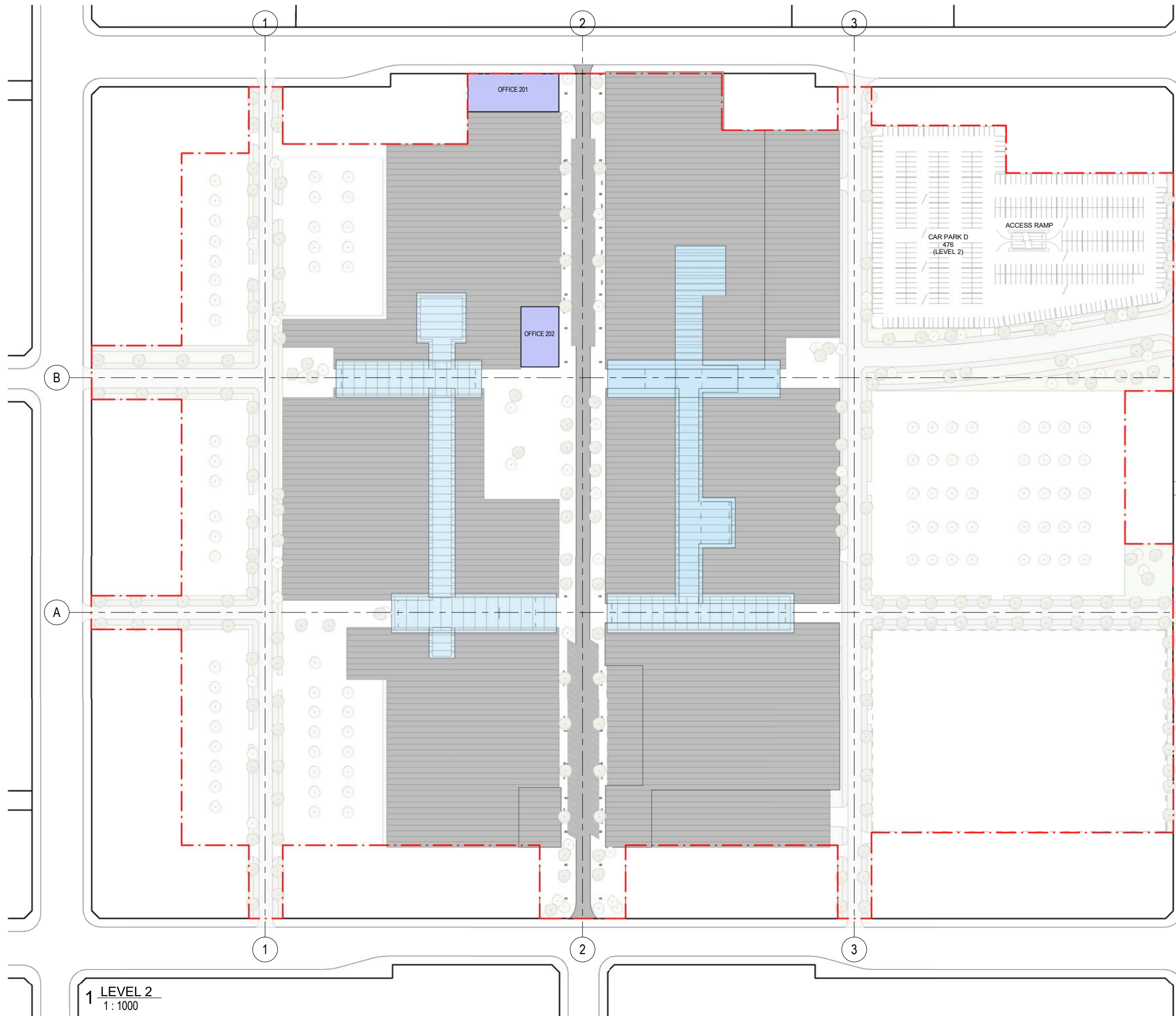
Scale
1:1000 @ A1
1:2000 @ A3

Client
Stockland

Project Name
Caloundra South Town Centre

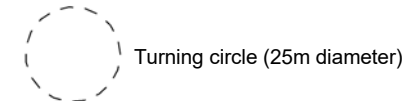
Sub precinct 8.1
Shopping Centre MCU
Drawing
104
LEVEL 1 PLAN

Original Sheet Size A1 - 840 X 594mm



LEGEND

- Extent of Shopping Centre MCU
- Major Retail
- Specialty Retail
- Commercial Office
- Community Facility
- End of Trip / Secure Bicycle Parking
- Plaza / Main Street
- Circulation / Covered Mall
- Back of House
- Loading Bays



NOTES

Specialty Retail may comprise the following uses:

- Fast food premises
- Food premises
- Market
- Shop
- Shopping centre
- Business
- Health care services
- Indoor sport and recreation
- Car park
- Sales office
- Mini Major Retail

Landscaping is indicative.

Parking layouts are subject to refinements through detail design.

Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.

Retail layout subject to refinements through detailed design

Parking Schedule - Level 2		
East		
LEVEL 02	Carpark D	476
		476
Grand total:		476

1 LEVEL 2
1 : 1000

HASSELL

Date:
08/06/2016



Scale
1 : 1000 @ A1

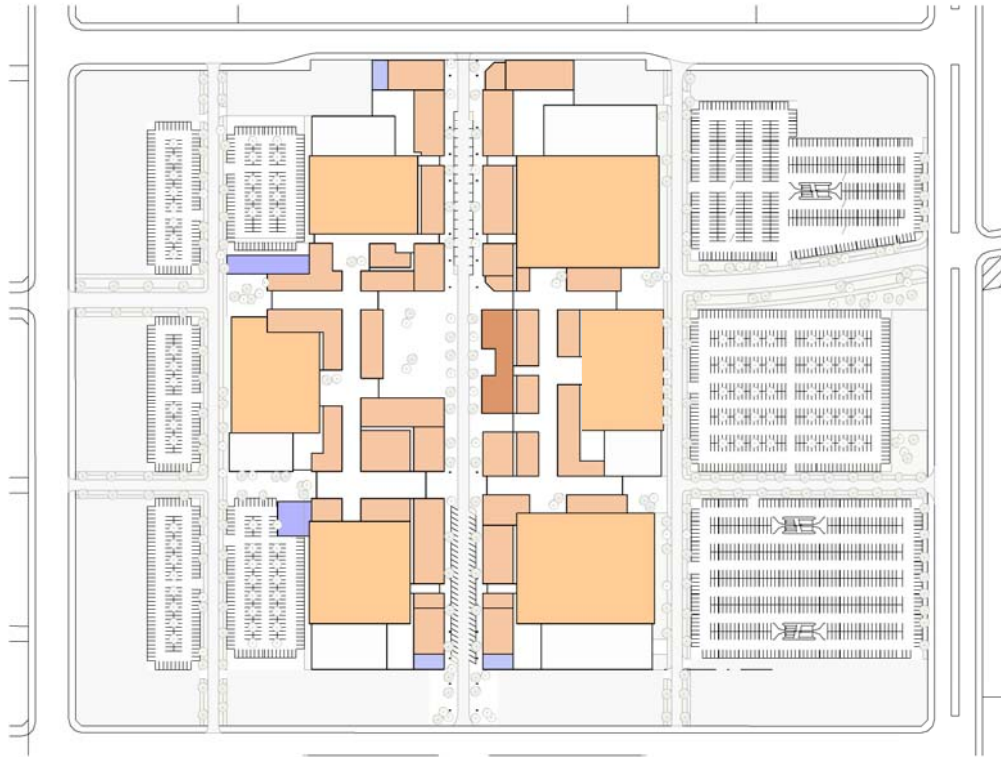
Client
Stockland

Project Name
Caloundra South Town Centre

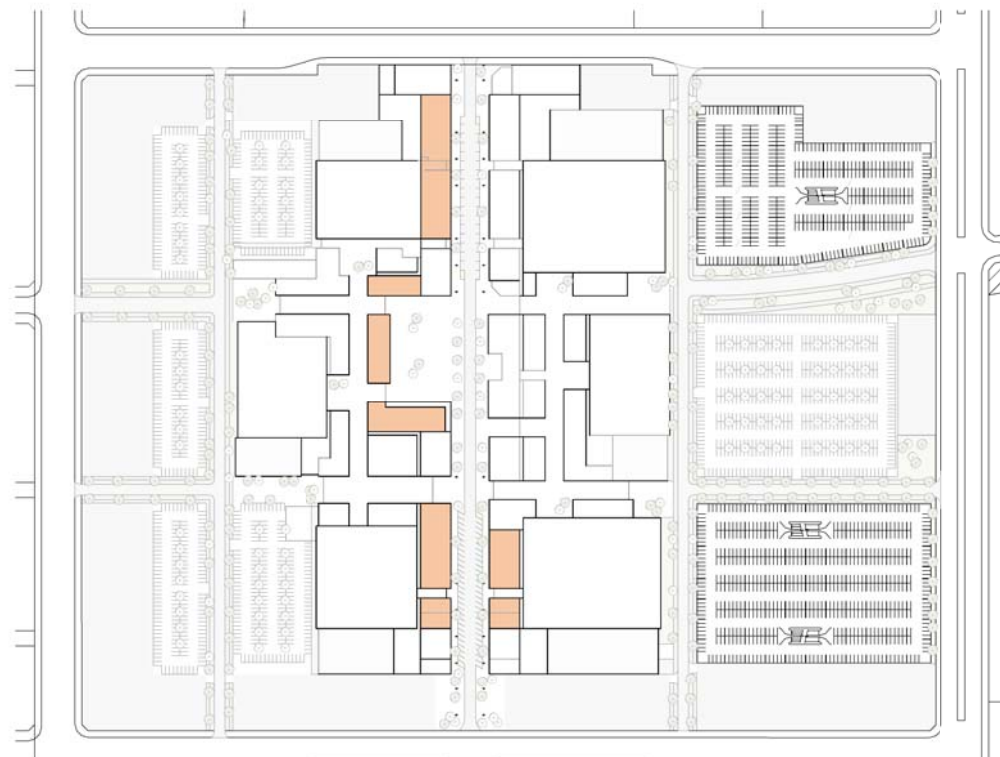
Drawing
105
LEVEL 2 PLAN

Original Sheet Size A1 - 840 X 594mm

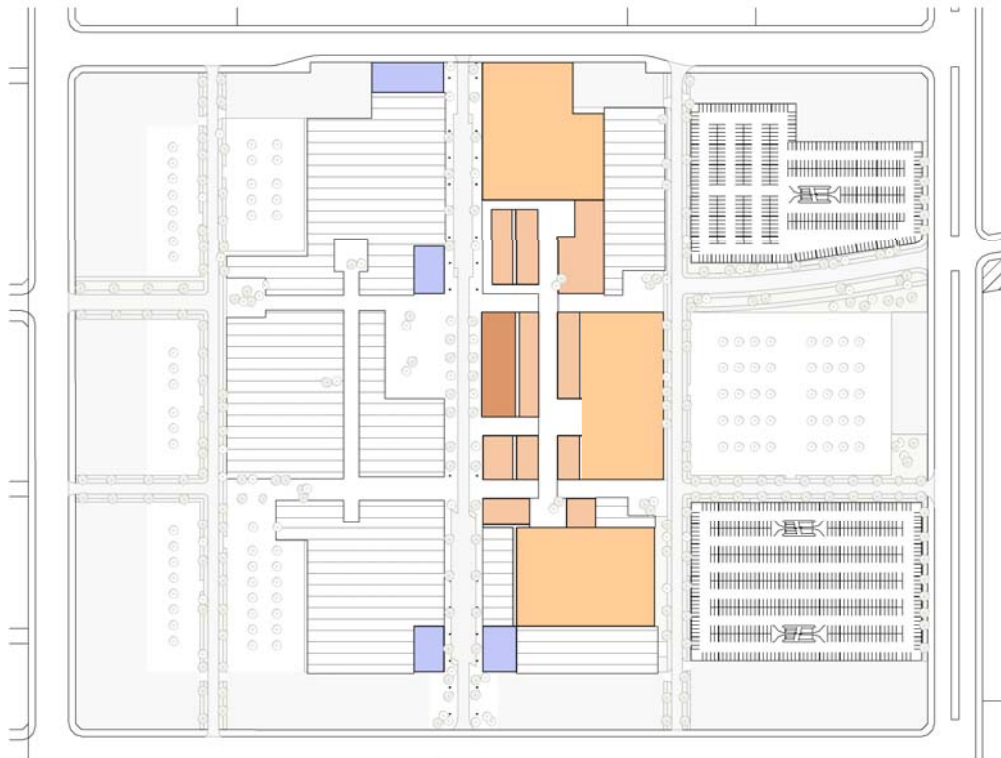
C:\Revit Projects\AX00123\011 Town Centre Central_DA_Jeffwan.rvt



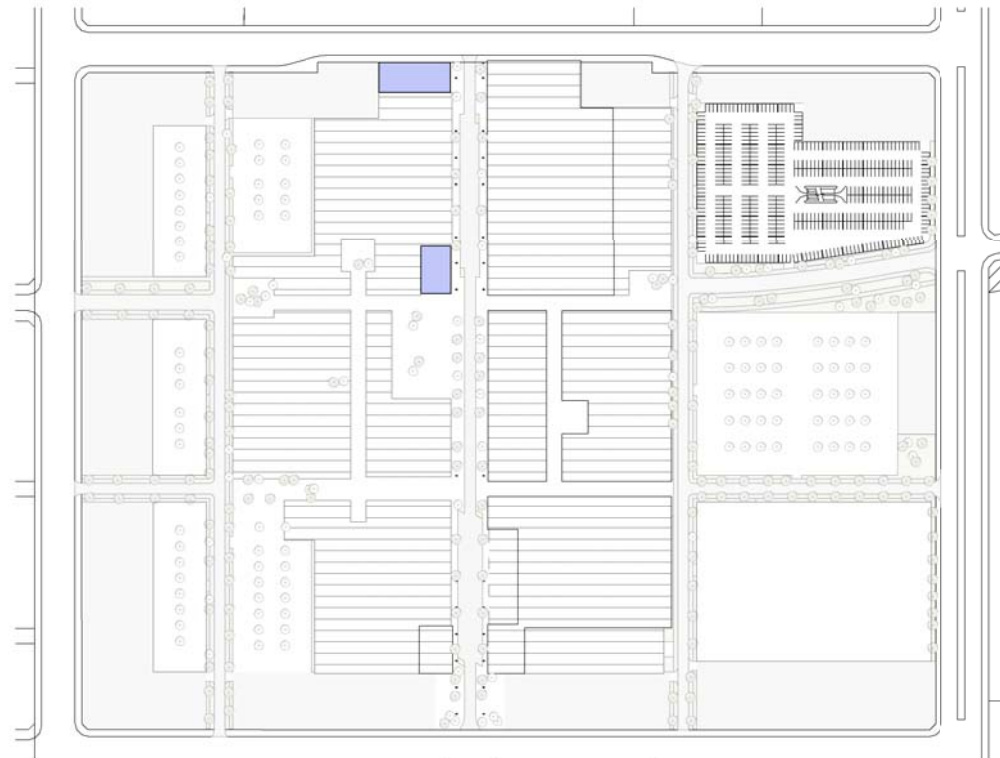
1 GROUND LEVEL - GFA
1 : 2500



2 MEZZANINE LEVEL - GFA
1 : 2500



3 LEVEL 1 - GFA
1 : 2500



4 LEVEL 2 - GFA
1 : 2500

G.F.A. SCHEDULE

USE	Area
COMMERCIAL	5040 m ²
COMUNITY FACILITY	2783 m ²
END OF TRIP	1196 m ²
LARGE FORMAT RETAIL	49331 m ²
SPECIALTY RETAIL	36722 m ²
Grand total: 68	95072 m ²

RETAIL ONLY (G.F.A.)

USE	Area
LARGE FORMAT RETAIL	49331 m ²
SPECIALTY RETAIL	36722 m ²
Grand total: 55	86053 m ²

NOTES

Specialty Retail may comprise the following uses:

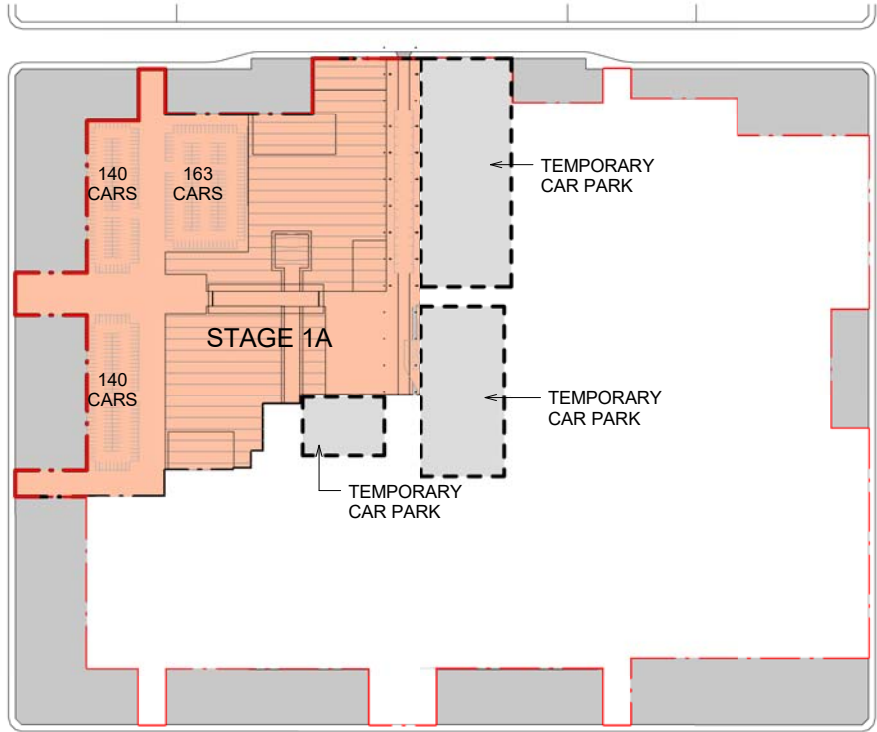
- Fast food premises
- Food premises
- Market
- Shop
- Shopping centre
- Business
- Health care services
- Indoor sport and recreation
- Car park
- Sales office
- Mini Major Retail

Landscaping is indicative.

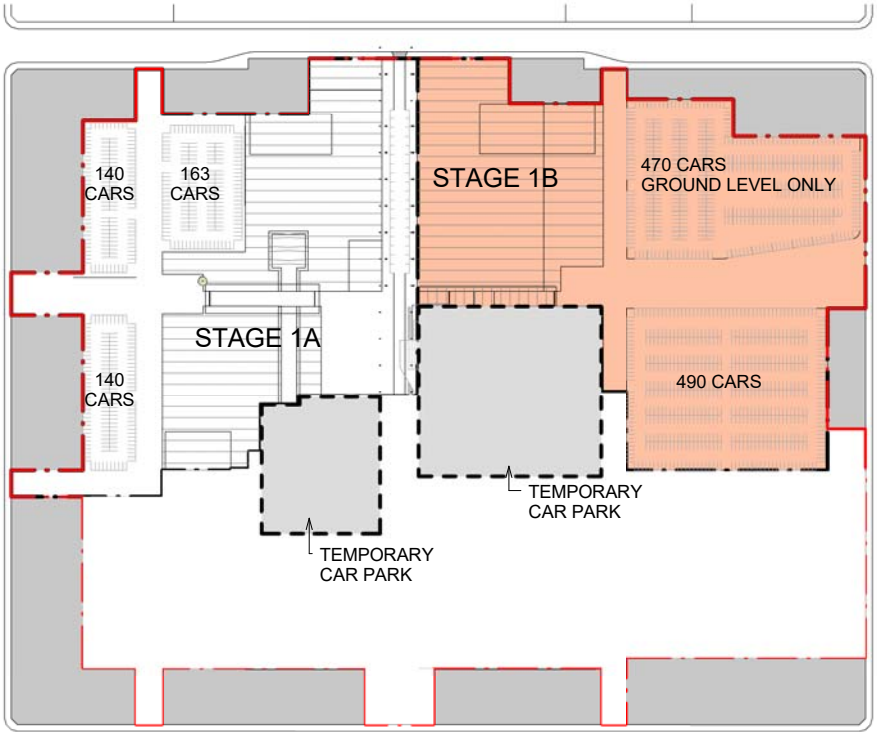
Parking layouts are subject to refinements through detail design.

Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.

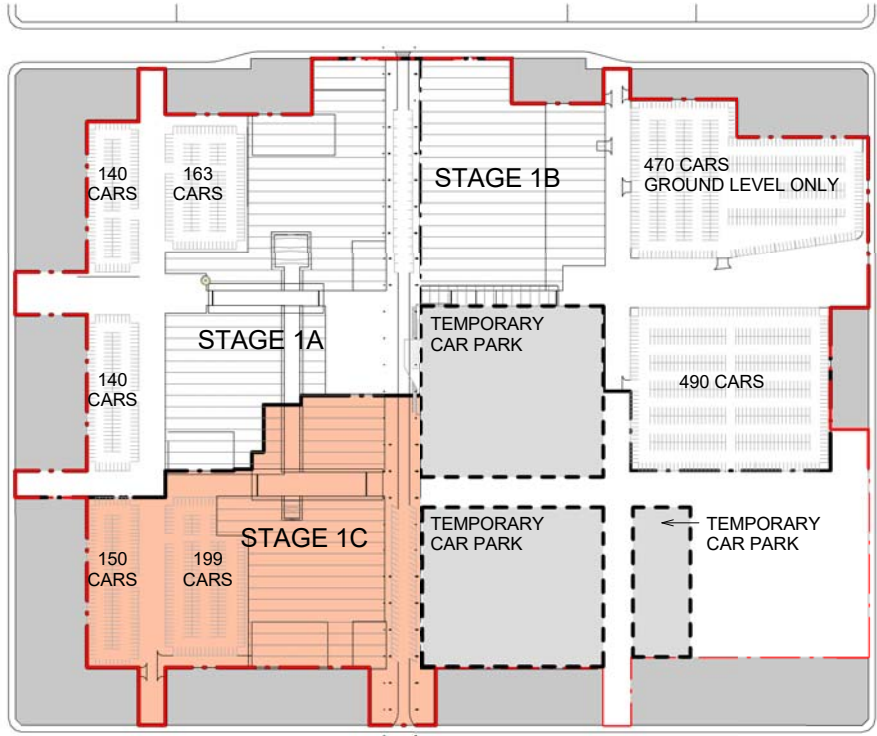
Retail layout subject to refinements through detailed design



1 STAGE 1A PLAN
1 : 2500



2 STAGE 1B PLAN
1 : 2500



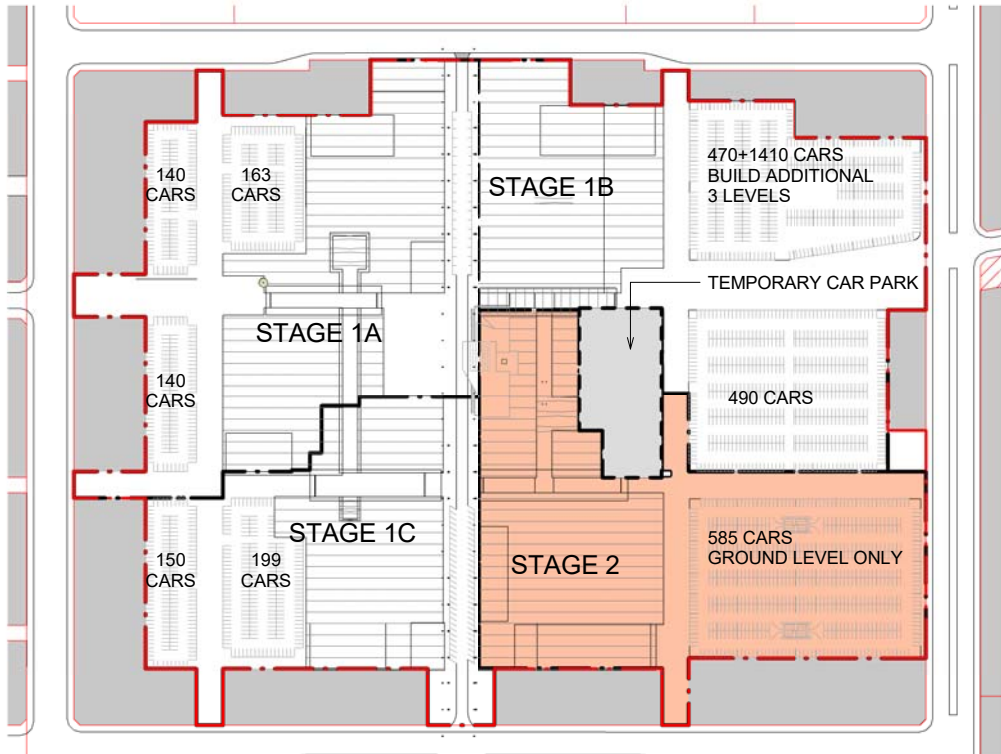
3 STAGE 1C PLAN
1 : 2500

AREA / PARKING SCHEDULE STAGE 1A				
TENANT	APPX. GFA	STAGE	REQUIRED CARPARKS	ACTUAL CARPARKS
STAGE 1A				
LARGE FORMAT RETAIL	7960 m ²	STAGE 1A	398	
SPECIALTY RETAIL	9453 m ²	STAGE 1A	473	
	17413 m ²		871	
COMMERCIAL				
	3374 m ²	STAGE 1A	113	
	3374 m ²		113	
TOTAL			984	1005

AREA / PARKING SCHEDULE STAGE 1B				
TENANT	APPX. GFA	STAGE	REQUIRED CARPARKS	ACTUAL CARPARKS
STAGE 1A				
LARGE FORMAT RETAIL	7960 m ²	STAGE 1A	398	
SPECIALTY RETAIL	9453 m ²	STAGE 1A	473	
STAGE 1B				
LARGE FORMAT RETAIL	13705 m ²	STAGE 1B	685	
SPECIALTY RETAIL	7367 m ²	STAGE 1B	369	
	38485 m ²		1925	
COMMERCIAL				
	3374 m ²	STAGE 1A	113	
	3374 m ²		113	
TOTAL			2038	2091

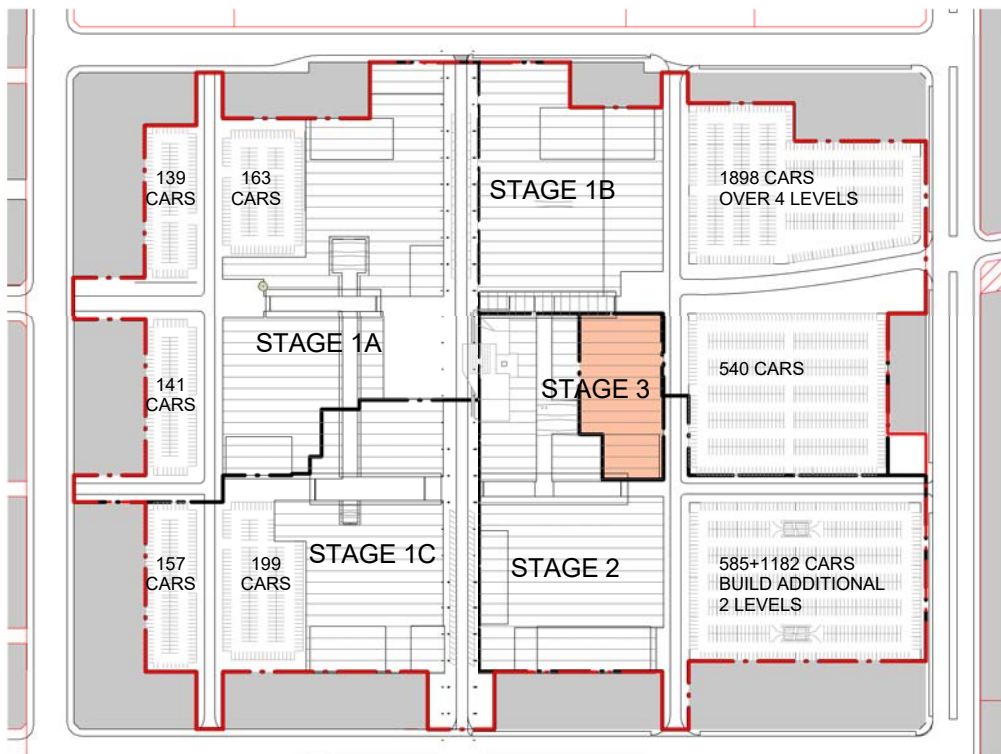
AREA / PARKING SCHEDULE STAGE 1C				
TENANT	APPX. GFA	STAGE	REQUIRED CARPARKS	ACTUAL CARPARKS
STAGE 1A				
LARGE FORMAT RETAIL	7960 m ²	STAGE 1A	398	
SPECIALTY RETAIL	9453 m ²	STAGE 1A	473	
STAGE 1B				
LARGE FORMAT RETAIL	13705 m ²	STAGE 1B	685	
SPECIALTY RETAIL	7367 m ²	STAGE 1B	369	
STAGE 1C				
LARGE FORMAT RETAIL	4504 m ²	STAGE 1C	225	
SPECIALTY RETAIL	8363 m ²	STAGE 1C	417	
	51353 m ²		2567	
COMMERCIAL				
	3374 m ²	STAGE 1A	113	
COMMERCIAL				
	800 m ²	STAGE 1C	27	
	4174 m ²		140	
TOTAL			2707	2896

NOTE:
STAGING PLANS ARE INDICATIVE ONLY AND SUBJECT TO REFINEMENTS THROUGH DETAILED DESIGN



1 STAGE 2 PLAN
1 : 2500

AREA / PARKING SCHEDULE STAGE 2				
TENANT	APPX. GFA	STAGE	REQUIRED CARPARKS	ACTUAL CARPARKS
STAGE 1A				
LARGE FORMAT RETAIL	7960 m ²	STAGE 1A	398	
SPECIALTY RETAIL	9453 m ²	STAGE 1A	473	
STAGE 1B				
LARGE FORMAT RETAIL	13705 m ²	STAGE 1B	685	
SPECIALTY RETAIL	7367 m ²	STAGE 1B	369	
STAGE 1C				
LARGE FORMAT RETAIL	4504 m ²	STAGE 1C	225	
SPECIALTY RETAIL	8363 m ²	STAGE 1C	417	
STAGE 2				
LARGE FORMAT RETAIL	12752 m ²	STAGE 2	637	
SPECIALTY RETAIL	11538 m ²	STAGE 2	576	
	75643 m ²		3780	
COMMERCIAL				
	3374 m ²	STAGE 1A	113	
COMMERCIAL				
	800 m ²	STAGE 1C	27	
COMMERCIAL				
	866 m ²	STAGE 2	29	
	5040 m ²		169	
TOTAL			3949	4044



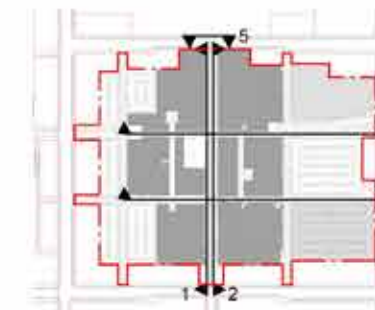
2 STAGE 3 PLAN
1 : 2500

AREA / PARKING SCHEDULE STAGE 3				
TENANT	APPX. GFA	STAGE	REQUIRED CARPARKS	ACTUAL CARPARKS
STAGE 1A				
LARGE FORMAT RETAIL	7960 m ²	STAGE 1A	398	
SPECIALTY RETAIL	9453 m ²	STAGE 1A	473	
STAGE 1B				
LARGE FORMAT RETAIL	13705 m ²	STAGE 1B	685	
SPECIALTY RETAIL	7367 m ²	STAGE 1B	369	
STAGE 1C				
LARGE FORMAT RETAIL	4504 m ²	STAGE 1C	225	
SPECIALTY RETAIL	8363 m ²	STAGE 1C	417	
STAGE 2				
LARGE FORMAT RETAIL	12752 m ²	STAGE 2	637	
SPECIALTY RETAIL	11538 m ²	STAGE 2	576	
STAGE 3				
LARGE FORMAT RETAIL	10410 m ²	STAGE 3	520	
	86053 m ²		4300	
COMMERCIAL				
	3374 m ²	STAGE 1A	113	
COMMERCIAL				
	800 m ²	STAGE 1C	27	
COMMERCIAL				
	866 m ²	STAGE 2	29	
	5040 m ²		169	
TOTAL			4469	5098
COMMUNITY				
		STAGE 3+	150	
TOTAL			4619	5098

NOTE:
STAGING PLANS ARE INDICATIVE ONLY AND SUBJECT TO REFINEMENTS THROUGH DETAILED DESIGN



1 MAIN STREET - EAST ELEVATION
1:500



2 MAIN STREET - WEST ELEVATION
1:500



3 EAST-WEST STREET - SOUTH ELEVATION 1
1:500



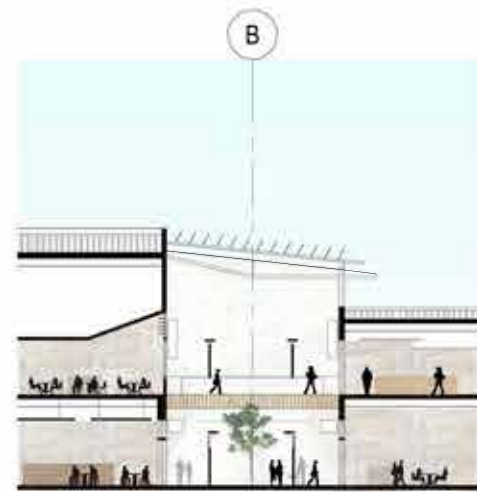
4 EAST-WEST STREET - SOUTH ELEVATION 2
1:500



5 NORTH ELEVATION
1:500



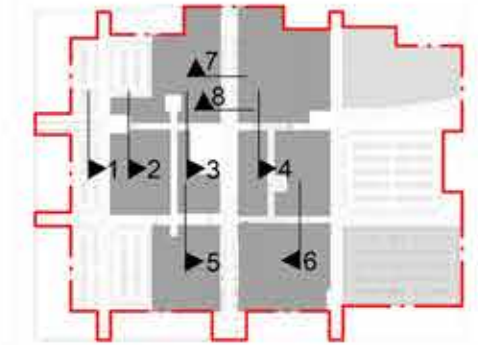
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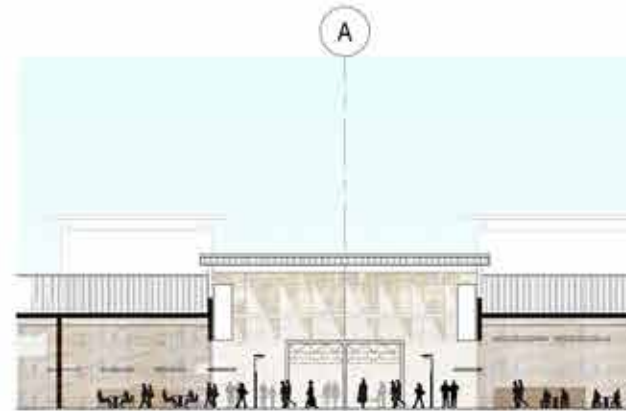
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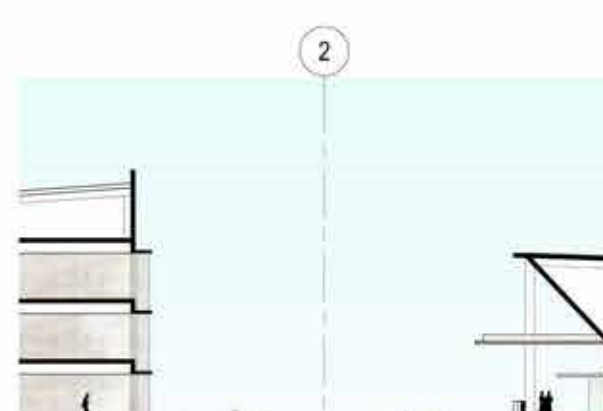
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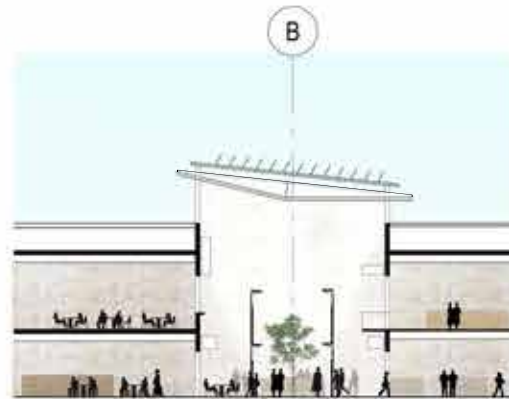
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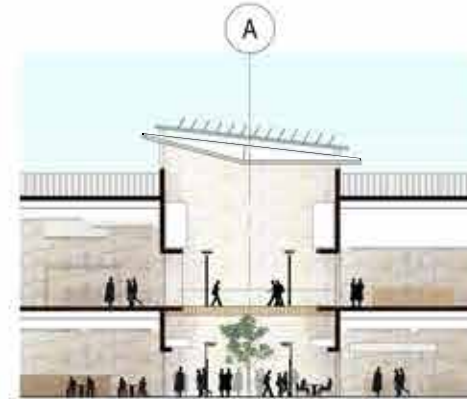
5 SECTION 5
1:250



8 SECTION 8
1:250



3 SECTION 3
1:250



6 SECTION 6
1:250

TIMBER



BRICK



CONCRETE



METAL

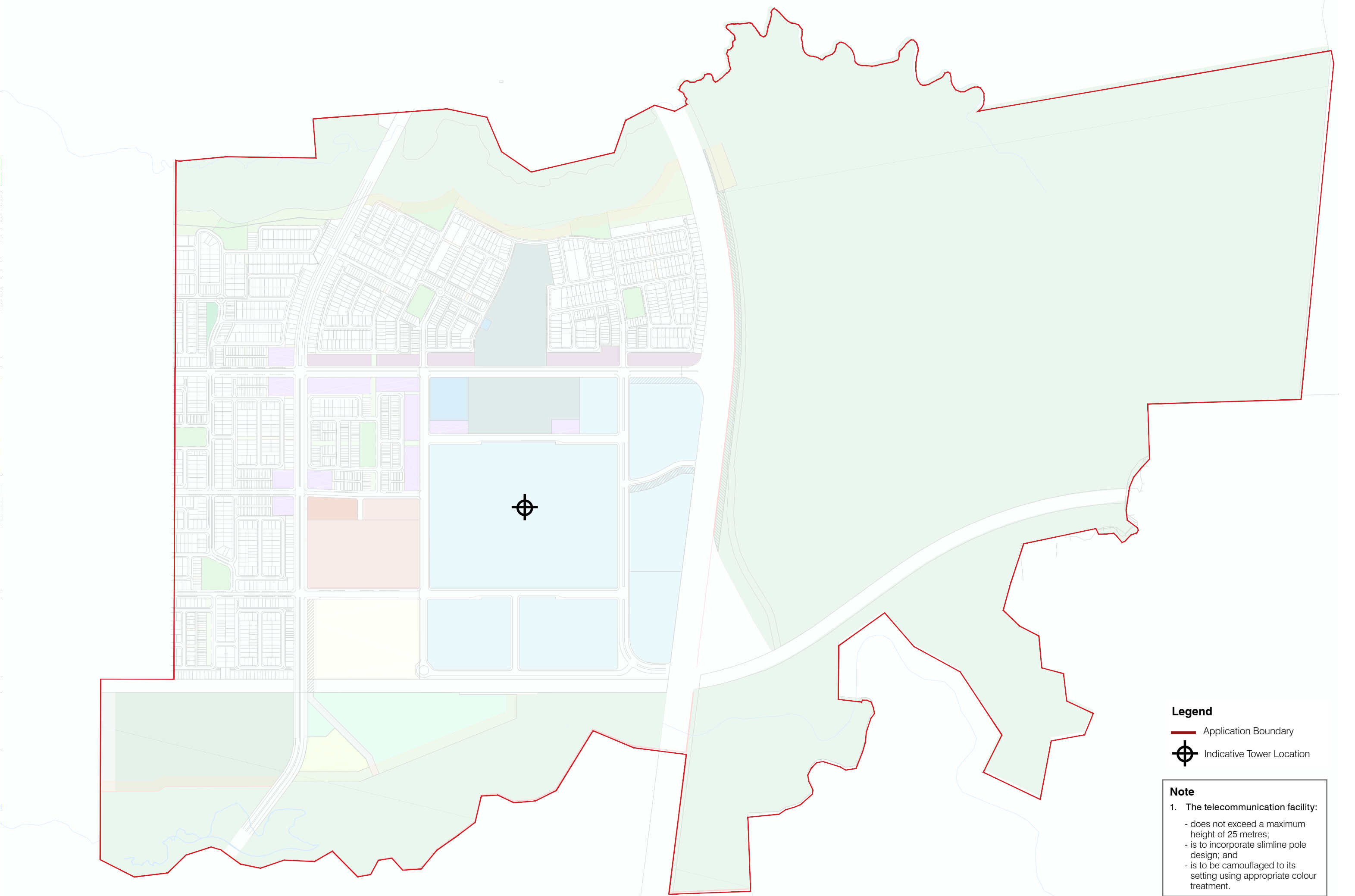
FLORA - TIMBER
EARTH - BRICK
ROCK, SAND - CONCRETE
VERNACULAR - METAL

MATERIALS PALETTE

THE AURA 'CITY OF COLOUR' BRAND IS DEFINED BY BRANDED STREET ELEMENTS - STREET FURNITURE, SIGNAGE AND URBAN THEMING. BUILT FORM MATERIALITY USES NATURALLY FINISHED MATERIALS, INSPIRED BY THE NATURAL ENVIRONMENT, TO CREATE A NEUTRAL BACKDROP TO THE CITY OF COLOUR ACCENTS - COLOUR IS APPLIED IN THE BRANDING AND USED ONLY SELECTIVELY IN THE PALETTE OF BUILT MATERIALS. TIMBER REFLECTS THE FLORA OF THE REGION, BRICK REPRESENTS THE EARTH AND CONCRETE DRAWS FROM THE SAND OF THE BEACHES AND THE ROCK OF THE GLASSHOUSE MOUNTAINS. THE USE OF METAL ELEMENTS ECHOES THE PROFILED METAL CLADDING OF THE ESTABLISHED SUNSHINE COAST VERNACULAR. NATURALLY FINISHED MATERIALS CREATE A FINE GRAIN CHARACTER THROUGH THE USE OF TEXTURES AND GRANULARITY OF COMPONENTS RATHER THAN THROUGH THE APPLICATION OF COLOUR.



APPENDIX G APPROVED TELECOMMUNICATION FACILITY



- Legend**
- Application Boundary
 - Indicative Tower Location

- Note**
- The telecommunication facility:
 - does not exceed a maximum height of 25 metres;
 - is to incorporate slimline pole design; and
 - is to be camouflaged to its setting using appropriate colour treatment.



APPENDIX H CAR/BICYCLE PARKING RATES

TABLE 2: USE DEFINITIONS — CAR PARKING RATES

LAND USE	CAR SPACES	SERVICE VEHICLE SPACES
Agricultural Supply Store	1 space / 20m² total use area (where ≤ 100m² total use area) + 1 space / 50m² total use area (for component > 100m² total use area)	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Animal keeping and husbandry	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required
Bulk Landscape Supplies	1 space / 100m² GFA	- Where requiring access via a road – HRV (Type A Access) + occasional access for AV - Where requiring access via a street –HRV (Type B Access) + occasional access for AV
Business ¹	1 space / 30m² GFA	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Car Park	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required
Child care centre	1 employee space / employee + 1 customer space / 5 children	VAN + WCV (where >200m2 GFA)
Community Facility	1 space / 20m² GFA	VAN + WCV (where >200m² GFA)
Crematorium	Sufficient spaces to accommodate number of vehicles likelyto be parked at any one time, including 1 space / 15m² GFA for chapel component	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Display home	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required
Educational Establishment	Sufficient spaces to accommodate the number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)
Emergency Services	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Fast Food Premises ¹	1 space / 15m² GFA where in all other Sub-Precinct/s.	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Food Premises ¹		
Funeral Parlour	1 space / 30m² GFA	WCV
Garden Centre	1 space / 20m² total use area (where ≤ 100m² total use area) + 1 space / 50m² total use area (for component > 100m² total use area)	- Where requiring access via a street – HRV (Type B Access) - Where requiring access via a road – HRV (Type A Access)
Health care services	1 space / 20m2 GFA	- Where requiring access via a road – SRV (Type A Access) + occasional access for MRV - Where requiring access via a street – SRV (Type B Access) + occasional access for MRV
Hospital	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)
Indoor Entertainment (Hotel) ¹	1 space / 20m² GFA	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Indoor Sport and Recreation	Sufficient spaces to accommodate the number of vehicles likely to be parked at any one time.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)
Low Impact Industry	1 space / 50m² GFA (where ≤ 500m² GFA) + 1 space / 100m² GFA (for component >500m² GFA)	- Where requiring access via a road – MRV (Type A Access) + WCV; - Where requiring access via a street – MRV (Type B Access) + WCV
Multiple dwelling	1 space / dwelling + 1 visitor space / 4 dwellings	- Where ≤ 10 dwellings and requiring access via a street – MRV (Type B Access) + VAN - Where > 10 dwellings or requiring access via a road – MRV (Type A Access) + VAN + WCV

LAND USE	CAR SPACES	SERVICE VEHICLE SPACES
Outdoor Sales	1 space / 20m² total use area (where ≤ 200m² total use area) + 1 space / 100m² total use area (for component > 200m² total use area)	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Outdoor Sport and Recreation	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	- Where requiring access via a road – MRV (Type A Access) + WCV; - Where requiring access via a street – MRV (Type B Access) + WCV
Place of Assembly	1 space / 15m² GFA	- Where requiring access via a road – SRV (Type A Access) + occasional access for MRV - Where requiring access via a street – SRV (Type B Access) + occasional access for MRV
Research and Technology Facility	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.
Sales Office	2 spaces	Not required
Service Industry	1 space / 50m² GFA (where ≤500m² GFA) + 1 space/100m² GFA (for component >500m² GFA)	- Where requiring access via a road – AV (Type A Access) - Where requiring access via a street – AV (Type B Access)
Service Station	1 space / 20m² GFA (when involving sale of goods) + 2 spaces / service bay (min. 4 spaces)	AV
Shop ¹	1 space / 20m² GFA	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Shopping centre	1 space / 20m2 GFA or alternative rate where demonstrated in a Parking Assessment Report.	Refer to Table 55
Short-term accommodation	1 space / rooming unit (covered) + 1 visitor space / 10 rooming units	- Where ≤ 20 rooming units and requiringaccess via a street – MRV (Type B Access) + VAN - Where > 20 rooming units or requiring access via a road – MRV (Type A Access) + VAN + WCV - Where > 50 rooming units – sufficient spaces to accommodate number of vehicles likely to be parked at any one time (based on an approved Parking Needs Assessment, with min. MRV (Type A Access) + VAN + WCV)
Note — where the short-term accommodation is in the form of a multiple dwelling, the parking rates specified for multiple dwelling apply.		
Showroom	1 space / 20m² GFA (where ≤100m² GFA) + 1 space / 50m² GFA (for component >100m² GFA)	- Where < 200m² GFA – SRV - Where 201m² to 600m² GFA – VAN + MRV - Where > 600m² GFA – 1 VAN + 1 SRV + 1 MRV
Telecommunications Facility	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (min. 1 space)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Tourist park	1 space / site + 1 visitor space / 10 sites + 1 manager space (covered) + boat / trailer storage	- Where ≤ 20 sites and requiring access via a street – HRV (Type B Access) + VAN + WCV - Where > 20 sites or requiring access via a road — HRV (Type A Access) + VAN + WCV
Utility Installation	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Veterinary Hospital	1 space / 20m² GFA	- Where requiring access via a road – SRV (Type A Access) + occasional access for MRV - Where requiring access via a street – SRV (Type B Access) + occasional access for MRV
Warehouse	1 space / 50m² GFA (where ≤ 500m² GFA) + 1 space / 100m² GFA (for component >500m² GFA)	- Where requiring access via a road – MRV (Type A Access) + WCV; - Where requiring access via a street – MRV (Type B Access) + WCV
Wholesale Nursery	- Where ≤ 100m² total use area – 1 space / 20m² total use area - Where >100m² total use area – 1 space / 50m² total use area	- Where requiring access via a road – AV (Type A Access) - Where requiring access via a street – AV (Type B Access)

REFERENCE:

1. (a) Where gross floor area exceeds 200m², provision is to be made for on-site refuse collection;
- (b) Where a development has a gross floor area of less than 1,500m², and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.

NOTES:

1. Type A Access — where the design vehicle access must:-

i. enable entering and exiting the site in a forward motion;

ii. enable travel though the site on circulation roads / aisles to access service areas, without significant impact on external or internal traffic operations; and

iii. enable on-site manoeuvring to park and load / unload in a designated service area.
2. Type B Access — where the design vehicle access must:-

i. enable standing wholly within the site without occupying any designated queue areas, or blocking access to more than 50% of car parking spaces; and

ii. limit any on-street manoeuvring to reversing on or off the site in one movement only.

The swept path of the vehicle may cover the overall width of a two-way undivided driveway.
3. Where a development is for a residential activity or community activity use, and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.
4. Occasional access (for the maximum size of service vehicle expected less than 20 times per year) is to be provided for vehicles that occasionally service a site as part of its normal operation. Examples of this type of servicing are a furniture removal van at a multiple dwelling or office development and a refuse collection vehicle at a community activity facility. Vehicle access must:-

i. enable standing wholly within the site;

ii. enable reverse manoeuvres limited to one only, either to or from the site; and

iii. enable the swept path of the vehicle to be not greater than the width of the access driveway.
- TABLE 3: USE DEFINITIONS — BICYCLE PARKING RATES
- | LAND USE | RECOMMENDED
EMPLOYEE
PARKING SPACES | RECOMMENDED
VISITOR/SHOPPER
PARKING SPACES | RECOMMENDED
MOTORCYCLE
PARKING SPACES |
|----------------------|---|--|---|
| Commercial Use | 1 per 190m² GFA | 1 per 700m² GFA | 1 per 100m² GFA |
| Shopping Centre | 1 per 190m² GFA | 1 per 475m² GFA | 1 per 100m² GFA |
| Multiple Residential | 1 per dwelling | 1 per 4 dwellings | 1 per 10 dwellings |
- TABLE 4: PRECINCT 8 - BICYCLE END OF TRIP FACILITIES
- | | EMPLOYEE
BICYCLE
PARKING
SPACES | PERSONAL
LOCKERS | USER
GROUP | CHANGE
ROOMS | SHOWERS | SANITARY | WASH
BASINS |
|--|--|---------------------|--------------------|-----------------------|--|---|--|
| Lockers,
change rooms,
showers,
sanitary
compartments
and
washbasins | 1–5 | 1/space | Female
and male | 1 of unisex
design | 1 | 1 closet pan | 1 |
| | 6–19 | 1/space | Female | 1 | 1 | 1 closet pan | 1 |
| | | | Male | 1 | 1 | 1 closet pan | 1 |
| | 20 or more | 1 / space | Female | 1 | 2, plus 1
additional
for every
20 bicycle
parking spaces
thereafter | 2 closet
pans plus 1
additional for
every 60 bicycle
parking spaces
thereafter | 1, plus 1
additional
for every
60 bicycle
parking spaces
thereafter |
| | | | Male | 1 | 2, plus 1
additional
for every
20 bicycle
parking spaces
thereafter | 2 closet
pans plus 1
additional for
every 60 bicycle
parking spaces
thereafter | 1, plus 1
additional
for every
60 bicycle
parking spaces
thereafter |
- TABLE 5: MINIMUM SERVICE VEHICLE PARKING REQUIREMENTS FOR SHOP
- | Column 1
GFA (m²) | Column 2
Service Bays Required | | | | | |
|----------------------|-----------------------------------|-----|-----|-----|----|-----|
| | VAN | SRV | MRV | HRV | AV | WCV |
| 0-199 | | 1 | | | | |
| 200-599 | 1 | | 1 | | | 1 |
| 600-999 | 1 | 1 | 1 | | | 1 |
| 1,000-1,499 | 2 | 1 | 1 | | | 1 |
| 1,500-1,999 | 2 | 2 | 1 | | | 1 |
| 2,000-2,799 | 2 | 2 | 2 | | | 1 |
| 2,800-3,599 | 2 | 2 | 2 | 1 | | 1 |
| 3,600-4,399 | 3 | 2 | 2 | 1 | | 1 |
| 4,400-6,499 | 3 | 2 | 2 | 1 | 1 | 1 |
| 6,500-8,499 | 4 | 2 | 2 | 1 | 1 | 1 |
| 8,500-11,499 | 4 | 3 | 2 | 1 | 1 | 1 |
| 11,500-14,749 | 5 | 3 | 2 | 1 | 1 | 1 |
| 14,750-17,999 | 5 | 3 | 3 | 1 | 1 | 1 |
| 18,000-20,999 | 6 | 3 | 3 | 1 | 1 | 1 |
| 21,000-2,3999 | 6 | 3 | 3 | 2 | 1 | 1 |
| 24,000-26,999 | 6 | 3 | 3 | 2 | 2 | 1 |
| 27,000-29,999 | 6 | 3 | 3 | 3 | 2 | 1 |
| 30,000-32,999 | 7 | 3 | 3 | 3 | 2 | 1 |
| 33,000-35,999 | 7 | 3 | 4 | 3 | 2 | 1 |
| 36,000-38,999 | 8 | 3 | 4 | 3 | 2 | 1 |
| 39,000-41,999 | 9 | 3 | 4 | 3 | 2 | 1 |
| 42,000+ | 10 | 3 | 4 | 3 | 2 | 1 |
- Notes—

(1) Design service vehicles are defined in the Planning scheme policy for the transport and parking code.

(2) Where gross floor area exceeds 200m², provision is to be to be made for on-site refuse collection.

(3) Where a development has a gross floor area of less than 1,500m², and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.

(4) The following requirements apply to shopping centres:-

(i) except as provided for in (ii) below, service bay requirements are to be applied to each individual retail component of the development, with service bays located immediately adjacent to the component;

(ii) specialty shops in a shopping centre with a gross floor area of less than 200m² are to be grouped together and treated as a single retail component;

(iii) specialty shops for this purpose, MRV class vehicles are to be provided for in lieu of HRV and AV class vehicles.



APPENDIX I RESIDENTIAL DEVELOPMENT CONTROLS

1.1.1 HOUSE & MULTIPLE RESIDENTIAL ALLOTMENTS

Notes

General

- 1. All development inclusive of Single and Multiple Residential Allotments (Duplex) is to be undertaken in accordance with the Development Approval.
- 2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- 3. Maximum building height is 2 storeys (9m) for all dwellings or 3 storeys where identified on a Fixed Elements Plan or Plan of Development. Rooftop terraces are defined as a 'storey'.
- 4. Noise affected allotments are to be developed in accordance with AS3671-1989 'Acoustics - Road Traffic Noise Intrusion - building siting and construction' to achieve the satisfactory internal noise levels stipulated in AS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'.

Setbacks

- 5. Setbacks are as per the Plan of Development Table unless otherwise specified. In the case of Courtyard and Traditional Corner Lots, an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high. The setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- 6. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that about a shared access driveway, a laneway, or a pedestrian link / landscape buffer and therefore in these cases a secondary frontage setback **does not apply**.
- 7. Corner lots are interpreted as having two front boundaries and two side boundaries for the purposes of determining building setbacks (no rear boundary setback applies).
- 8. Built to Boundary walls are recommended where road frontage widths are less than 12.49m. Built to Boundary walls are optional for lots with road frontage widths equal to, or in excess of 12.5m. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 9. Built to Boundary walls are to have a maximum length of 14m and a maximum height of 3.5m.
- 10. Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
 - a) The Primary Street Frontage where eaves should not be closer than 2000mm (2.0m);
 - b) Walls that are Built to Boundary.
- 11. First floor setbacks must not exceed the minimum ground floor setbacks, as documented in the Plan of Development Table.

- 12. Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland development Code, having:
 - a maximum area of 4m²; and
 - not more than 2m wide elevation to the street; and
 - not more than 3m in height.

Site Cover and Amenity

- 13. Site cover for each lot is not to exceed the percentages outlined in the Plan of Development Table, unless the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
- 14. Private amenity space, must be provided and is not less than 15m² per dwelling with a minimum dimension of 3.0m, and is directly accessible from a ground floor living area.

Privacy and Overlooking

- 15. Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
 - a) a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - b) a window has a sill height more than 1.5m above the adjacent floor level, or
 - c) a window has obscure glazing below 1.5m;
 - Where Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

Fencing

- 16. For detached lots:
 - Fencing along primary street frontages must be either 50% transparent or a maximum of 1.2m in height. Fencing to secondary street frontages may be screen fencing of 1.8m high maximum and extend up to the front building line (main facade). For lots identified as being subject to rear fence controls on the Plan of Development, a rear fence adjoining the park edge must be provided.
- 17. For Multiple Residential (Duplex lots):
 - Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum 1.8m where the upper 0.3m is 50% transparent.

Parking and Driveways

- 18. For all allotments the following applies:
 - Double garages are permitted:
 - On any Premium Villa, Courtyard, Premium Traditional or Multiple Residential (Duplex) Lot;
 - On any 7.5m wide to less than 12.5m wide where the dwelling is more than one storey in height, and where the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling;
 - On any corner lot if the garage fronts the secondary street frontage as shown in the setback diagrams for detached corner allotments and minimum setbacks (including garage setbacks) can be met;

- On a single storey dwelling on any Villa Lots where the following design criteria are met:
 - a) The front facing building wall, which comprises the garage door/s, may not exceed an external width of 5.7m; and
 - b) The garage door width must not exceed 4.8m; and
 - c) The garage door must have a minimum 450mm eave above it and be setback a minimum of 240mm behind the pillar of the garage door; and
 - d) Must have a sectional, tilt or roller door; and
 - e) The front facade of the dwelling must include the following:
 - A front entrance door and windows with a sidelight.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1.6m forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours
 - f) The garage has one side constructed as a built to boundary wall in a position consistent with the Plan of Development for the lot; and
 - g) The driveway of the garage is to taper from the garage opening down to 3m at the lot boundary. The taper must occur on the central edge of the driveway. Any combination of a 'garage', 'carport' or 'open carport' as defined in the Queensland Development Code (QDC) are taken to be a 'garage' under this POD
- 19. Parking spaces on driveways do not have to comply with gradients in AS2890.
- 20. A maximum of one driveway per dwelling is permitted (2 for Multiple Residential (duplex) allotments).
- 21. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- 22. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m.
- 23. The minimum distance between driveways on the same Multiple Residential Lot shall be 3.0m at the boundary.

Rainwater Tanks

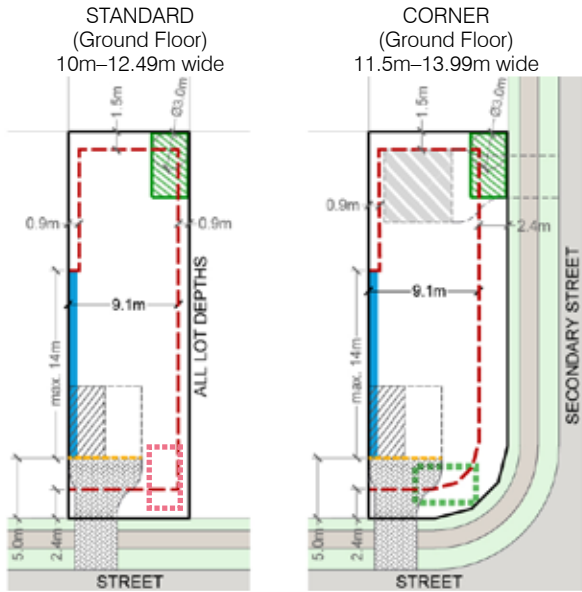
- 24. All detached dwellings must have a min 5000 litre rainwater tank. All multiple residential dwellings (duplex) must have a min 3000 litre rainwater tank per dwelling. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private amenity space.

Definitions

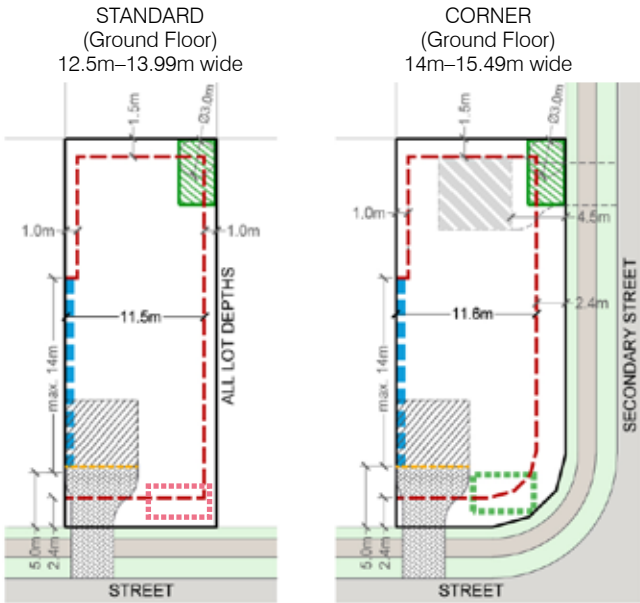
Site Cover

The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

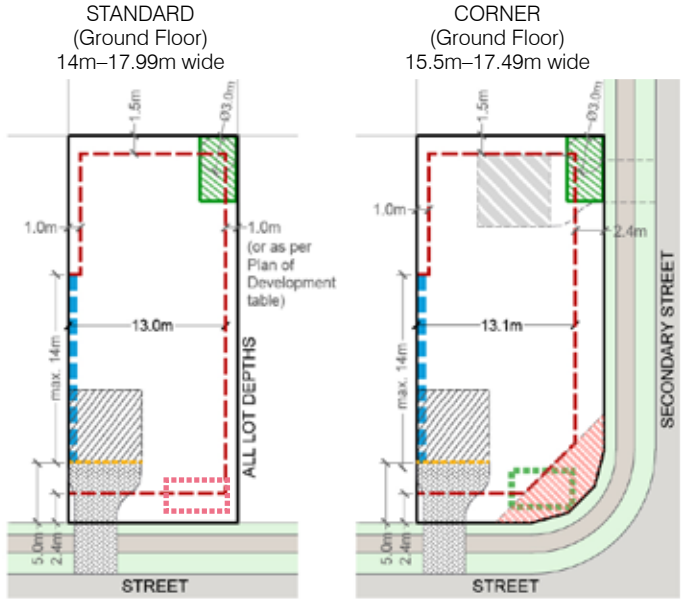
VILLA - HOUSE ON 10m WIDE LOT



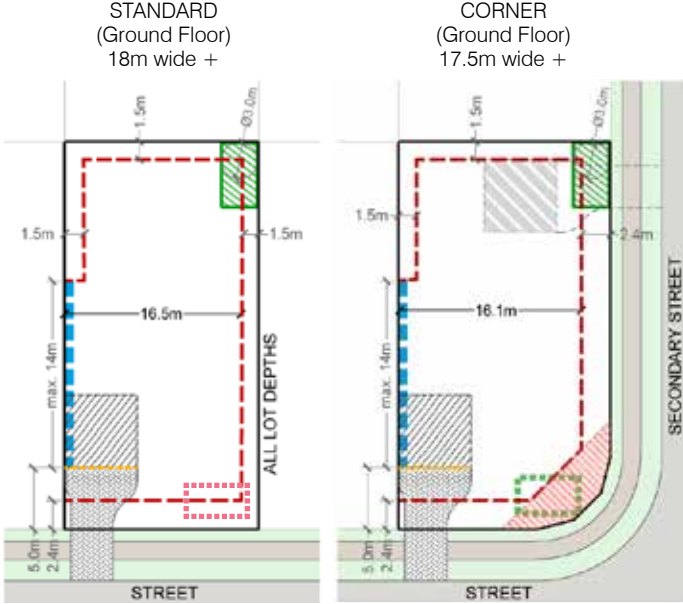
PREMIUM VILLA - HOUSE ON 12.5m WIDE LOT



COURTYARD - HOUSE ON 14m WIDE LOT



PREMIUM TRADITIONAL - HOUSE ON 18m WIDE LOT



PLAN OF DEVELOPMENT TABLE

	VILLA ALLOTMENTS		PREMIUM VILLA ALLOTMENTS		COURTYARD ALLOTMENTS		PREMIUM TRADITIONAL ALLOTMENTS	
	10m-12.49m Wide		12.5m-13.99m Wide		14m - 17.99m Wide		18.0m Wide +	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front & Rear (metres)								
Front / Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	Single	n/a	5.0	n/a	5.0	n/a	5.0	n/a
	Double		5.0 ⁴		5.0 ⁴		5.0 ⁴	
Rear	1.5 ²	3.0	1.5 ²	3.0	1.5 ²	3.0	1.5 ²	3.0
Rear setback for lots adjoining CAMCOS	3.9 ³	3.9 ³	3.9 ³	3.9 ³	3.9 ³	3.9 ³	3.9 ³	3.9 ³
Side (metres)								
Built to Boundary	0.0	0.9	0.0	1.0	0.0	1.0	0.0	1.5
Non Built to Boundary	0.9	0.9	1.0	1.0	1.0	1.0	1.5	1.5
Corner Lots — Secondary frontage & shared boundaries with open space	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage and On-site Car Parking								
On site parking requirements (minimum)	1 space to be covered and enclosed. Single garages (up to 3.5m in width) or tandem garages are acceptable. Double garages (greater than 3.5m in width) are permitted for: - 2 storey dwellings; and - single storey dwellings provided note 18 above is met.		1 space per dwelling to be covered and enclosed. Single, tandem or double garage acceptable.		1 space to be covered and enclosed. Single, tandem or double garage acceptable.		1 space to be covered and enclosed. Single, tandem or double garage acceptable.	
Garage location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the western or southern boundary where appropriate.	
Site Cover (maximum)	60%		60%		60%		60%	

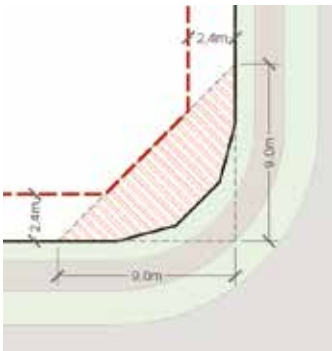
¹ Second side setback as no rear setback applies.

² Lots less than 25m deep have a 1.0m setback

³ Where a lot adjoins the CAMCOS Corridor and the private open space area is proposed to be at the front of the property, the rear setback may be reduced down to 1.5m at ground floor and 3.0m at first floor.

⁴ Where a lot is located within Stage 2, 4, 6, 8, 13 or 17 the double garage setback is 4.5m for house allotments and the double garage setback is 3.5m for multiple residential (duplex and triplex) allotments

CORNER DIAGRAM



LEGEND

- LOT BOUNDARY
- - - MAXIMUM BUILDING ENVELOPE (GROUND FLOOR)
- 1.0m MINIMUM BUILDING SETBACK DIMENSIONS
- MANDATORY BUILT TO BOUNDARY WALL
- OPTIONAL BUILT TO BOUNDARY
- GARAGE SETBACK FROM FRONT BOUNDARY
- CORNER SETBACKS
- PREFERRED PRIVATE OPEN SPACE LOCATION (MIN. DIMENSION OF 3.0M)
- ALTERNATIVE LOCATION FOR PRIVATE OPEN SPACE

- ALTERNATIVE LOCATION FOR PRIVATE OPEN SPACE (FOR LOTS ADJOINING CAMCOS CORRIDOR)
- INDICATIVE GARAGE LOCATION
- SINGLE GARAGE FOR SINGLE STOREY DWELLING, DOUBLE GARAGE FOR DOUBLE STOREY DWELLING
- ALTERNATIVE LOCATION OF GARAGE ON CORNER LOTS
- INDICATIVE DRIVEWAY LOCATION

1.1.2 FRONT LOADED TERRACE ALLOTMENTS - 7.5M WIDE

Notes

General

- 1. All development is to be undertaken in accordance with the Development Approval.
- 2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- 3. Maximum building height is 2 storeys (9m) for all dwellings. Rooftop terraces are defined as a 'storey'.
- 4. Noise affected allotments are to be developed in accordance with AS3671-1989 'Acoustics - Road Traffic Noise Intrusion - building siting and construction' to achieve the satisfactory internal noise levels stipulated in AS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'.

Setbacks

- 5. Setbacks are as per the Plan of Development Table unless otherwise specified.
- 6. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 7. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that about a shared access driveway, a laneway, or a pedestrian link landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- 8. Built to Boundary wall shall be no more than 85% of the length of the boundary and may be higher than 3.5m where in accordance with approved house plans and where appropriate building staging and construction techniques are demonstrated.
- 9. Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
 - The Primary Street Frontage where eaves should not be closer than 1500mm (1.5m);
 - Walls that are Built to Boundary.
- 10. Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland Development Code, having:
 - a maximum area of 4m²; and
 - not more than 2m wide elevation to the street; and
 - not more than 3m height.

Site Cover and Amenity

- 11. Site cover for each lot is not to exceed 75% of the lot, unless the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
- 12. Private amenity space must be provided and must not be less than 16m² with a minimum dimension of 3.0m and is directly accessible from a ground floor living area.

Privacy & Overlooking

- 13. Buildings must be sited and designed to provide adequate visual privacy for neighbours where:
 - the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
 - a) a permanent window and a balcony has a window/ balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - b) a window has a sill height more than 1.5m above the adjacent floor level; or
 - c) a window has obscure glazing up to 1.5m above the internal floor level;
 - Window and Window / Balcony Screen has the same meaning as in the Queensland Development Code.

Fencing

- 14. Fencing on all Primary Street Frontages and Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
- 15. Fencing to secondary street may be screen fencing up to 1.8m high up the front building line (main facade).

Parking and Driveways

- 16. For all allotments the following applies:
 - Double garages will not be permitted on a single storey dwelling unless accessed from a laneway
- 17. For all allotments the following applies:
 - Double garages will not be permitted on a single storey dwelling;
 - Double garages may be permitted where the dwelling is more than one storey in height, and where the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling;

- The maximum width of a driveway at the lot boundary & where crossing the verge:
 - serving a double garage shall be a 4.8m;and
 - serving a single garage shall be 3.0m.
- 18. Parking spaces on driveways do not have to comply with gradients in AS2890.
- 19. A maximum of one driveway per dwelling is permitted.
- 20. Driveways should avoid on-street elements such as dedicated on-street parking bays, drainage pits and service pillars.
- 21. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m.
- 22. Dedicated refuse bin storage locations are to be integrated into the edge of the driveway.

Rainwater Tanks

- 23. Dwellings must have a min 3000 litre rainwater tank. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private amenity space.

Definitions

Site Cover

The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

SETBACKS

PLAN OF DEVELOPMENT TABLE	TERRACE ALLOTMENTS 7.5M-<10M WIDE (FRONT LOADED)	
	Ground Floor	First Floor (includes Loft Dwellings)
Front & Rear (metres)		
Front / Primary Frontage	2.0	2.0
Garage	5.0m for single or tandem garages & 5.0m for double garages ¹	n/a
Rear	1.5	1.5
Side (metres)		
Built to Boundary	0.0	0.0
Non Built to Boundary	0.9	0.9
Corner Lots — Secondary frontage & shared boundaries with open space	2.0	2.0
Garage and On-site Car Parking		
On site parking requirements (minimum)	1 space to be covered and enclosed. Single or tandem garages are acceptable. Double garages are permitted on two storey dwellings only.	
Garage Location	Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	75%	

¹ Where a lot is located within Stage 8, the double garage setback is 4.5m

1.1.3 LANEWAY TERRACE ALLOTMENTS

Notes

General

- 1. All development is to be undertaken in accordance with the Development Approval.
- 2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- 3. Maximum building height is 2 storeys (9m). Rooftop terraces are defined as a 'storey'.
- 4. Noise affected allotments are to be developed in accordance with AS3671-1989 'Acoustics - Road Traffic Noise Intrusion - building siting and construction' to achieve the satisfactory internal noise levels stipulated in AS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'.

Setbacks

- 5. Setbacks are as per the Plan of Development Table unless otherwise specified.
- 6. Built to Boundary Walls:
 - a) Built to boundary wall dimensions are limited by the applicable building setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
 - b) where not adopted, the standard setbacks in the Plan of Development Table apply.
- 7. Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
 - The Primary Street/Park Frontage where eaves should not be closer than 1500mm;
 - Walls that are Built to Boundary.

Privacy & Overlooking:

- 8. Buildings must be sited and designed to provide adequate visual privacy for neighbouring dwellings:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
 - a) a permanent window and a balcony has a window/ balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - b) a window has a sill height more than 1.5m above the adjacent floor level, or
 - c) a window has obscure glazing below 1.5m;
 - where: Window and Window / Balcony Screen has the same meaning as in the Queensland Development Code.

SETBACKS

PLAN OF DEVELOPMENT TABLE	LANEWAY TERRACE ALLOTMENTS 4M-<14M WIDE (REAR LOADED)	
	Ground Floor	First Floor
Front & Rear (metres)		
Front / Primary Frontage	2.0	2.0
Garage	0.5	n/a
Rear	0.5	0.0
Side (metres)		
Built to Boundary	0.0	0.0
Optional Built to Boundary	0.0	0.0
Non Built to Boundary	0.9	0.9
Corner Lots — Secondary street frontage	1.5	1.5
Corner Lots where secondary frontage shares a boundary with a laneway or linear open space or ped link	0.9	0.9
Garage and On-site Car Parking		
On site parking requirements (minimum)	1 space to be covered and enclosed. Single, tandem or double garages are acceptable depending on lot width.	
Garage Location	Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%	

- 9. Where loft apartments are built adjacent the laneway, the design of windows, balconies and other amenity spaces shall be located and adequately screened to avoid overlooking of, and from, loft apartments / dwellings on the opposite side of the laneway.

Site Cover and Amenity

- 10. Site cover for each lot is not to exceed 85% of the lot, unless the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
- 11. Private amenity space must be provided and is not less than 15m² with a minimum dimension of 3.0m and is directly accessible from a ground floor living area. Amenity space for loft apartments can be roofed and may be provided as a balcony not less than 9m² with a minimum dimension of 1.5m.
- 12. For all terrace lots, building must ensure the provision of natural light and ventilation to core living areas.
- 13. Terrace lots with an east-west orientation and a building length exceeding 8m must ensure the provision of natural light and ventilation by either:
 - centrally locating Private Open Space (POS) areas that have direct access from living areas at ground level; or
 - the use of building offsets and opening such as light wells or similar, that are open to the sky and service core living areas.

Fencing, Letterboxes, Parking and Driveways

- 14. Fencing on all Primary Street Frontages and Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
- 15. Letterboxes for the dwelling shall be located on the primary street or if fronting a park, within the laneway.
- 16. Allotments adjoining a laneway may have their garage fronting the laneway, comply with the setbacks, and have fencing to the laneway in accordance with that shown in the Laneway Terrace Allotment Diagram.
- 17. Parking spaces on driveways do not have to comply with gradients in AS2890.
- 18. A maximum of one driveway per dwelling is permitted which may be shared where there is more than 1 dwelling on a lot.
- 19. Driveways should have the minimum width required to facilitate vehicle access, in order to maintain space between driveways, pathways and bin storage areas for amenity planting.
- 20. Driveways must avoid on-street elements such as dedicated on-street parking bays, drainage pits and service pillars.
- 21. The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6m.

Laneway Interface

- 22. The relationship of garages to the laneway and bin storage areas should be generally as shown in the diagrams 'Typical Laneway Interface' and 'Typical Loft Dwellings on Laneway' below in this document.
- 23. Garages should be paired (built to a common boundary as shown the diagrams, where possible).

Site Services and Bin Storage

- 24. The relationship of garages to the laneway and bin storage areas shall be generally as shwn in the diagrams: Laneway Terrace Allotment and Loft Dwellings on Laneway, in this PoD.
- 25. All dwellings on Laneway Terrace lots with a width of 4.6m or Less are to be designed to ensure the following:
 - a) There are no conflicts between services (electricity/water) and pedestrian access to the front and rear of the lot, or vehicular access to the rear of the lot;
 - b) A dedicated area is provided within the lot to accommodate refuse bin storage. This is preferred to be located outside of the garage, but accessible to, and screened from, the laneway. In the case of 4m wide lots, the bin storage area may be accommodated within the garage, provided the garage is appropriately dimensioned to ensure the bins can be removed whilst the car is parked in the garage.

Rainwater Tanks

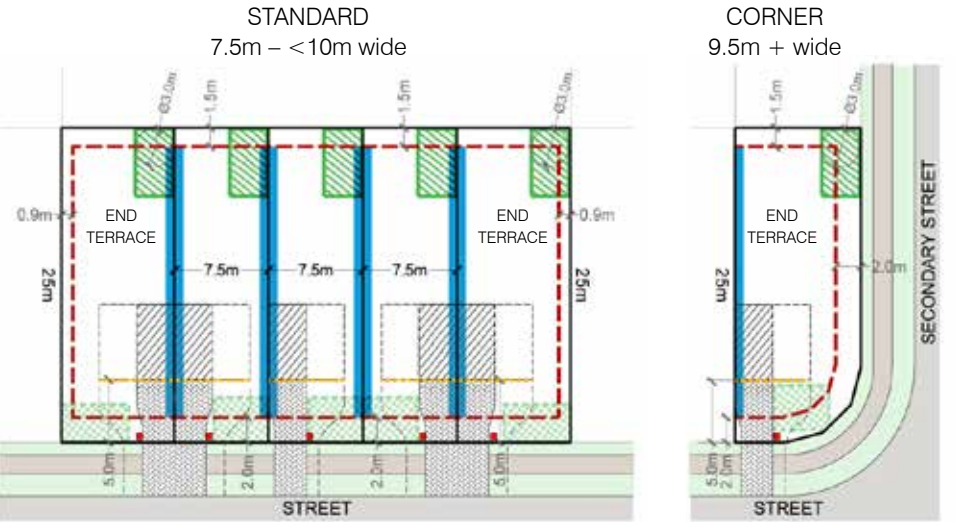
- 26. Dwellings must have a min 3000 litre rainwater tank. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private amenity space.

Definitions

Site Cover

The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

TYPICAL TERRACE ALLOTMENTS (FRONT LOADED)



LEGEND

- LOT BOUNDARY
- MAXIMUM BUILDING ENVELOPE (GROUND FLOOR)
- BUILDING SETBACK DIMENSIONS
- MANDATORY BUILT TO BOUNDARY WALL
- GARAGE SETBACK FROM FRONT BOUNDARY
- PREFERRED PRIVATE OPEN SPACE LOCATION
- ALTERNATE LOCATION FOR PRIVATE OPEN SPACE

- SINGLE GARAGE FOR SINGLE STOREY DWELLING
- DOUBLE GARAGE WHEN 2 STOREY DWELLING
- INDICATIVE DRIVEWAY LOCATION
- PREFERRED LETTERBOX LOCATION

TYPICAL TERRACE FRONTING PARK OR STREET (REAR LOADED)

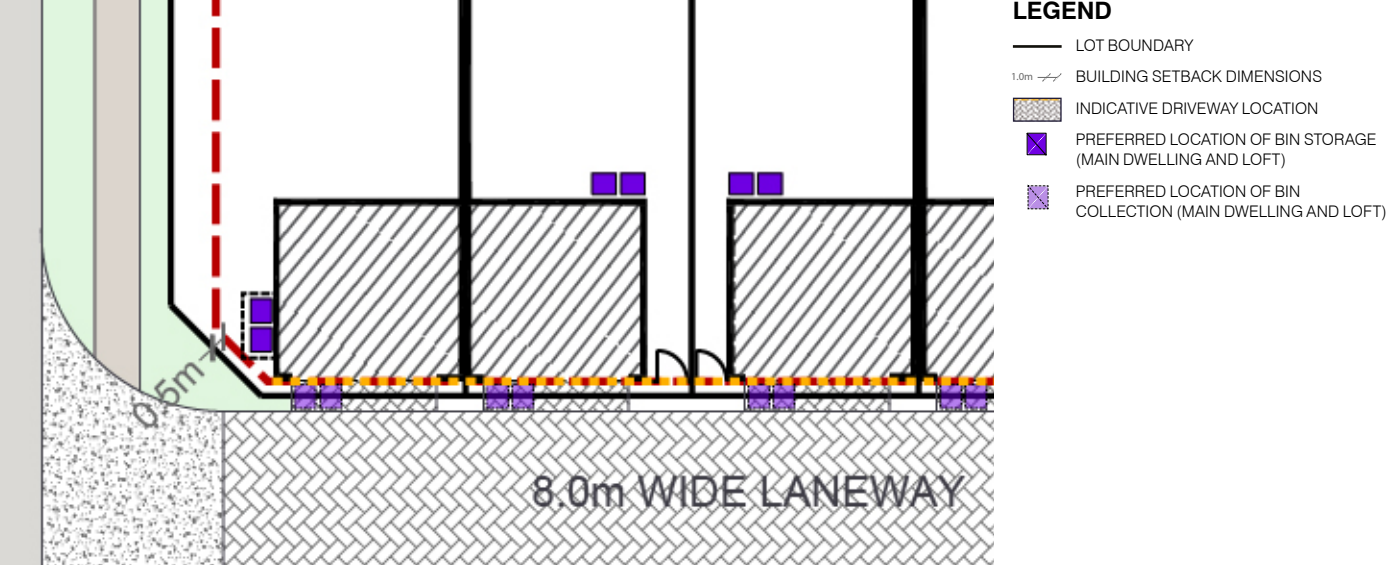


LEGEND

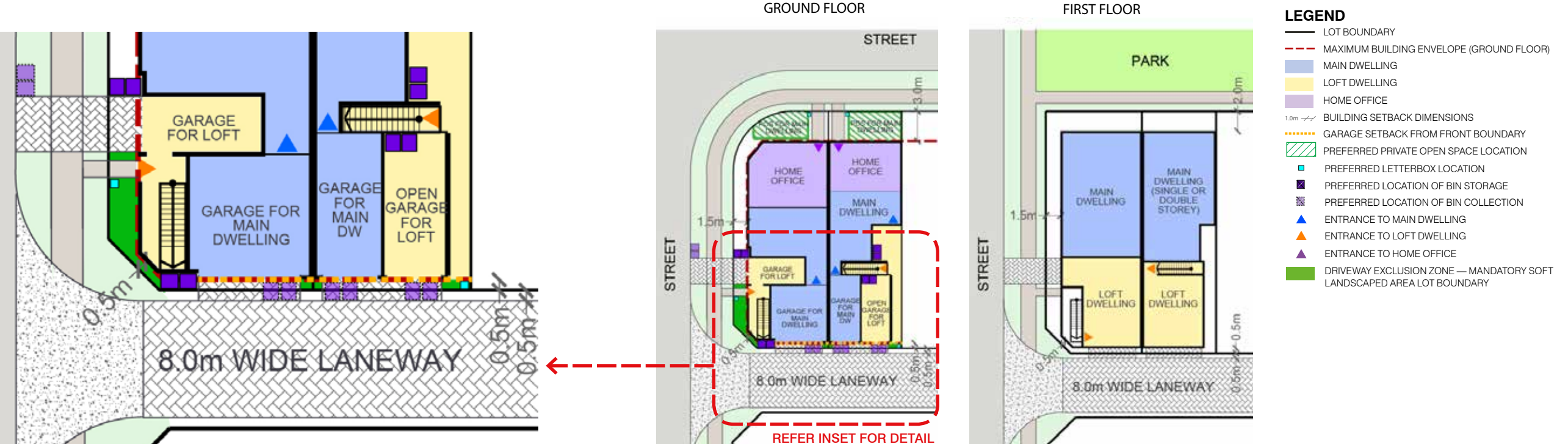
- LOT BOUNDARY
- MAXIMUM BUILDING ENVELOPE (GROUND FLOOR) (ASSUMING OPTIONAL BUILT TO BOUNDARY WALL NOT USED)
- BUILDING SETBACK DIMENSIONS
- MANDATORY BUILT TO BOUNDARY WALL
- OPTIONAL BUILT TO BOUNDARY WALL

- GARAGE SETBACK FROM FRONT BOUNDARY
- PREFERRED PRIVATE OPEN SPACE LOCATION
- ALTERNATE LOCATION FOR PRIVATE OPEN SPACE
- GARAGE LOCATION
- LETTERBOX LOCATION (IF PRIMARY FRONTAGE IS PARK)
- LETTERBOX LOCATION (IF PRIMARY FRONTAGE IS A STREET)

TYPICAL LANEWAY INTERFACE



SOHO PRODUCT FRONTING STREET AND LOFT



1.1.7 URBAN ALLOTMENTS

Development Controls

- General**

 - All development is to be undertaken in accordance with the Development Approval.
 - All building setbacks and built to boundary walls are subject to service easements existing and proposed.
 - Maximum building height is 2 storeys (9m) for all dwellings. Rooftop terraces are defined as a 'storey'.
- Setbacks**

 - Setbacks are as per the Plan of Development Table, unless dimensioned otherwise on plan.
 - Setbacks are measured to the wall of the building or structure. Eaves may extend into the side and rear setbacks up to 450mm from the property boundary. Eaves may extend up to the street boundary for Type A and B Urban lots and 2000mm for Type C and D Urban Lots.
 - Upper floor setbacks must be in accordance with minimum ground floor setbacks.
 - Built to Boundary Walls:
 - Built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
 - where not adopted, the standard setbacks in the Plan of Development Table apply.
- Privacy & Overlooking**

 - Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
 - a permanent window and a balcony has a window/balcony screen extending across the line of sight
- from the sill to at least 1.5m above the adjacent floor level; or

 - a window has a sill height more than 1.5m above the adjacent floor level, or
 - a window has obscure glazing below 1.5m; where: Window and Window / Balcony Screen has the same meaning as in the Queensland Development Code.
- Parking and Driveways**

 - A maximum of one driveway is permitted per lot.
 - Driveways are to have the following widths:
 - single driveway: minimum 3.0m and maximum 3.5m;
 - shared double driveway: mandatory where shown on plan.
 - Driveways are to avoid on-street works such as: dedicated parking bays, drainage inlets, service pillars, street planting beds and bio-retention areas.
 - The minimum distance between a driveway and street intersection is 6.0m.
 - Parking spaces and driveways do not have to comply with gradients in AS2890
- Private Open Space**

 - Private open space may be roofed and must meet the following requirements:

Type A:	6m² at ground level
Type B:	9m² at ground level
Type C:	12m² at ground level
- Fencing**

 - Fencing to all street and park frontages must not be higher than 1.2m or must be 50% transparent. Terrace and urban lots may have fencing along the street to 1.5m to provide appropriate privacy.

Rainwater Tanks

- Dwellings must have a min 3000 litre rainwater tank. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private amenity space.

Definitions

Site Cover
The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

1.1.8 TERRACE ALLOTMENTS (ATTACHED) - 6.2M WIDE

Development Controls

- General**

 - All development is to be undertaken in accordance with the Development Approval.
 - Building setbacks and built to boundary wall locations shown are subject to future proposed easements and/or underground services.
 - Maximum building height is 3 storeys for all dwellings where permitted in the Plan of Development, and 2 storeys (9m) otherwise. Rooftop terraces are defined as a 'storey'.
- Setbacks**

 - Setbacks are as per the Plan of Development Table unless otherwise specified.
 - Where Built to Boundary walls are not adopted side setbacks for non-built to boundary walls apply.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, a laneway, or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - Built to Boundary Walls:
 - Built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
 - where not adopted, the setbacks for non built to boundary walls in the Plan of Development Table apply.
 - Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
 - The Primary Street Frontage where eaves should not be closer than 2000mm;
 - Walls that are Built to Boundary.
 - Upper floor setbacks must not exceed the minimum ground floor setbacks, including roof top terraces.
 - Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland Development Code, having:
 - a maximum area of 4m²; and
 - not more than 2m wide elevation to the street; and
 - not more than 3m in height.
- Site Cover and Amenity**

 - Site cover for each lot is not to exceed that shown in the Plan of Development table, unless the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
 - Private amenity space, must be provided and is not less than 15m² with a minimum dimension of 2.5m and is directly accessible from a ground floor living area.
- Privacy & Overlooking**

 - Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
 - a permanent window and a balcony has a window/ balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - a window has a sill height more than 1.5m above the adjacent floor level, or
 - a window has obscure glazing below 1.5m;where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.
- Fencing**

 - Fencing along the primary street frontage must be either 50% transparent or max. 1.2m high. Fencing to secondary street frontages may be screen fencing up to 1.8m high up to the front building line (main facade).
- Parking and Driveways**

 - For all allotments the following applies:
 - Double garages are permitted on any corner lot if the dwelling is more than one storey and where the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling;
 - the maximum width of a driveway at the lot boundary & where crossing the verge:
 - serving a double garage shall be 4.8m; and
 - serving a single garage shall be 3.0.
 - Parking spaces on driveways do not have to comply with gradients in AS2890.
 - A maximum of one driveway per dwelling is permitted.

- Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.

Rainwater Tanks

- Dwellings must have a min 3000 litre rainwater tank. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private amenity space.

Façade Treatment and Passive Ventilation

- On all terrace lots the main façade (facing the primary street frontage) must comprise at least two different materials and at least one horizontal or vertical step in the façade.
- Each dwelling unit must not present the same façade design to the street as the immediate adjoining dwelling/s.
- The design of the dwelling must consider passive ventilation and natural light provision through a combination of the following elements:
 - inclusion of a mid-block courtyard space, light wells or recess that extends into the dwelling to allow multiple rooms to have windows/openings onto that space;
 - each living area that adjoins an external wall (not built to boundary) has an open-able window or door.

Definitions

Site Cover
The total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

SETBACKS

PLAN OF DEVELOPMENT TABLE	URBAN ALLOTMENTS		URBAN ALLOTMENTS	
	Type A & B		Type C	
	Ground Floor	First Floor	Ground Floor	First Floor
Front & Rear				
Front / Primary Frontage	0.2	0.2	1.5	1.5
Garage	0.5	n/a	4.5	n/a
Rear	0.0	0.0	1.5	1.5
Side				
Built to Boundary	0.0	0.0	0.0	0.0
Non Built to Boundary	0.9	0.9	0.9	0.9
Corner Lots — Secondary frontage	as shown	as shown	1.5	1.5
Garage and On-site Car Parking				
On site parking requirements (minimum)	1 space to be covered and enclosed. Single or tandem garage acceptable. Double garages not permitted.		1 space to be covered and enclosed. Single or tandem garage acceptable. Double garages not permitted.	
Garage location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%		85%	

- LEGEND**
- LOT BOUNDARY

 MAXIMUM BUILDING ENVELOPE (GROUND FLOOR)

1.0m

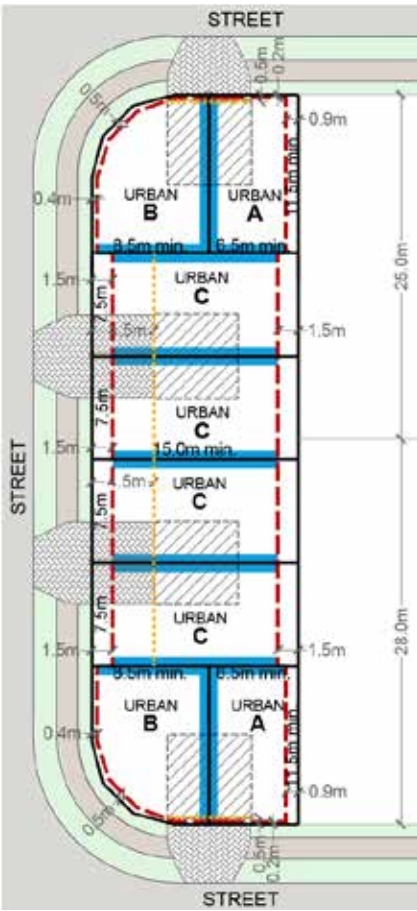
 BUILDING SETBACK DIMENSIONS

—

 MANDATORY BUILT TO BOUNDARY WALL
-

 GARAGE SETBACK FROM FRONT BOUNDARY
- INDICATIVE GARAGE LOCATION
- INDICATIVE DRIVEWAY LOCATION

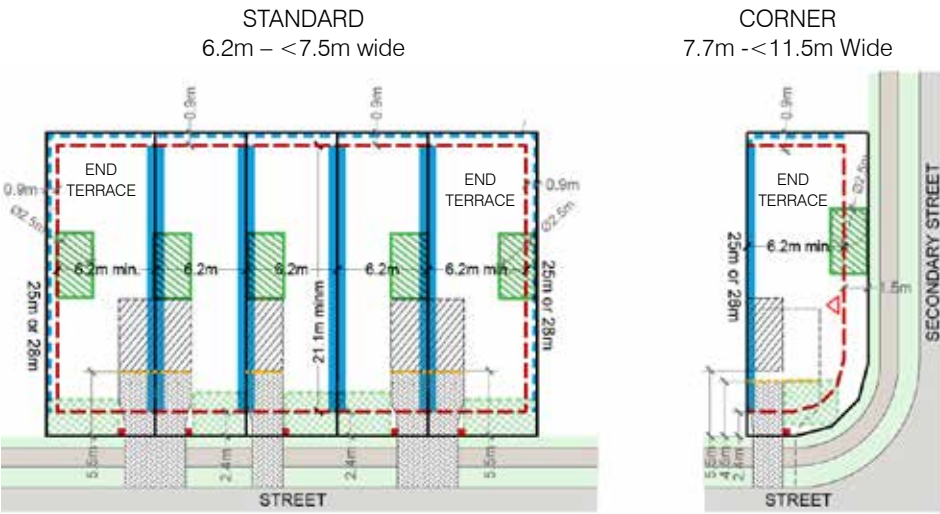
URBAN ALLOTMENTS



SETBACKS

PLAN OF DEVELOPMENT TABLE	TERRACE ALLOTMENTS 6.2M – <7.5M WIDE	
	Ground Floor	First Floor
Front and Rear (metres)		
Front / Primary Frontage	2.4	2.4
Garage	5.5m for single or tandem garages and 4.5m for double garages	n/a
Rear (metres)		
Built to Boundary	0.0	0.0
Non Built to Boundary	0.9	0.9
Side (metres)		
Built to Boundary	0.0	0.0
Non Built to Boundary	0.9	0.9
Corner Lots — Secondary street frontage	1.5	1.5
Corner Lots where secondary frontage shares a boundary with a laneway or linear open space or ped link	0.9	0.9
Garage and On-site Car Parking		
On site parking requirements (minimum)	1 space to be covered and enclosed. Single or tandem garages acceptable. Double garages are not permitted other than a dwelling of more than 1 storey on a corner lot. Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%	

TYPICAL 6.2m TERRACE (FRONT LOADED)



- LEGEND**
- LOT BOUNDARY
- MAXIMUM BUILDING ENVELOPE (GROUND FLOOR)
- 1.0m

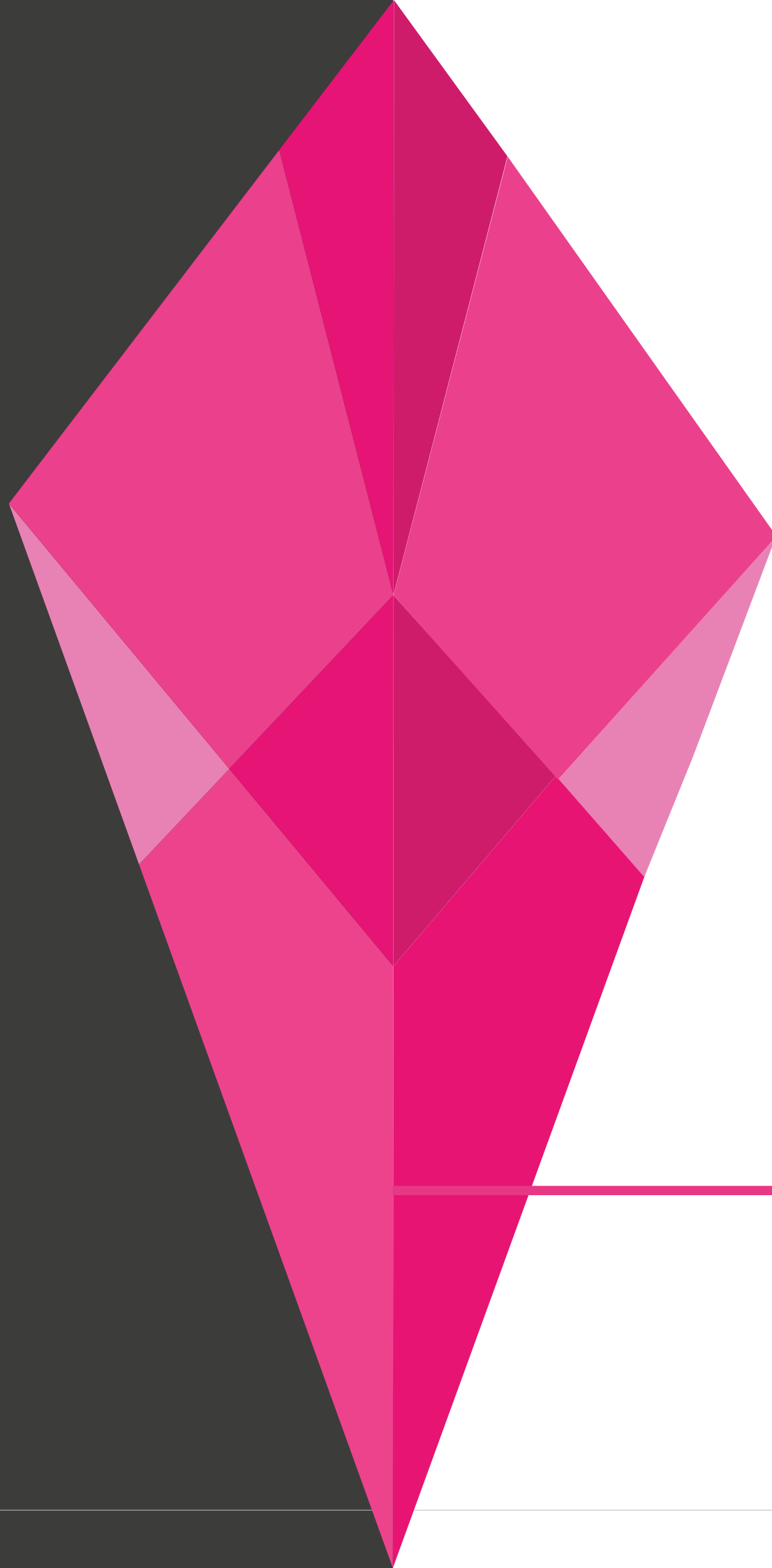
 BUILDING SETBACK DIMENSIONS
- MANDATORY BUILT TO BOUNDARY WALL
- OPTIONAL BUILT TO BOUNDARY WALL (WHERE PERMITTED ON PLAN OF DEVELOPMENT)
-

 GARAGE SETBACK FROM FRONT BOUNDARY

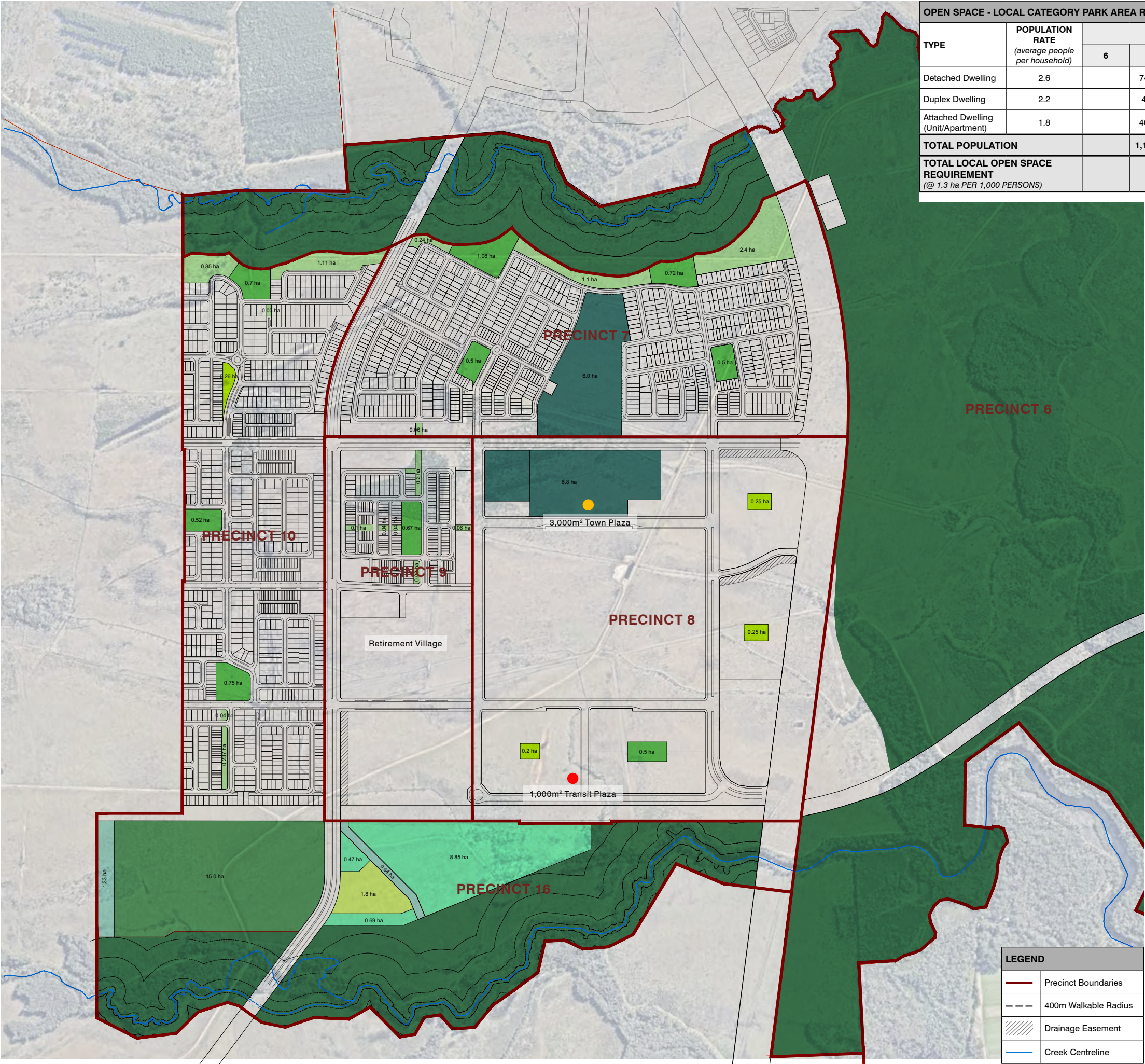
 PREFERRED PRIVATE OPEN SPACE LOCATION ALTERNATE PRIVATE OPEN SPACE LOCATION SINGLE GARAGE FOR SINGLE STOREY DWELLING
DOUBLE GARAGE WHEN 2 STOREY DWELLING

■

 PREFERRED LETTERBOX LOCATION



APPENDIX J OPEN SPACE NETWORK PLAN



OPEN SPACE - LOCAL CATEGORY PARK AREA REQUIREMENTS								
TYPE	POPULATION RATE <i>(average people per household)</i>	PRECINCT						TOTAL POPULA-TION
		6	7	8	9	10	16	
Detached Dwelling	2.6		746 dw	1,939 ppl		246 dw	639 ppl	5,160 ppl
Duplex Dwelling	2.2		40 dw	88 ppl			44 dw	184 ppl
Attached Dwelling (Unit/Apartment)	1.8		400 dw	720 ppl	1950 dw	3,510 ppl	389 dw	700 ppl
TOTAL POPULATION			1,186 dw	2,747 ppl	1,950 dw	3,510 ppl	635 dw	1,339 ppl
TOTAL LOCAL OPEN SPACE REQUIREMENT <i>(@ 1.3 ha PER 1,000 PERSONS)</i>			3.57 ha	4.56 ha	1.74 ha	3.7 ha		13.57 ha

OPEN SPACE - LOCAL CATEGORY PARK AREAS PROVISION								
PARK TYPE		PRECINCT						TOTAL
		6	7	8	9	10	16	
	Neighbourhood Park		2.8 ha	0.5 ha	0.67 ha	2.0 ha		5.97 ha
	Local Park			0.7 ha		0.26 ha		0.96 ha
	Local Linear Park		3.83 ha		0.54 ha	2.27 ha		6.64 ha
TOTAL			6.63 ha	1.2 ha	1.21 ha	4.53 ha		13.57 ha

- LOCAL PARK ALLOCATION NOTES:
- The local park provision is calculated at 1.3 hectares per 1,000 population.
 - All residential precincts comply with the minimum Neighbourhood Park provision requirement inclusive of 400m catchment.
 - The Retirement Village site will be required to meet its own private open space requirements.
 - District Linear Park areas will be captured in future development precincts.

OPEN SPACE - MAJOR AND DISTRICT CATEGORY PARK AREAS PROVISION								
PARK TYPE		PRECINCT						TOTAL
		6	7	8	9	10	16	
	Major Sports Park					15.0 ha		15.0 ha
	Major Recreation Park						10.0 ha	10.0 ha
	Major Sports Facility						1.8 ha	1.8 ha
	People's Place		6.0 ha	6.8 ha (includes 1.5 Major Civic Facility & 0.3ha Town Centre Plaza)				12.8 ha
TOTAL			6.0 ha	6.8 ha		15.0 ha	11.8 ha	39.6 ha

OPEN SPACE - OTHER								
PARK TYPE		PRECINCT						TOTAL
		6	7	8	9	10	16	
	Town Centre Plaza (Public)			3000m²				3000m²
	Transit Plaza			1000m²				1000m²
TOTAL				4000m²				4000m²



APPENDIX K PLANT SPECIES LIST

PLANTING PALETTE

TREES

Scientific Name	Common Name	Location
Acmena hemilampra	Bush Satinash	Feature and Street
Agathis robusta	Queensland Kauri Pine	Feature and Street
Allocasuarina littoralis	Black She Oak	Open Space
Araucaria bidwillii	Bunya Pine	Open Space
Banksia integrifolia	Coast Banksia	Open Space
Buckinghamia celsissima	Ivory Curl Tree	Street
Casuarina glauca	Swamp Oak	Open Space
Corymbia maculata ssp. Variegata	Spotted Gum (Corymbia citriodora ssp)	Open Space
Cupaniopsis anacardoides	Tuckeroo	Street
Delonix regia	Poinciana	Feature and Open Space
Elaeocarpus grandis	Blue Quandong, Blue Fig	Feature and Street
Elaeocarpus eumundii	Eumundi Quandong	Feature and Street
Eucalyptus "Summer Beauty"	Grafted Flowering Form of E. ficifolia	Open Space
Eucalyptus robusta	Swamp Mahogany	Open Space
Eucalyptus tereticornis	Forest Red Gum, Blue Gum	Open Space
Eucalyptus tessellaris	Carbeen, Moreton Bay Ash	Open Space
Eucalyptus tindaliae	Stringybark	Open Space
Ficus hillii	Hill's Weeping Fig	Feature and Open Space
Grevillea baileyana	White Oak	Street
Gymnostoma australium	Daintree Pine	Feature
Harpullia pendula	Tulipwood	Street
Hibiscus tiliacious	Native Hibiscus	Feature Park Tree
Jacaranda mimosifolia	Jacaranda	Feature and Street
Livistona australis	Cabbage Tree Palm	Feature
Lophostemon confertus	Brush Box	Feature and Street
Melaleuca leucandendra	Weeping Paper Bark	Feature
Melaleuca quinquenervia	Paperbark	Open Space
Melaleuca viridiflora weeping	Weeping Paperbark	Street
Pandanus pedunculatus	Coastal Screw Pine	Feature
Pandanus tectorius	Screw Pine	Feature
Syzigium floribunda	Weeping Lilly Pilly	Feature and Street
Tristaniopsis laurina	Water Gum	Street
Xanthostemon chrysanthus	Golden Penda	Street



NOTE: The proposed planting palette is indicative only and may be extended once detailed design commences

[*] Araucaria bidwillii (Bunya Pine) selected due to strong cultural heritage with local area - will only be planted in large garden bed areas. Only male species will be specified.

PLANTING PALETTE

SHRUBS

Scientific Name	Common Name	Location
Austromyrtus 'Copper Tops'	A form of A. Inophloya	Feature
Banksia aemula	Wallum Banksia	Feature
Banksia robur	Swamp Banksia	Feature
Banksia spinulosa	Hairpin Banksia	Open Space
Cycas revoluta	Sago Palm	Feature
Doryanthes excelsa	Gymea Lily	Open Space
Ficus okinawensis	Green Island	Feature
Grevillea 'Caloundra Gem'	Hybrid G. banksii 'forsters' x G. whiteana	Open Space
Grevillea 'Golden Lyre'	G. 'Honey Gem' x G. Formosa	Open Space
Grevillea 'Honey Gem'	G. banksii x G. pteridifolia	Feature
Hakea actites	Pointed Hakea	Open Space
Hovea acutifolia	Pointed leaf Hovea	Open Space
Leptospermum 'Cardwell'	A form of L. polygalifolium	Feature
Leptospermum liversidgei		Feature
Leptospermum polygalifolium	Tantoon (formerly L. flavescens)	Open Space
Leptospermum 'Pink Cascade'	Dwarf Pink Tea Tree	Feature
Metrosideros thomasi	New Zealand Christmas Bush	Open Space
Metrosideros villosus	Tahiti	Open Space
Melaleuca 'Claret Tops'	Dwarf Paperbark	Feature
Melaleuca 'Glasshouse Country'	Hybrid C. recurves x C. salignus	Open Space
Melaleuca 'Kings Park Special'	C. viminalis Hybrid	Feature
Melaleuca linarifolia	Snow in Summer	Open Space
Melaleuca pachyphyllus	Red Flowering Bottle Brush	Open Space
Melaleuca quinquinervia 'Dwarf Form'	Dwarf Paperbark	Open Space
Melaleuca thymifolia	Thyme Honey Myrtle	Open Space
Melaleuca viminalis	Bottlebrush	Open Space
Parsoonia virgata	Geebung	Open Space
Philodendron 'xanadu'	Xanadu	Open Space
Pittosporum tobira 'miss muffett'	Miss Muffett	Feature
Syzigium 'Cascade'	S. leuhmanii x S. wilsonii	Feature
Viburnum odoratissimum	Emerald Lustre	Feature
Westringia fruticosa	Coastal Rosemary	Open Space



NOTE: The proposed planting palette is indicative only and may be extended once detailed design commences

PLANTING PALETTE

GROUND
COVERS
AND CLIMBERS

Scientific Name	Common Name	Location
Allocasuarina 'Cousin It'	Prostrate She Oak	Feature and and Open Space
Bracteantha bracteata	Golden Everlasting	Feature and Open Space
Clivia miniata	Natal Lily, Bush Lily	Feature
Grevillea 'Cooroora Cascade'	Seedling from G. 'Golden Lyre'	Feature
Grevillea 'Fanfare'	G. gaudichuadii x G. longifolia	Feature and Open Space
Grevillea juniperina 'molongolo'		Feature and Open Space
Helichrysum ramosissimum	Yellow Buttons	Feature and Open Space
Hibbertia scandens	Golden Guinea Vine	Feature and Open Space
Myoporum parvifolium - fine leaf	Creeping Boobialla - Fine Leaf	Open Space
Ophiopogon japonicus	Mondo Grass	Feature and and Open Space
Trachelospermum jasminoides	Star Jasmine	Open Space

GRASSES

Carex appressa	Tall Sedge	Open Space
Ficinia nodosa	Knobby Club Rush	Open Space
Hymenocallis littoralis	Spider Lily	Feature
Liriope muscari	Evergreen Giant	Open Space
Lomandra hystrix	Matt Rush	Feature and Open Space
Lomandra 'Shara'		Feature and Open Space
Themeda triandra	Kangaroo Grass	Open Space
Schoenoplectus mucronatus	Bog Bulrush	Feature
Xanthorrhoea fulva/latifolia	Grass Tree	Open Space

WSUD

Baloskion pallens 'Didgery Sticks'	Didgery Sticks	Swale and Bio-retention
Baumea rubignosa	Soft Twigrush	Swale and Bio-retention
Carex appressa	Tall Sedge	Swale and Bio-retention
Cyperus exaltatus	Tall Flat Sedge	Swale and Bio-retention
Ficinia nodosa	Knobby Club Rush	Swale and Bio-retention
Gahnia aspera	Sword Grass	Swale
Gahnia sieberiana	Rough Saw-sedge	Swale
Imperata cylindrica	Blady Grass	Swale and Bio-retention
Juncus usitatus	Common Rush	Swale and Bio-retention
Isolepsis inundata	Swamp Club-rush	Swale and Bio-retention
Lomandra hystrix	Matt Rush	Swale and Bio-retention
Themeda triandra	Kangaroo Grass	Swale and Bio-retention



allocasuarina 'cousin it'



grevillea 'cooroora cascade'



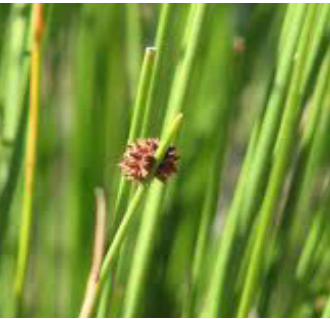
trachelospermum jasminoides



myoporum parvifolium



carex appressa



ficinia nodosa



gardenia radicans



liriope evergreen giant



baumea rubignosa



gahnia aspera

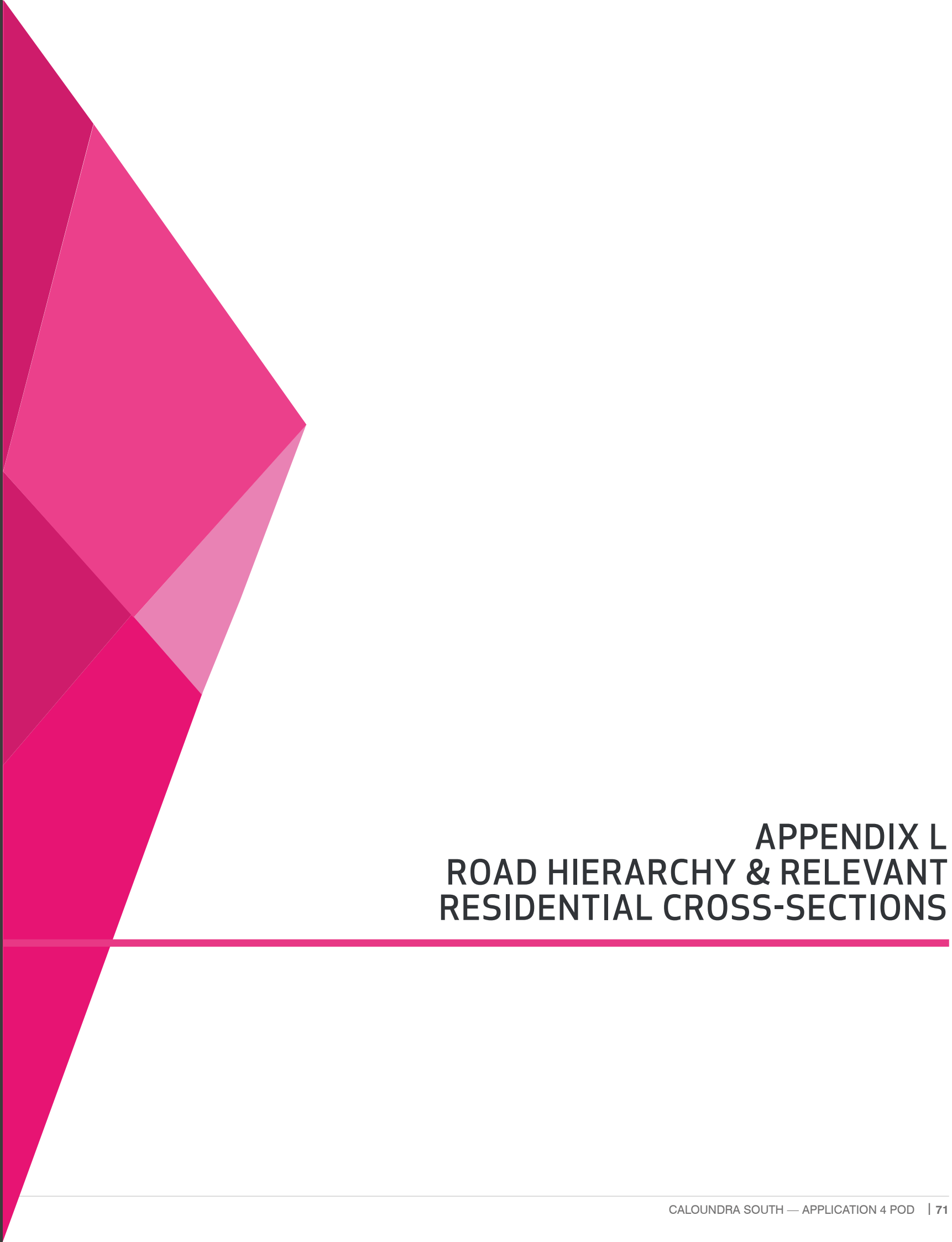


isolepsis inundata



lomandra hystrix

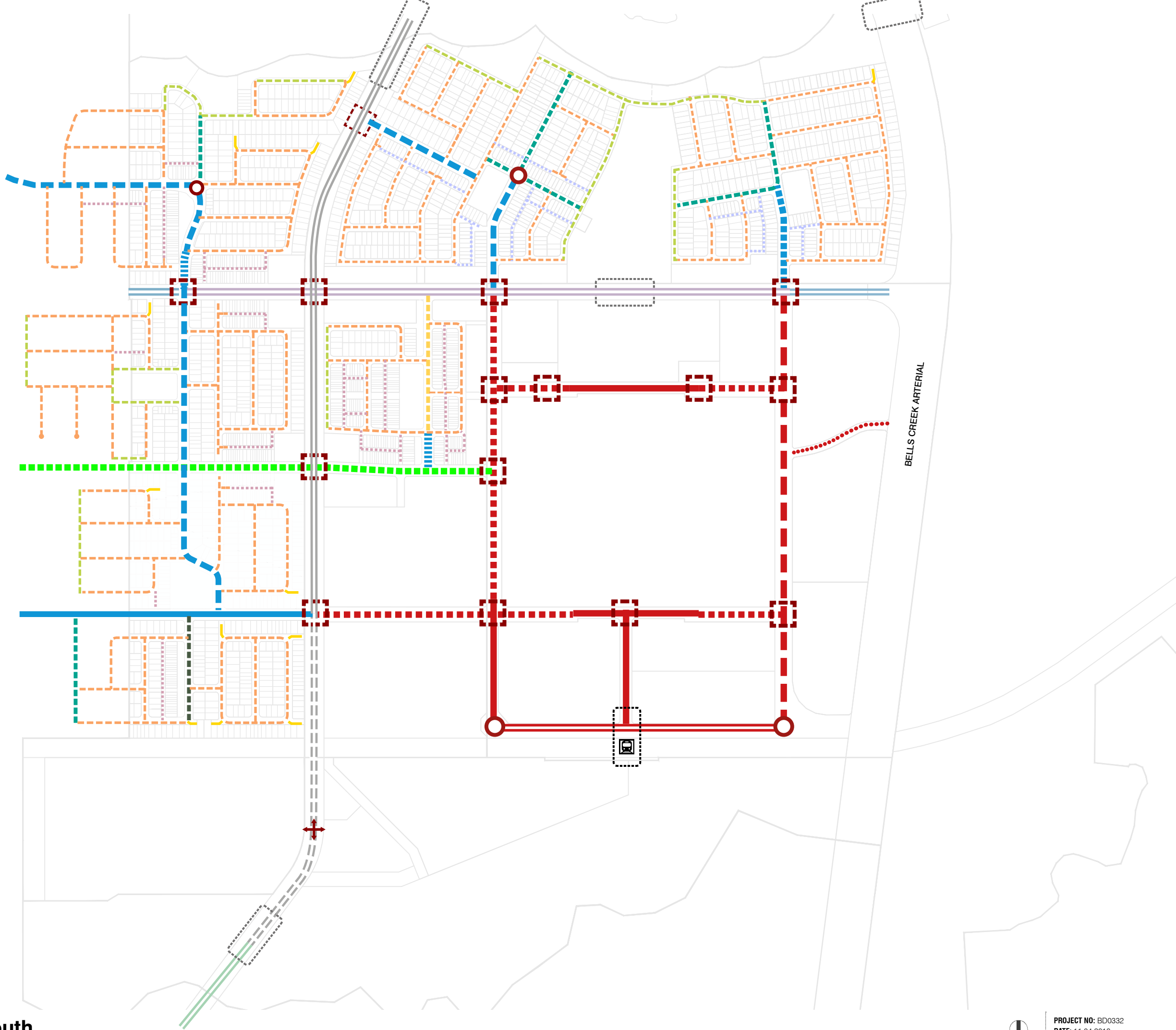
NOTE: The proposed planting palette is indicative only and may be extended once detailed design commences



APPENDIX L ROAD HIERARCHY & RELEVANT RESIDENTIAL CROSS-SECTIONS

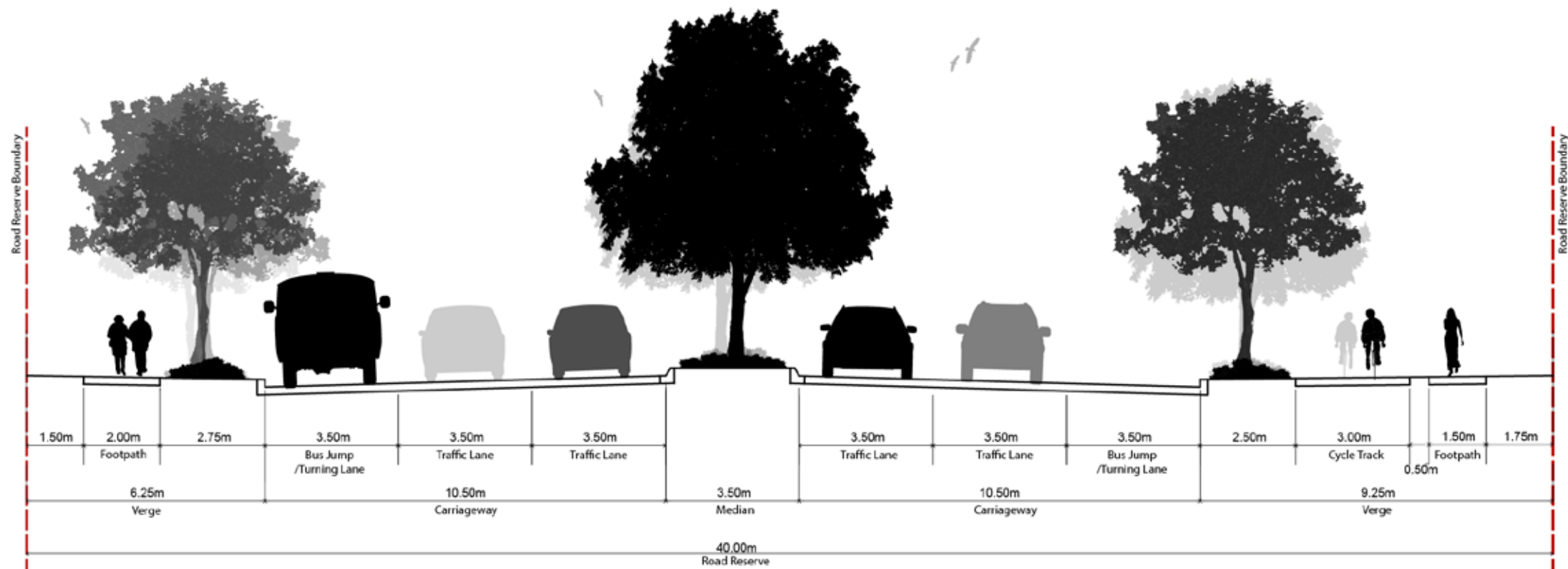
LEGEND

SUB-ARTERIAL ROADS		
	Sub-Arterial 1	40.0m
	Sub-Arterial 1 (2 Lanes)	40.0m
	Sub-Arterial 1	27.5m
	Sub-Arterial 2	29.0m (30.72m reserve for bus bay widening)
	Sub-Arterial 2	34.0m
CONNECTOR ROADS		
TRUNK		
	Trunk Connector	24.0m
	Green Street	24.0m
NEIGHBOURHOOD		
	Neighbourhood Connector with 2.5m Median	25.0m
	Neighbourhood Connector	22.5m (24.0m wide in Precinct 7 only)
CENTRE		
	Centre Connector — One Way	18.0m
	Centre Connector (CC2)	24.0m
	Centre Connector (CC1)	31.0m
	Centre Connector — Transit Esplanade	30.0m
	Centre Connector (CC1)	36.0m
ACCESS STREETS		
	Access Street - Transitional Link	17.5m
	Access Street - Green Link	17.5m
	Access Street - Urban	17.5m
	Access Street - Standard (7.5m wide carriageway)	15.5m / 16.0m (16.0m wide in Precinct 7 only)
	Access Street - Esplanade (6.5m wide carriageway)	13.5m
	Laneway 8.0m	8.0m
	Laneway 6.5m (Precinct 7 only)	6.5m
	4.5m Concrete Driveway	
INTERSECTIONS		
	Signalised Intersection	
	Roundabout	
	Unsignalised 4-way Intersection	
	Transit Hub	
	Train station	
	Pedestrian Underpass	



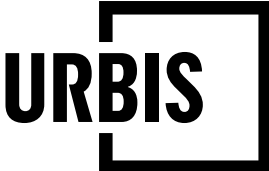
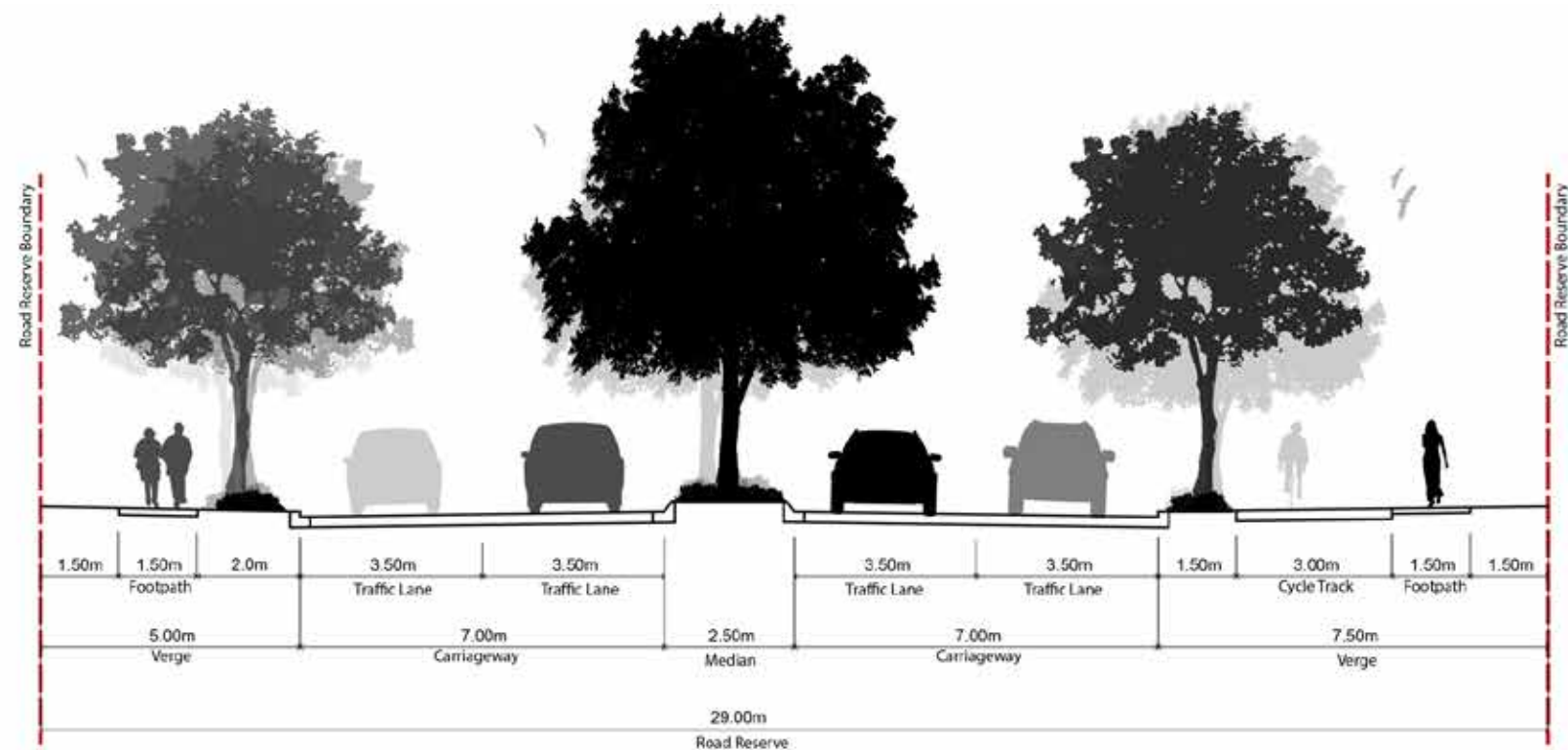
SUB-ARTERIAL 1

40.0M



SUB-ARTERIAL 2

29.0M



AURA
ROAD CROSS SECTIONS



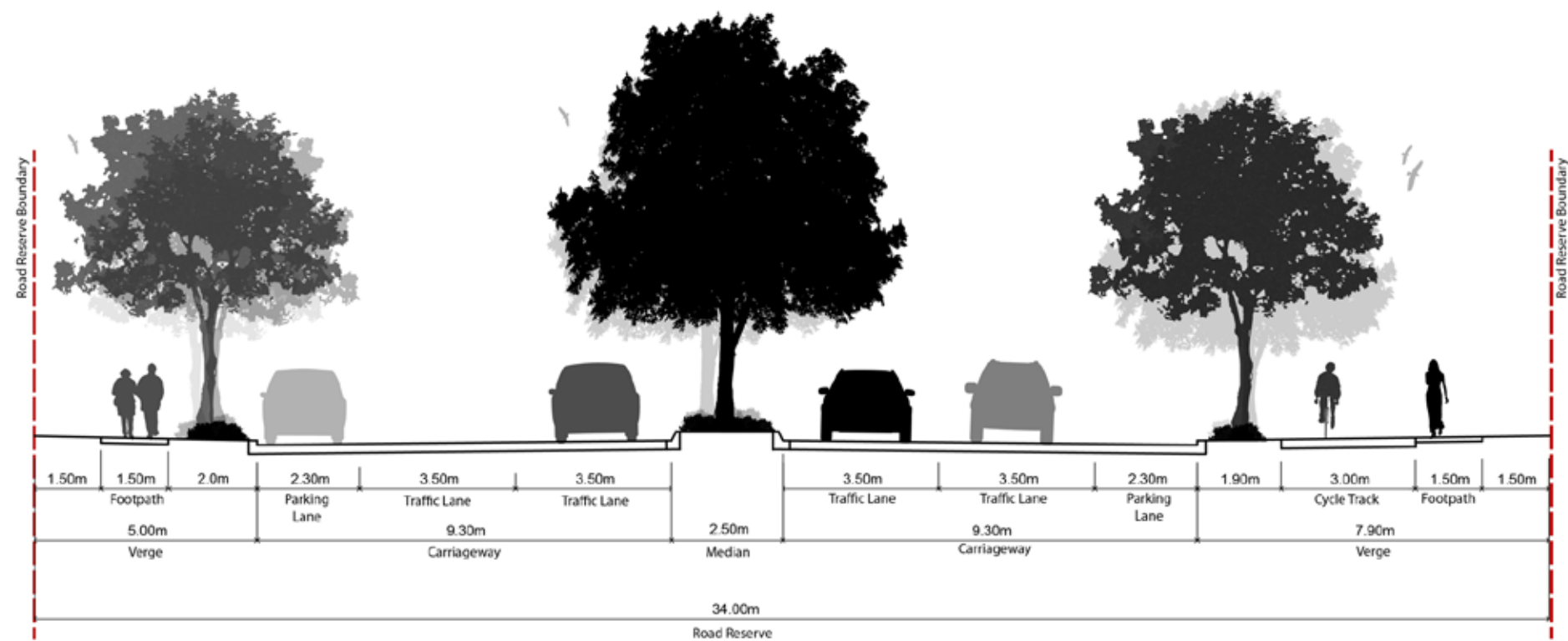
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0 2 4 6 8 10

DATE: 09.11.2017
JOB NO: BA4451
DWG NO: SECTIONS-01
REV: C

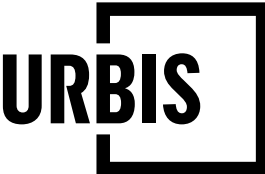
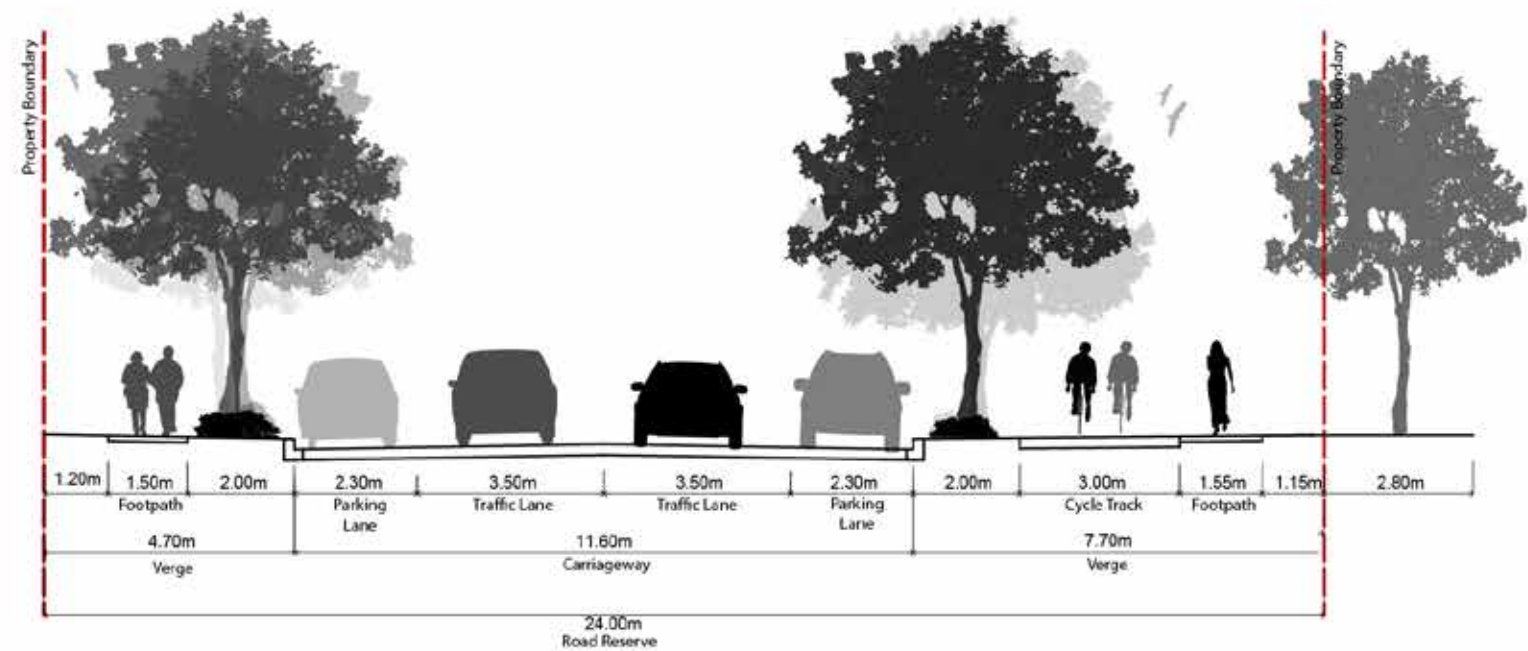
SUB-ARTERIAL 2

34.0M

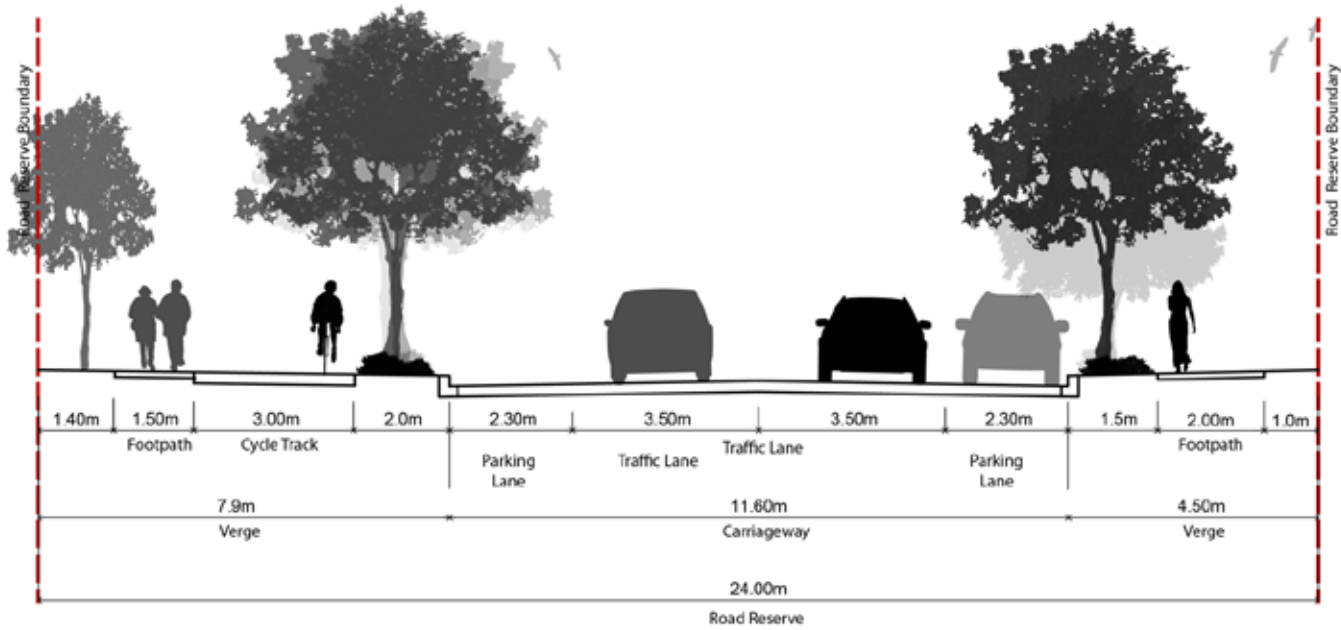


TRUNK CONNECTOR

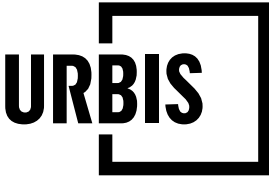
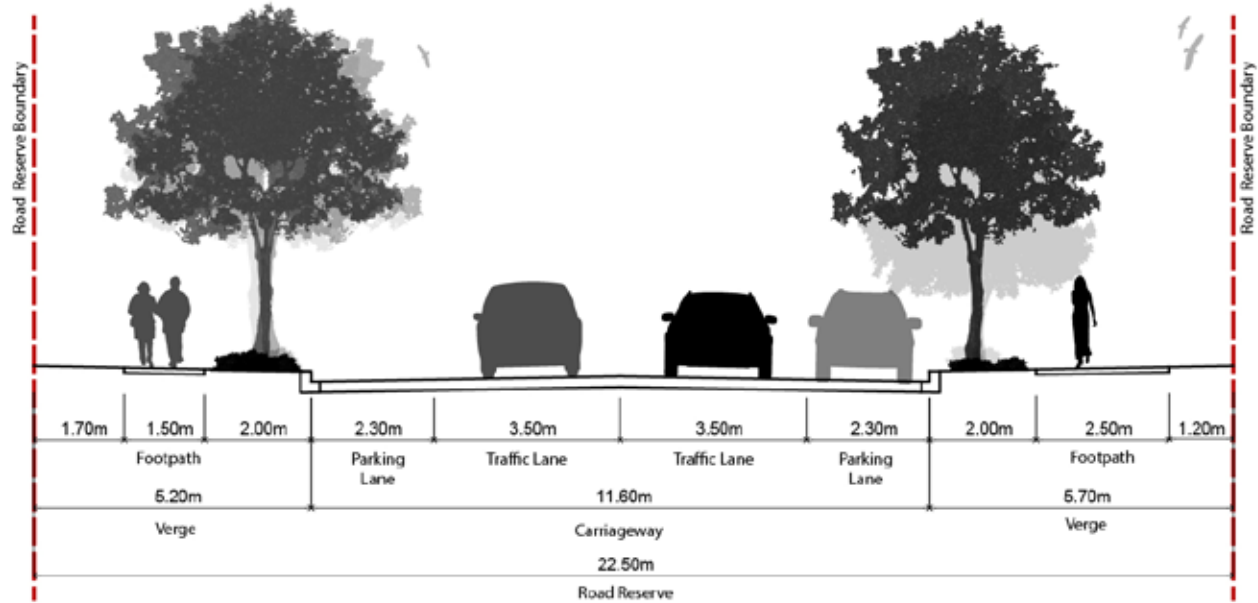
24.0M



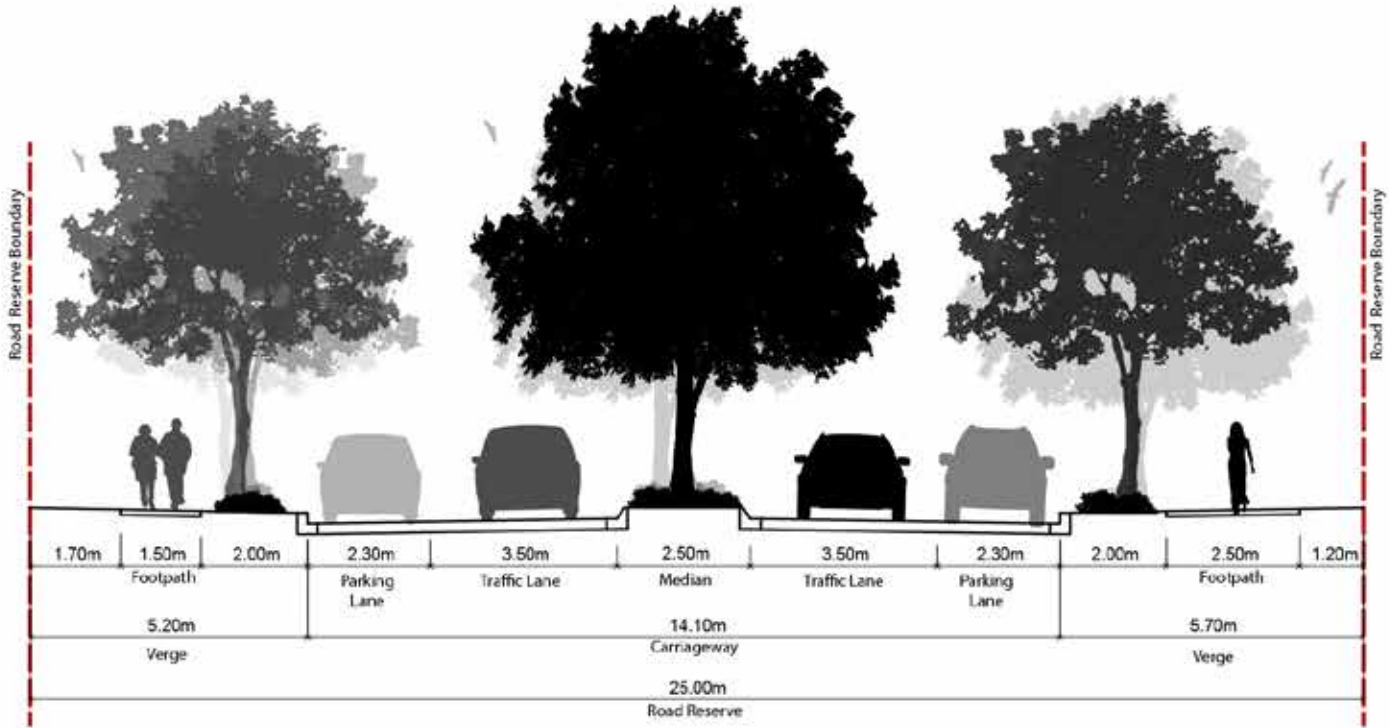
GREEN STREET 24.0M



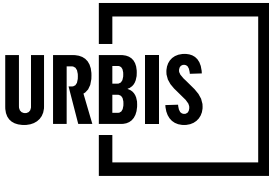
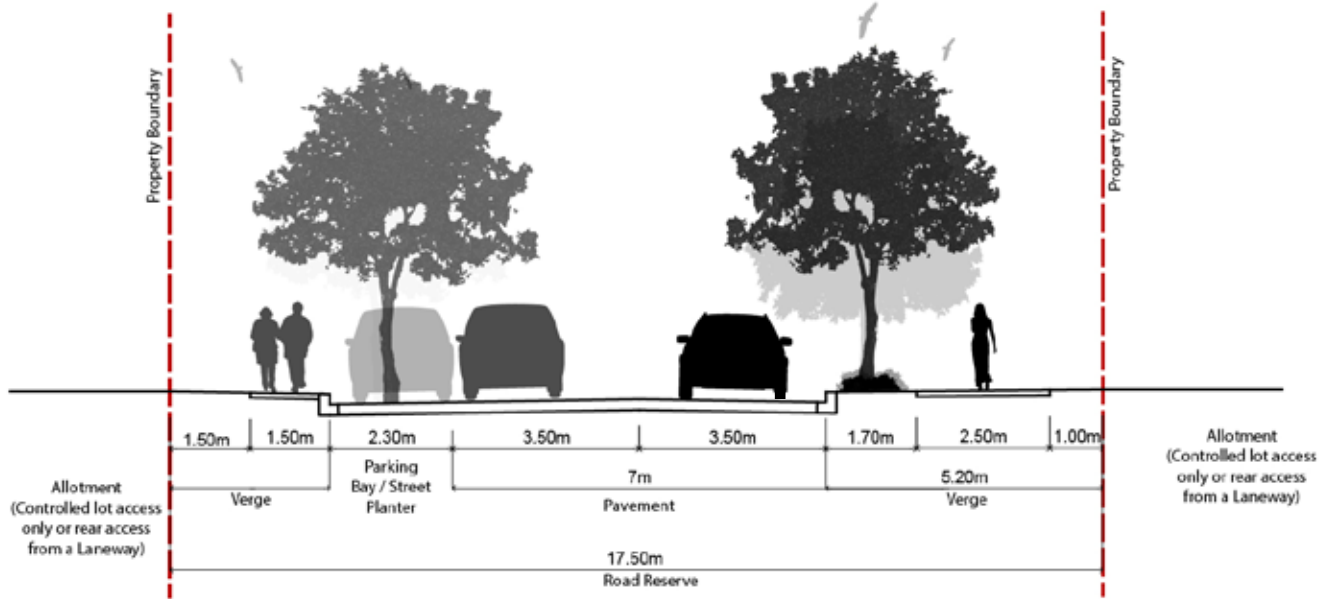
NEIGHBOURHOOD CONNECTOR - 22.5M



NEIGHBOURHOOD CONNECTOR WITH 2.5M MEDIAN - 25.0M



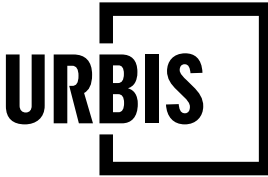
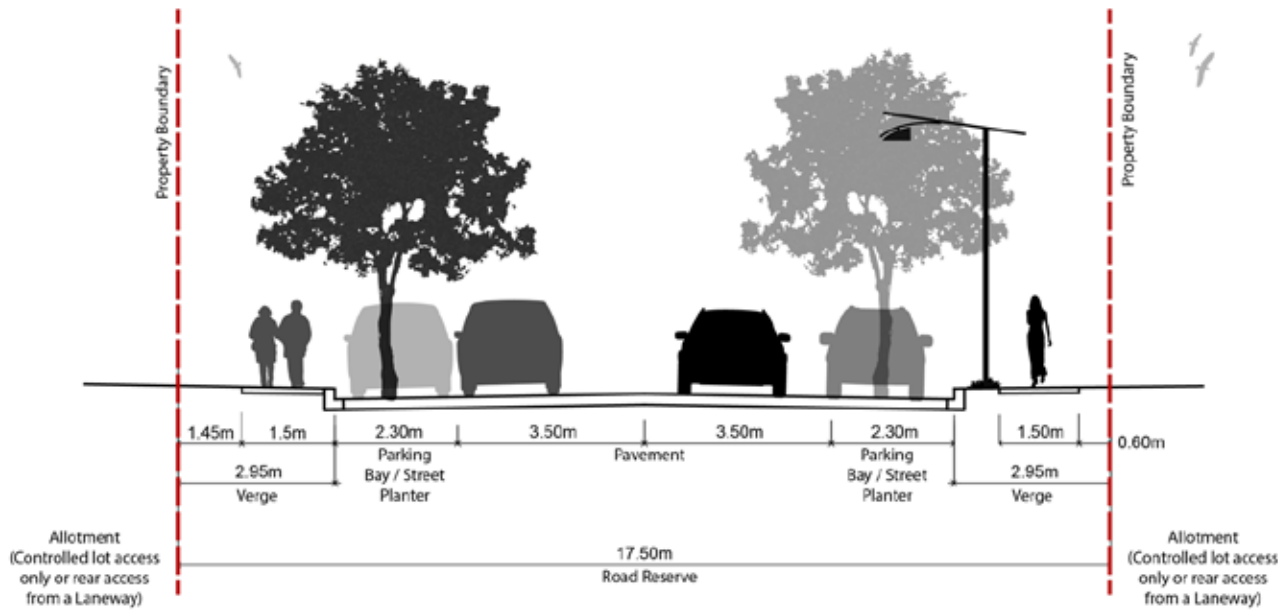
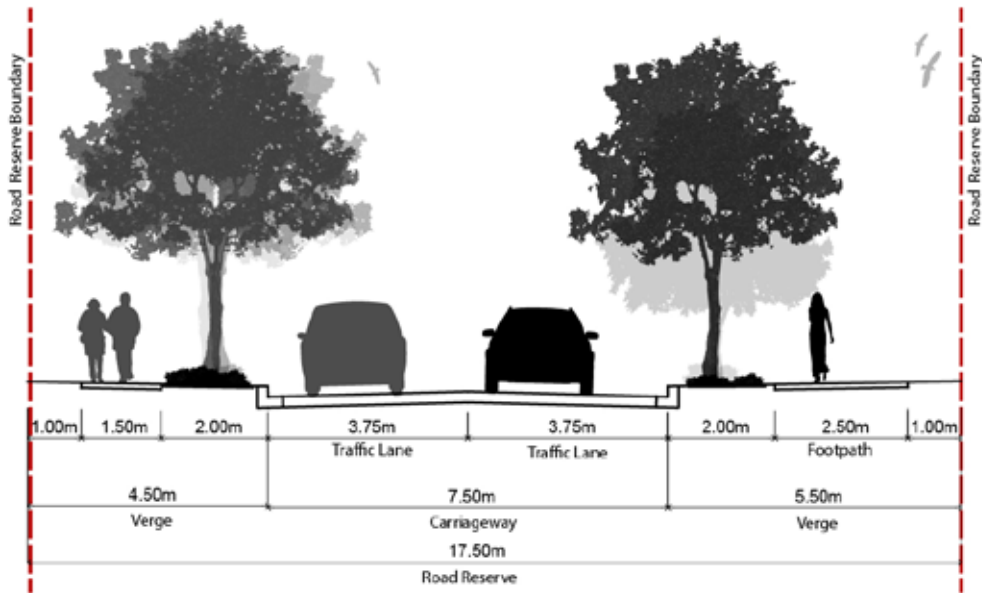
ACCESS STREET TRANSITIONAL LINK 17.5M



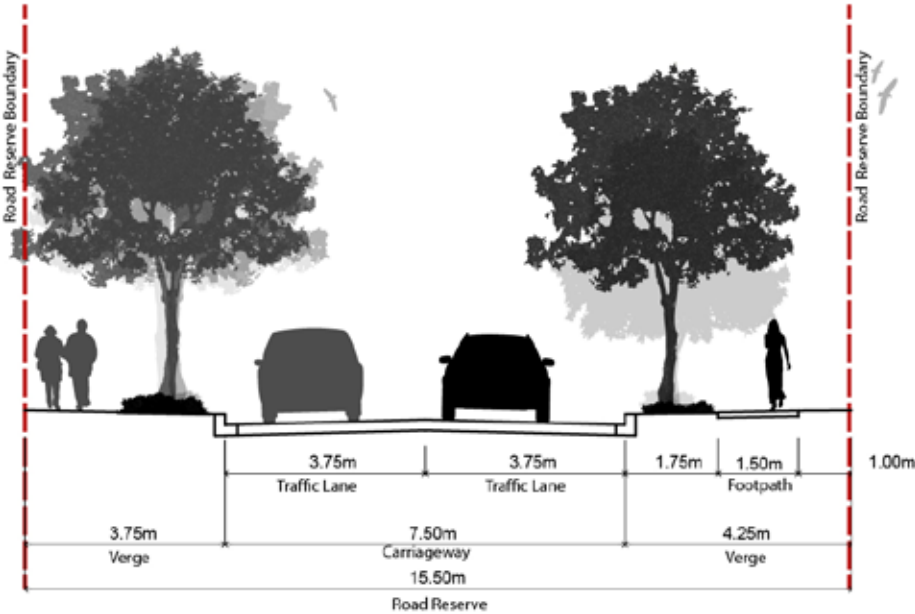
ACCESS STREET GREEN LINK - 17.5M



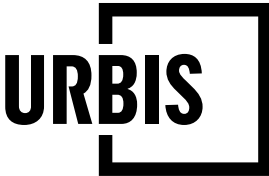
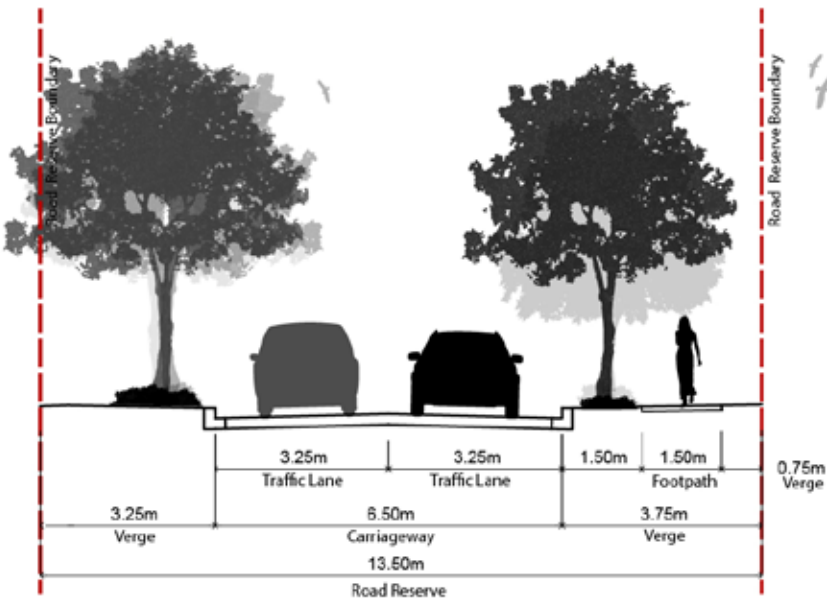
ACCESS STREET URBAN - 17.5M



ACCESS STREET STANDARD - 15.5M



ACCESS STREET ESPLANADE - 13.5M



AURA
ROAD CROSS SECTIONS

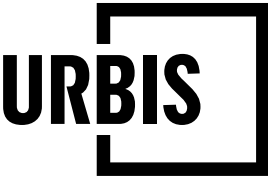
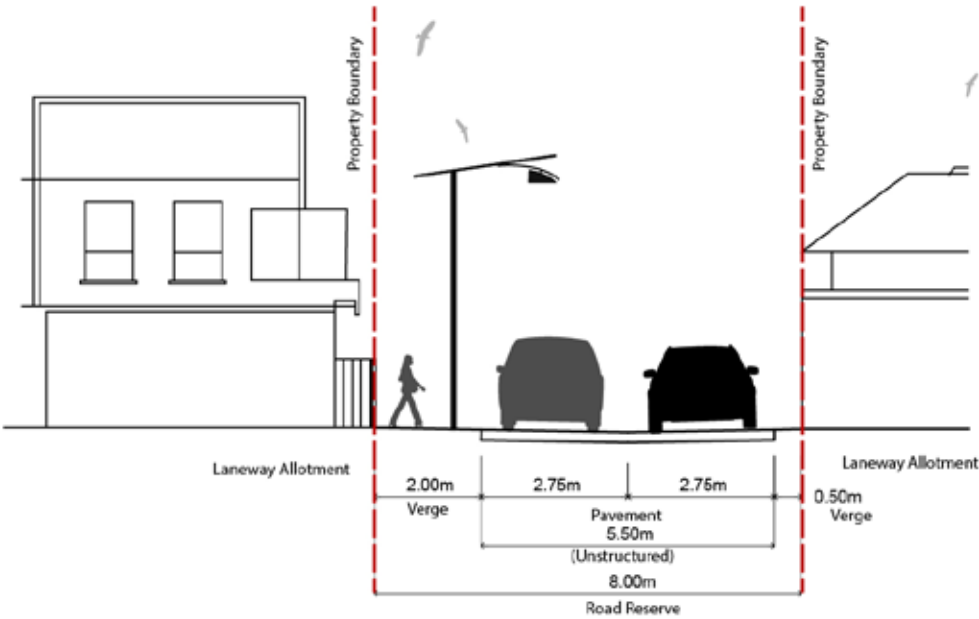


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DWG NO: SECTIONS-06
REV: C

LANEWAY 8.0M

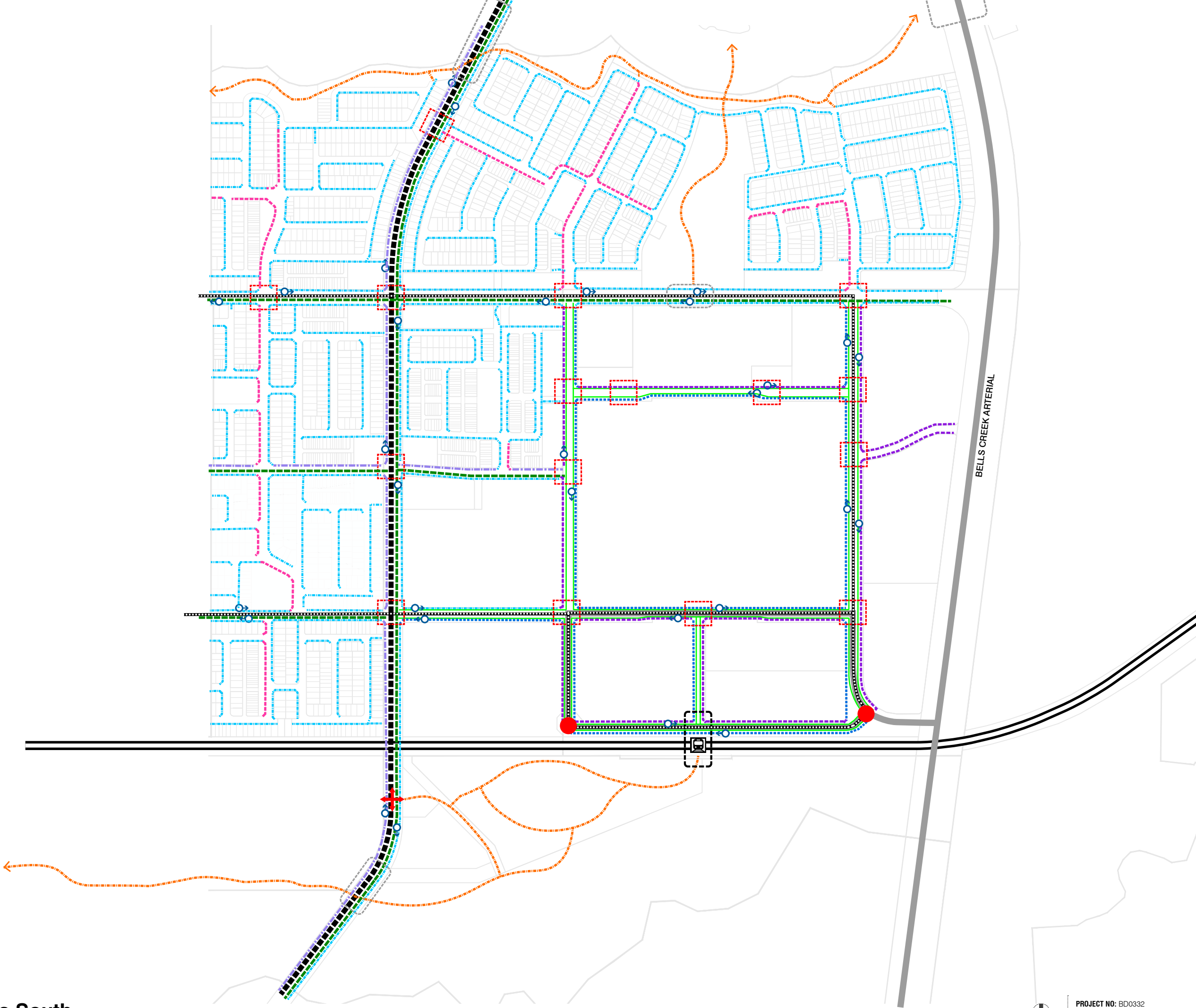


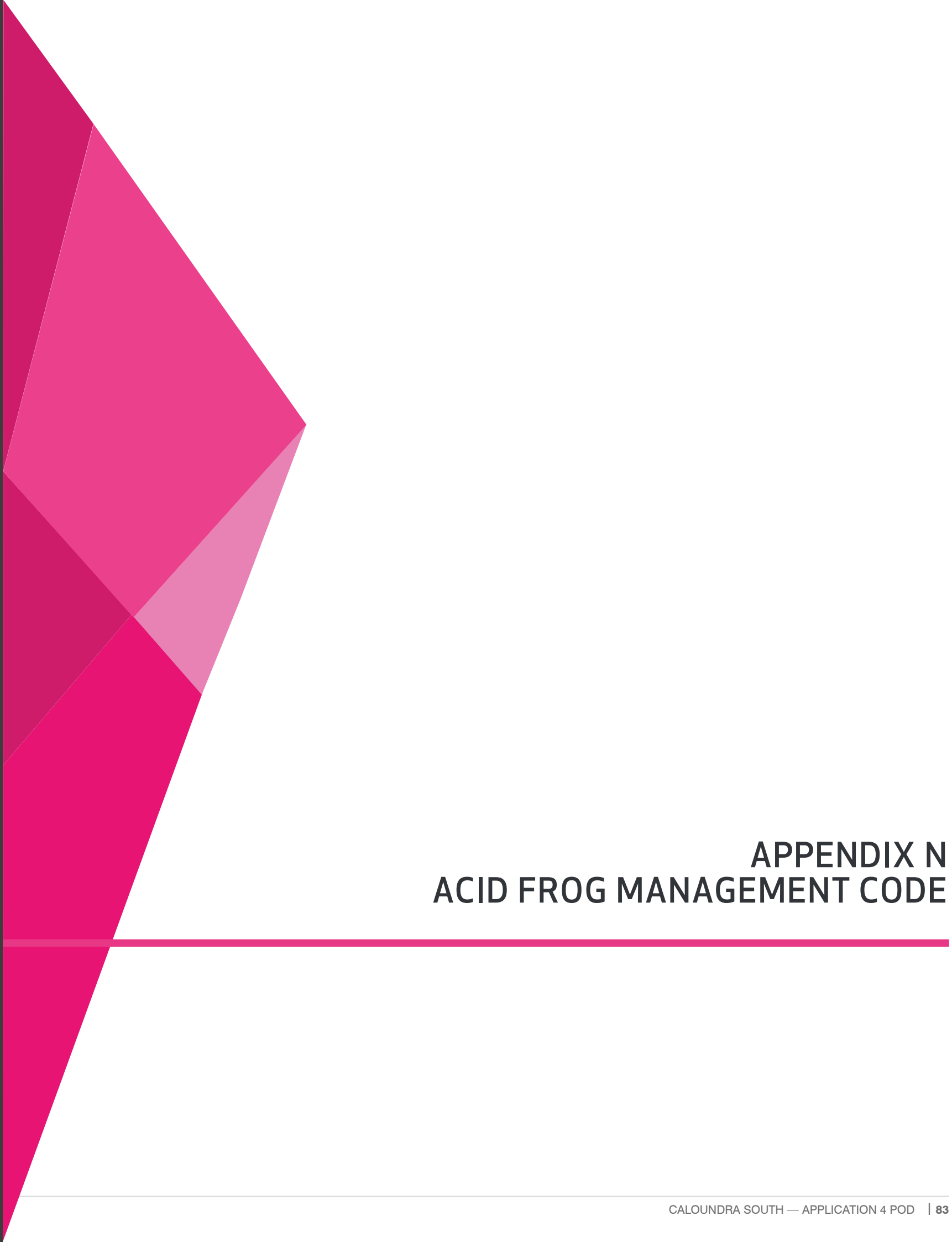


APPENDIX M CONNECTIVITY PLAN

LEGEND

PEDESTRIAN / CYCLE MOVEMENT	
	3.0m Wide Contraflow / Dedicated Cycle Path
	3.0m Wide Recreation Trail
	4.5m Wide Off-Street Pedestrian Path
	2.5m Wide Off-Street Pedestrian Path
	2.5m Wide Off-Road Shared Path
	2.0m Wide Off-Road Pedestrian Path
	1.5m Wide Pedestrian Path
	1.7m Wide On-Street Cycle Lane
INTERSECTIONS	
	Signalized Intersection
	Roundabout
	Unsignalised 4-way Intersection
PUBLIC TRANSPORT	
	Transit Hub
	Train station
	Regional Express Route (Bus Lanes)
	Regional Routes (Bus Lanes)
	Local Routes
	Railway Line
	Indicative Bus Stop Location
	Pedestrian / Cycle Underpass / Overpass





APPENDIX N ACID FROG MANAGEMENT CODE

Caloundra South Priority Development Area

Things to note for engineers, planners and landscape architects in reference to the Wallum Sedge Frog

- With the exception of creek areas that adjoin the Environmental Protection Zone (EPZ, see Figure 1 over leaf), any design work south of Lamerough Creek and north or south of Bells Creek North and Bells Creek South will generally need to accommodate (on each side of the creek, see Figure 1):

- 25m Riparian Buffer Zone,
- 50m Frog Zone
- 50m Frog Buffer,
- 30m Lifestyle Buffer

The required setbacks / zones / buffers are measured from the high bank.

- WSUD is **permissible** in the Frog Buffer
- Sports related facilities are **permissible** in the Lifestyle Buffer
- A total of **152ha** of Wallum Sedge Frog Habitat is allowed to be **removed** based on surveys conducted in 2012 (see grey areas on Figure 2 overleaf, consistent with development consent),
- A total of **152ha** of created compensatory Wallum Sedge Frog Habitat must be **established** (in stages) across the development site (outside of EPZ) – i.e. Frog Zone.
- Key documents (more recent than the PER)
 - 2013 **Caloundra South Wallum Sedge Frog Management Plan** (Stockland, December 2013)
 - 2014 **Construction Environmental Management Plan Precinct 1/ Part Precinct 3/4** (Browns, June 2014)

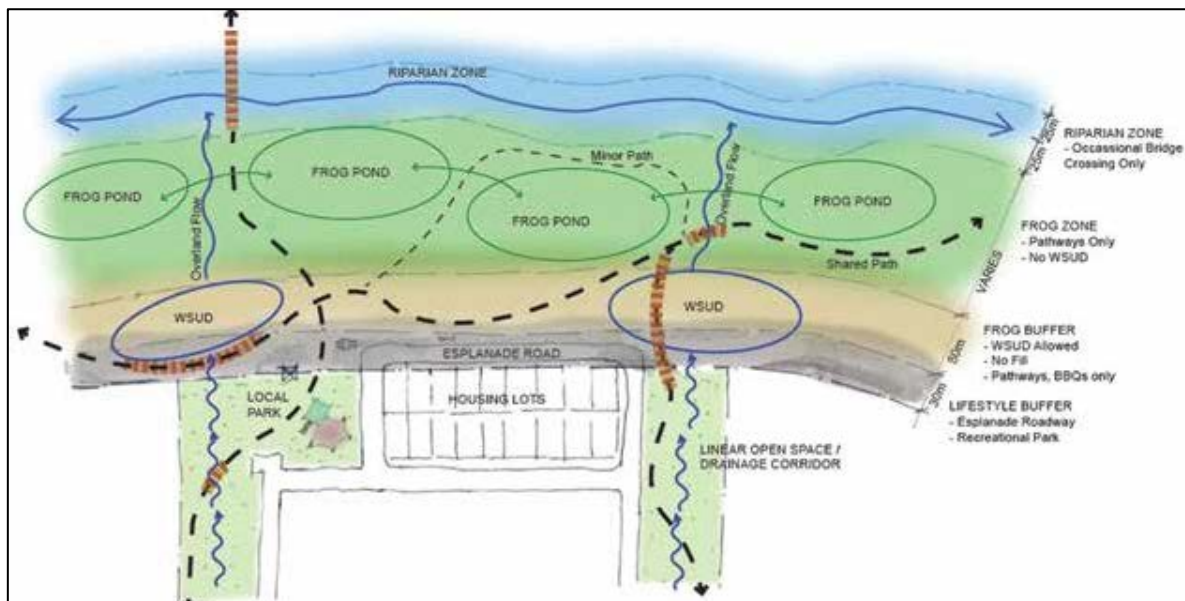


Figure 1 : Diagrammatic representation of riparian zone, development and interaction with Wallum Sedge Frog requirements

Table 2: Activities Compatible within Conservation and Other Zones

Re-creation opportunity	Riparian Corridor	Frog Zone	Frog Buffer	Lifestyle Buffer	Sports/Rec/Urban Zones	Comments
Boardwalks	✓	✓	✓	✓	✓	Acceptable in Frog Zones, boardwalks have been constructed in areas of sensitive frog habitat without any obvious significant impact on frogs. Boardwalks in the riparian corridor would be sensitively designed and would not enable direct access to the creek.
Pedestrian paths	✓	✓	✓	✓	✓	Acceptable in Frog Protection Zones provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided in frog Protection Zones. Paths in the riparian corridor would be sensitively designed and would not enable direct access to the creek.
Seating and interpretive /educational signage	✓	✓	✓	✓	✓	Acceptable in Frog Protection Zones provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided in frog Protection Zones.
Cycleways	✓	✓	✓	✓	✓	Acceptable, provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided in Frog Protection Zones (inc. Frog Buffer). Cycleways in the riparian corridor would be sensitively designed and would not enable direct access to the creek.
Water Sensitive Urban Design (WSUD)	✗	✗	✓	✓	✓	WSUD within wallum frog breeding areas is considered inappropriate as this benefits competitive species. As earthworks are likely to be required, location in Frog Buffer should be minimised. All WSUD should be off-line from frog breeding habitat to ensure no mixing of water chemistry/hydrology.
BBQ site/table and chairs	✗	✗	✗	✓	✓	Acceptable within Frog Buffer, provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided.
End of trip cycle facilities	✗	✗	✗	✓	✓	Acceptable, within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Toilets	✗	✗	✗	✓	✓	Acceptable (if not in-ground infiltration systems), within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided
Playgrounds	✗	✗	✗	✓	✓	Acceptable, within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Lakes	✗	✗	✗	✓	✓	Acceptable within Lifestyle Buffer and beyond. Should be placed as far from frog habitat as possible. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Informal spaces/kick a bout	✗	✗	✗	✓	✓	Acceptable, within Frog Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided. For use in Frog Buffer minimum 30m buffer is required from frog breeding areas.
Community Event Spaces	✗	✗	✗	✓	✓	Acceptable, within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Bowls Club	✗	✗	✗	✓	✓	Assumed location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Tennis Court/Hard Court	✗	✗	✗	✓	✓	Assumed location within lifestyle and sport & recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Car park	✗	✗	✗	✓	✓	Assumed location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan. Drainage should be off-line from frog habitat given potential for hydrocarbons in run-off.
Clubhouse	✗	✗	✗	✓	✓	Assume location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Sports Oval	✗	✗	✗	✓	✓	Assume location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Sports Centre	✗	✗	✗	✓	✓	Assume location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Fertilized and maintained playing surfaces and lakes associated with a golf course	✗	✗	✗	✓	✓	Fill and direct application of fertiliser for greens and fairways are inappropriate within frog core habitat and buffer due to the risk of adverse run-off and weed infestation. Permanent water features, which may provide habitat and source populations for competitive species and predatory fish, will be restricted to the Lifestyle Buffer and beyond and be offline (including during flood events) to frog ponds. Assume sustainably designed (and certified) golf course.

Sydney

Level 23, Darling Park Tower 2
201 Sussex Street
Sydney, NSW 2000
t 02 8233 9900
f 02 8233 9966

Melbourne

Level 12, 120 Collins Street
Melbourne VIC 3000
t 03 8663 4888
f 03 8663 4999

Brisbane

Level 7, 123 Albert Street
Brisbane QLD 4000
t 07 3007 3800
f 07 3007 3811

Perth

Level 1, 55 St Georges Terrace
Perth WA 6000
t 08 9346 0500
f 08 9221 1779

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www.urbis.com.au
info@urbis.com.au

