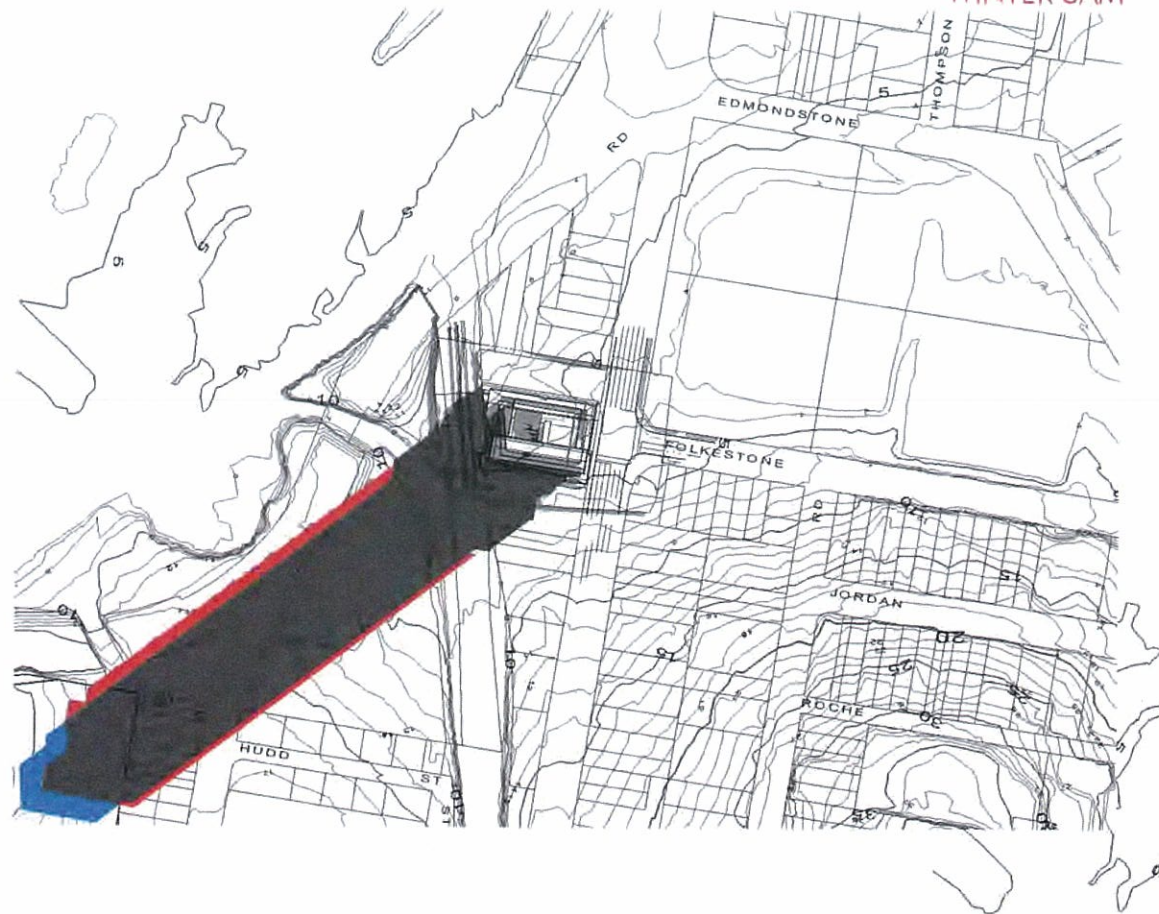
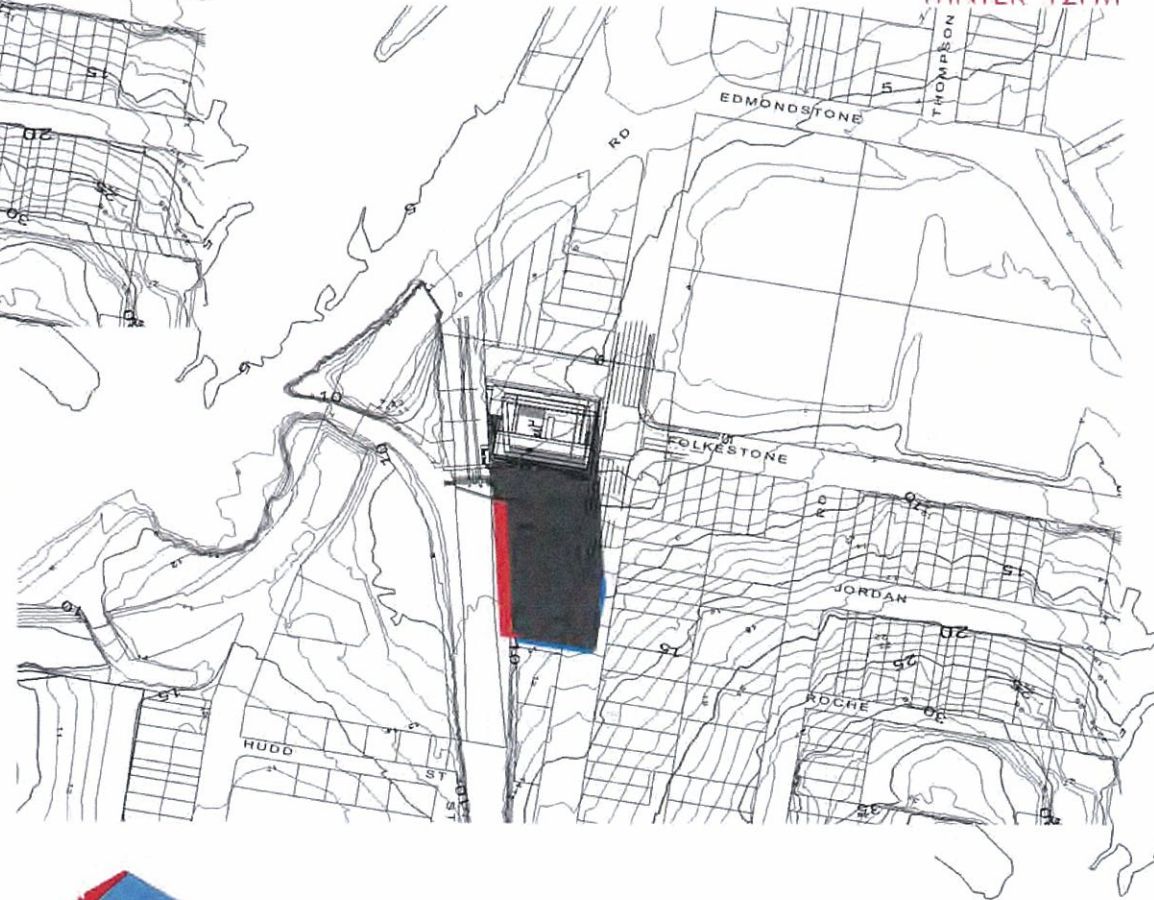


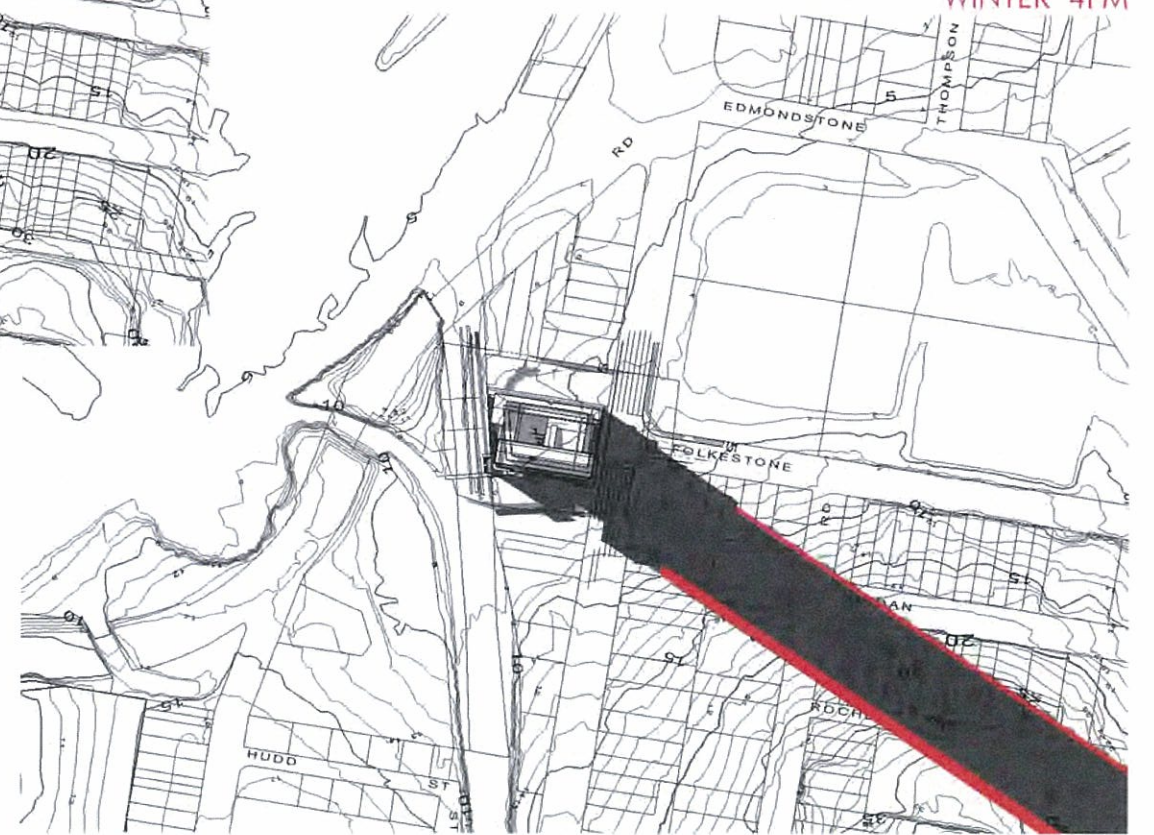
WINTER 8AM



WINTER 12PM



WINTER 4PM



## SHADOW DIAGRAMS

NOTE: FOR THE COMPARATIVE PURPOSE OF THIS EXERCISE THE SHADOWS SHOWN ARE CAST ONTO A FLAT PLANE AND THEREFORE DO NOT REPRESENT THE REALISTIC EXTENT OF SHADOWS ONTO AN UNDULATING TOPOGRAPHY. THE DIAGRAMS INTEND TO SHOW THE DIFFERENCE BETWEEN A COMPLIANT AND THE PROPOSED MASS.

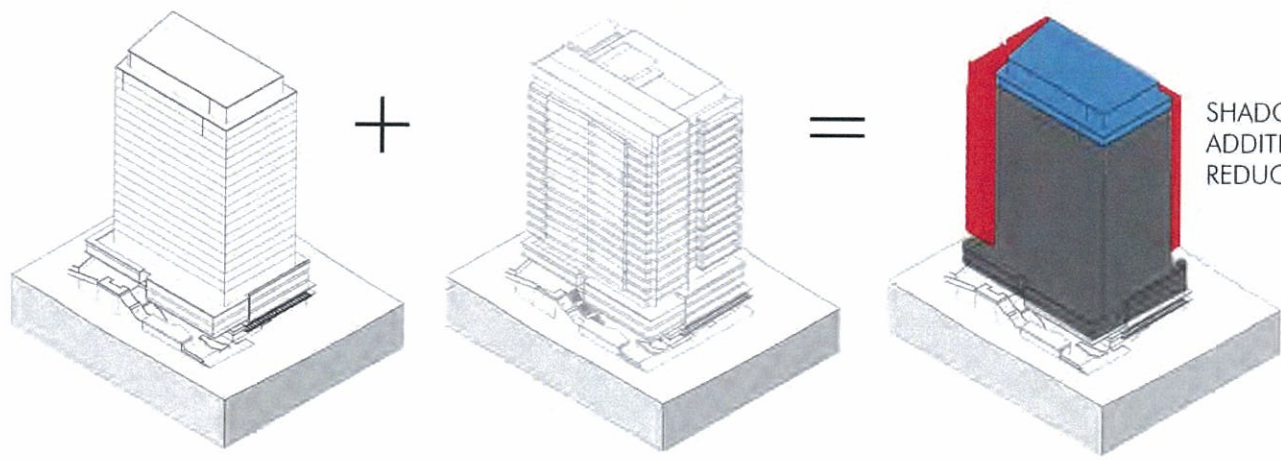
PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 5 /10 /2011

COMPLIANT:  
- PLOT RATIO 8  
- 24 STORIES + PLANT

PROPOSED:  
- PLOT RATIO 12.4  
- 21 STORIES + PLANT



SHADOW OF COMPLIANT MASS SHOWN IN GREY  
ADDITIONAL SHADOW SHOWN IN RED  
REDUCED SHADOW SHOWN IN BLUE

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS



SHADOW DIAGRAMS SHEET 2

Scale  
Date  
Number

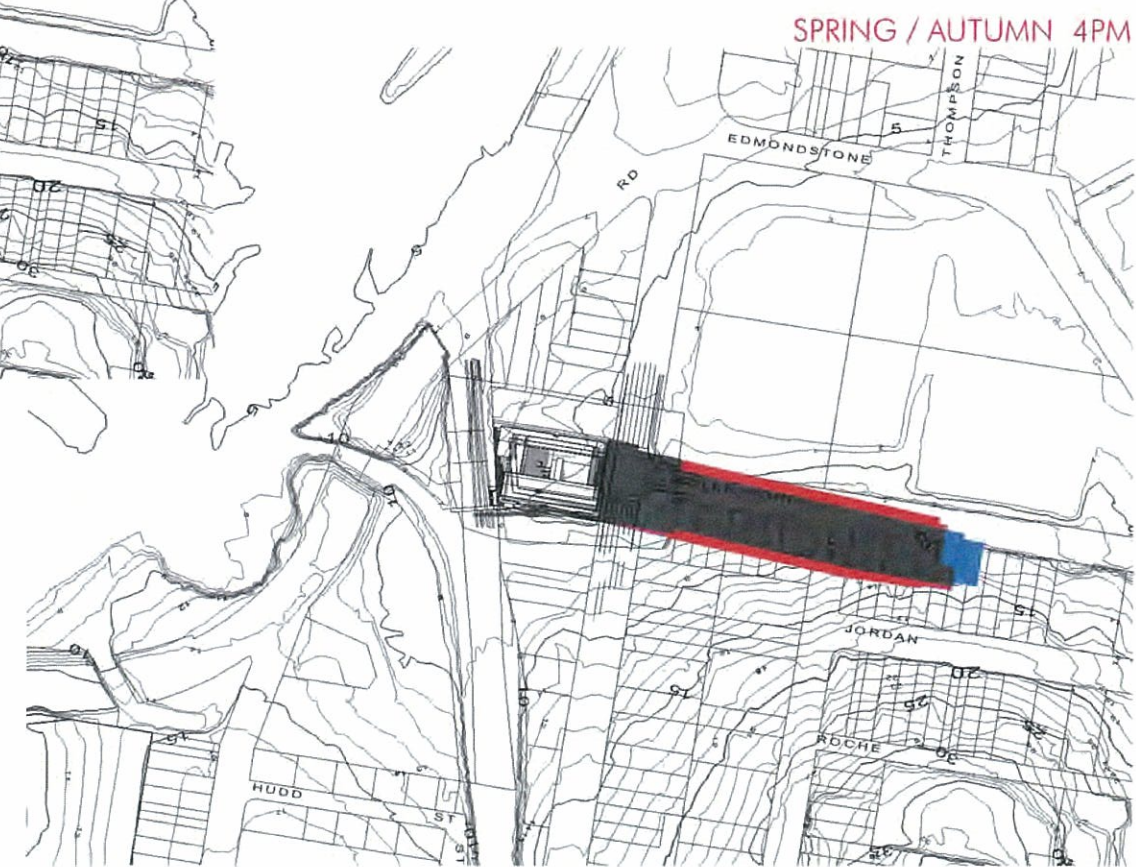
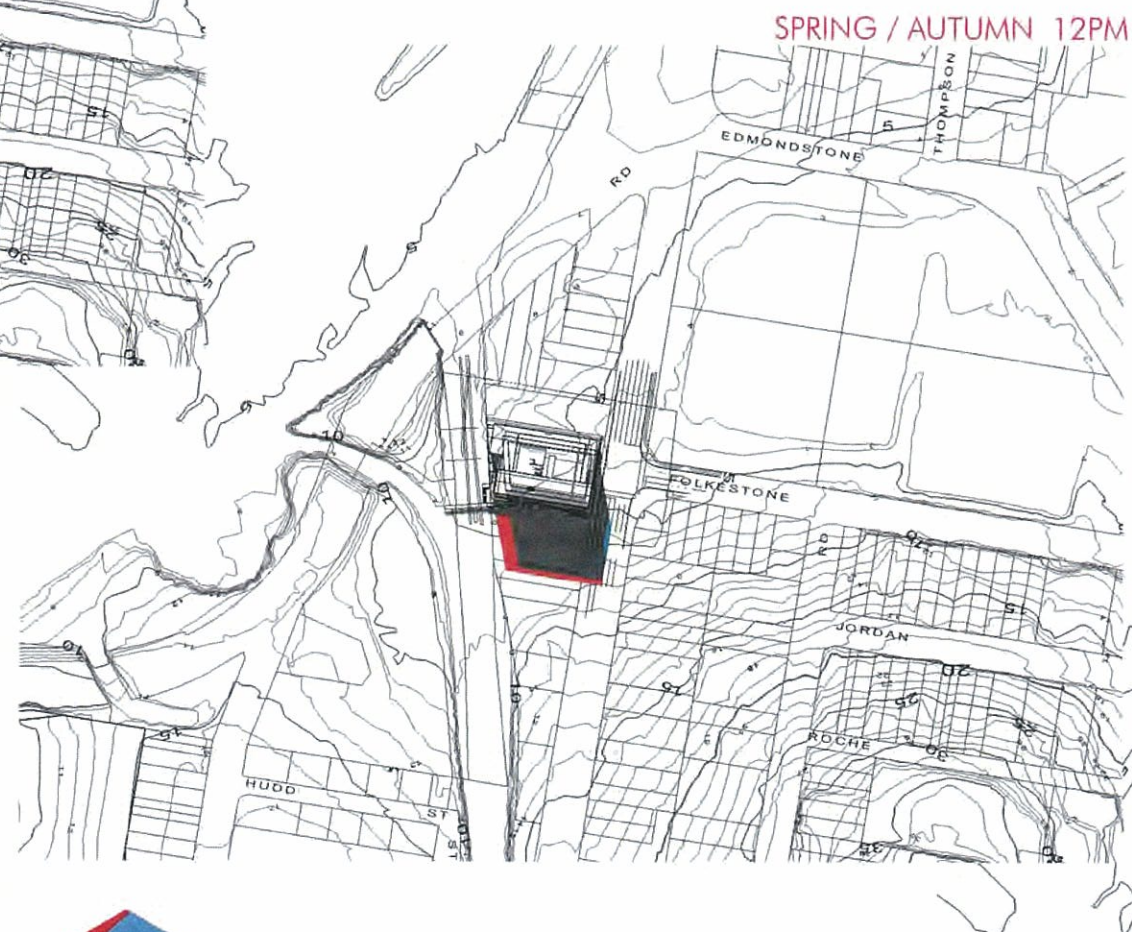
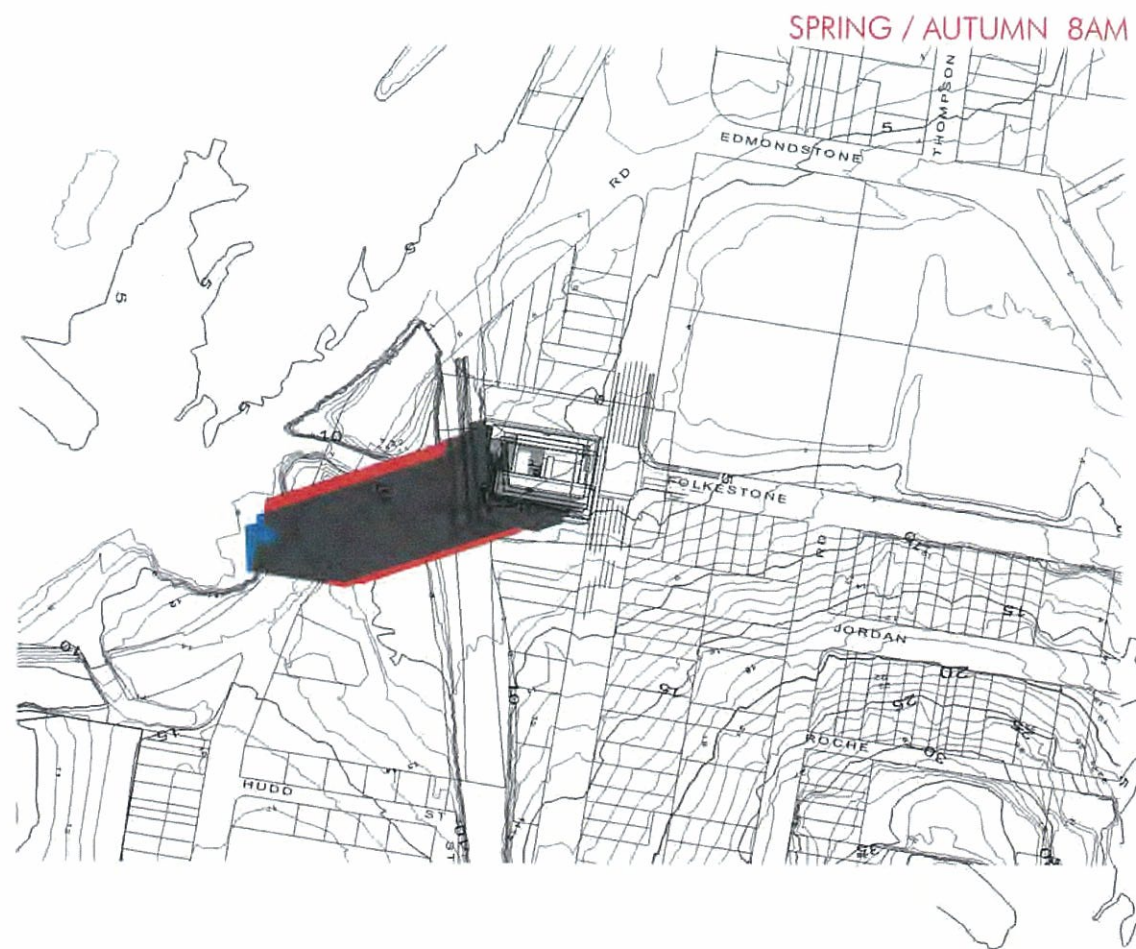
26.08.2011  
3013\_DA33.2 (1)

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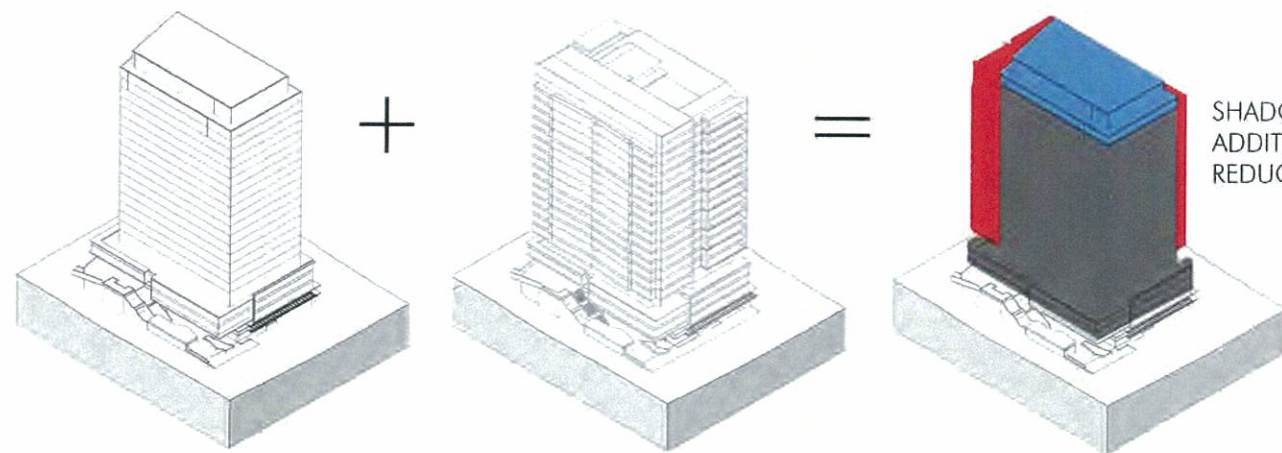
nettleton tribe partnership pty ltd ABN 58 161 683 122  
level 5, 344 queen street brisbane qld 4000  
t 07 3239 2444 f 07 3239 2455  
e brisbane@nettletontribe.com.au w nettletontribe.com.au





COMPLIANT:  
- PLOT RATIO 8  
- 24 STORIES + PLANT

PROPOSED:  
- PLOT RATIO 12.4  
- 21 STORIES + PLANT



## SHADOW DIAGRAMS

NOTE: FOR THE COMPARATIVE PURPOSE OF THIS EXERCISE THE SHADOWS SHOWN ARE CAST ONTO A FLAT PLANE AND THEREFORE DO NOT REPRESENT THE REALISTIC EXTENT OF SHADOWS ONTO AN UNDULATING TOPOGRAPHY. THE DIAGRAMS INTEND TO SHOW THE DIFFERENCE BETWEEN A COMPLIANT AND THE PROPOSED MASS.

PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS



SHADOW DIAGRAMS SHEET 3

Scale  
Date  
Number

26.08.2011  
3013\_DA33.3 (1)

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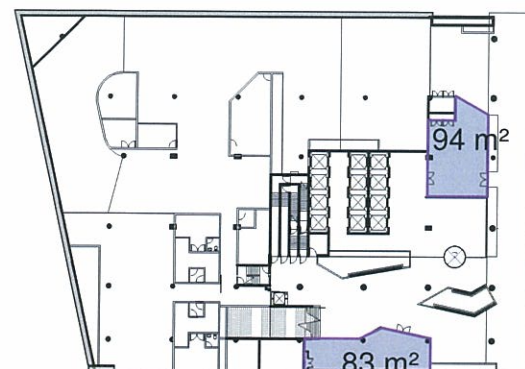
nt  
nettletontribe

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level 5, 344 queen street brisbane qld 4000  
1 07 3239 2444 1 07 3239 2435  
e brisbane@nettletontribe.com.au w nettletontribe.com.au

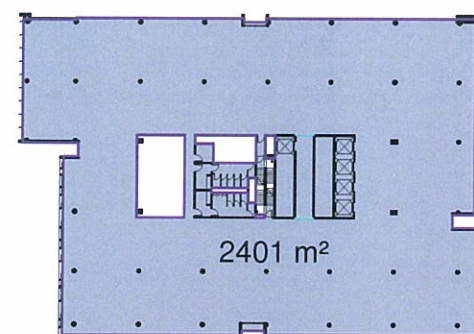


# GFA CALCULATION

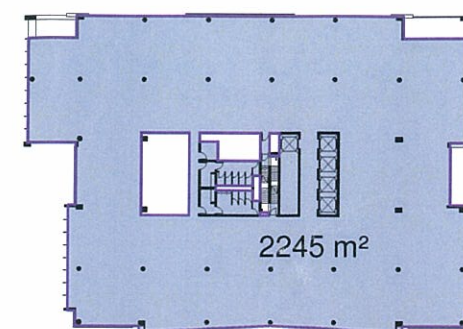
PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011



GROUND



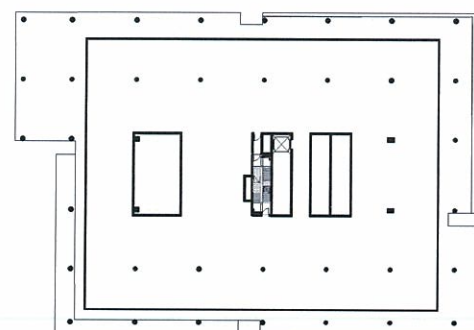
LEVEL 4



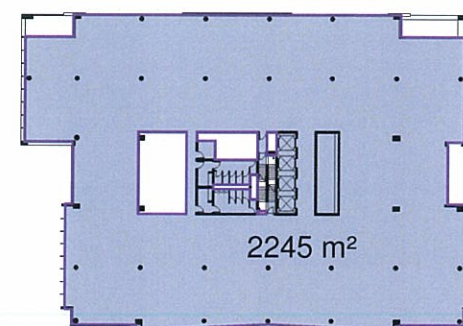
LEVELS 12-14



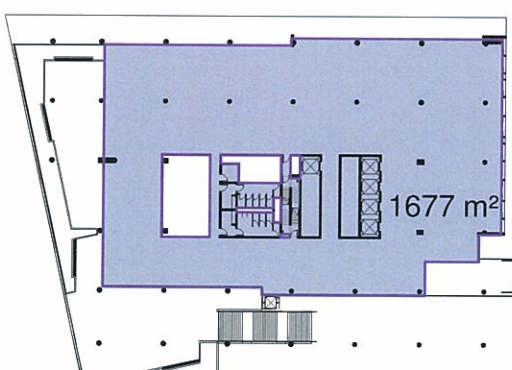
LEVEL 1



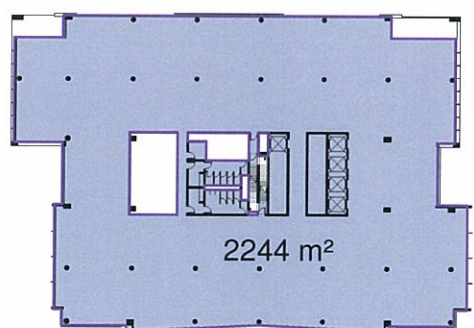
LEVEL 5



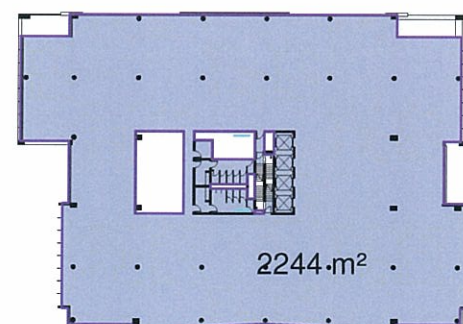
LEVEL 15-16



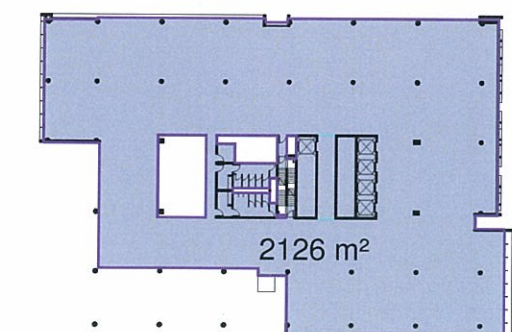
LEVEL 2



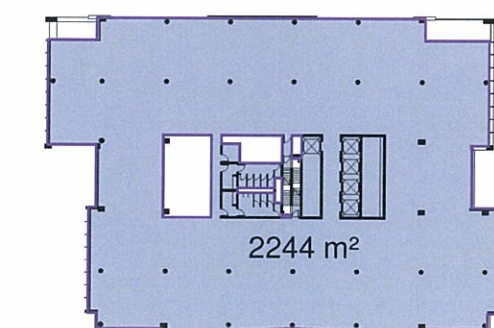
LEVEL 6-9



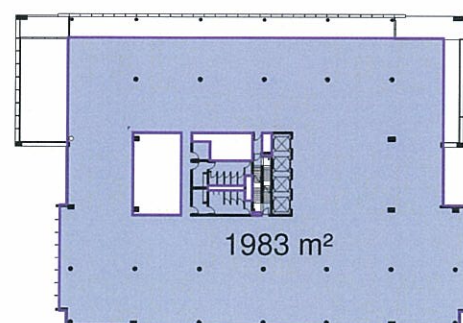
LEVEL 17-19



LEVEL 3



LEVEL 10-11



LEVEL 20

|              |          |
|--------------|----------|
| Ground Level | 177 sqm  |
| Mezzanine    | 0 sqm    |
| Level 1      | 168 sqm  |
| Level 2      | 1677 sqm |
| Level 3      | 2126 sqm |
| Level 4      | 2401 sqm |
| Level 5      | 0 sqm    |
| Level 6      | 2244 sqm |
| Level 7      | 2244 sqm |
| Level 8      | 2244 sqm |
| Level 9      | 2244 sqm |
| Level 10     | 2244 sqm |
| Level 11     | 2244 sqm |
| Level 12     | 2245 sqm |
| Level 13     | 2245 sqm |
| Level 14     | 2245 sqm |
| Level 15     | 2245 sqm |
| Level 16     | 2245 sqm |
| Level 17     | 2244 sqm |
| Level 18     | 2244 sqm |
| Level 19     | 2244 sqm |
| Level 20     | 1983 sqm |

TOTAL 39,934 sqm

\*GFA is calculated to the outside face of external walls and glazing suite or the centre of a common wall. Excludes any building services, ground floor public lobby and any parking/loading areas.

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title  
Scale  
Date  
Number

GFA CALCULATION

1 : 1000

26.08.2011

3013\_ DA34 (2)

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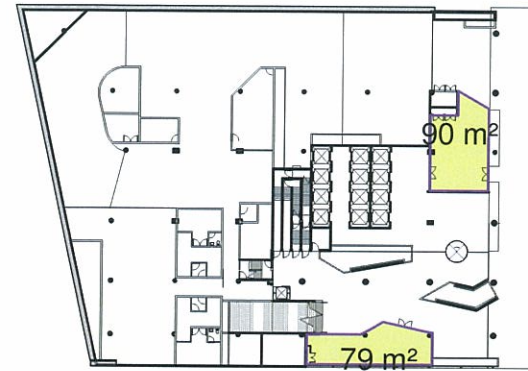
+61 7 3239 2444 f 07 3239 2455

e brisbane@nettletontribe.com.au w nettletontribe.com.au

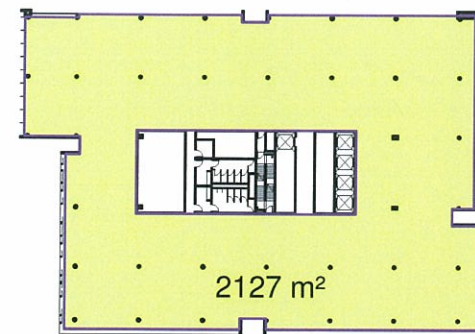


# NLA CALCULATION

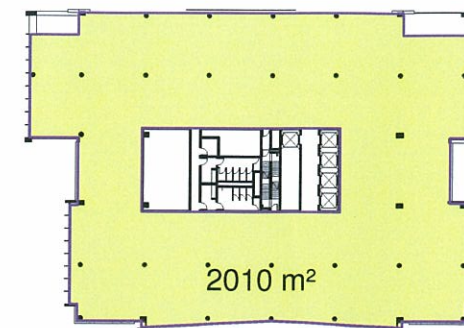
PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011



GROUND



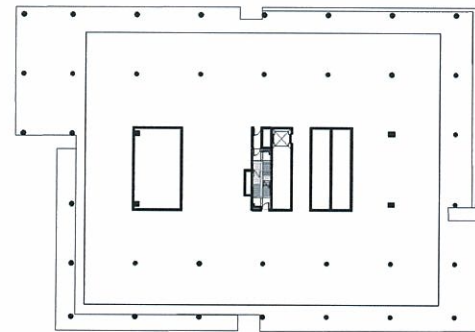
LEVEL 4



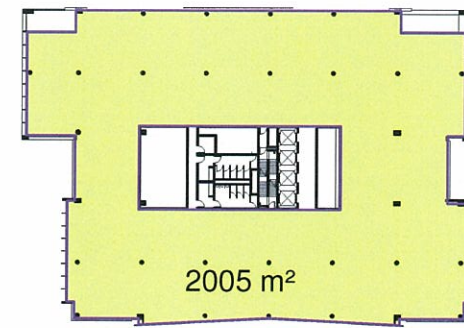
LEVELS 12-14



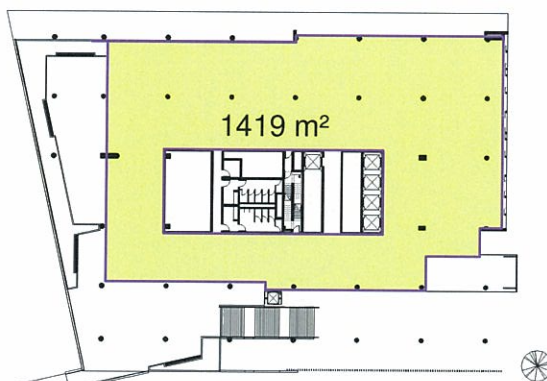
LEVEL 1



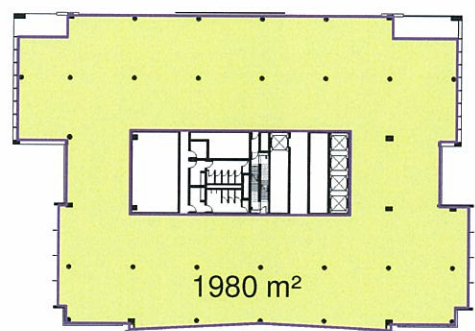
LEVEL 5



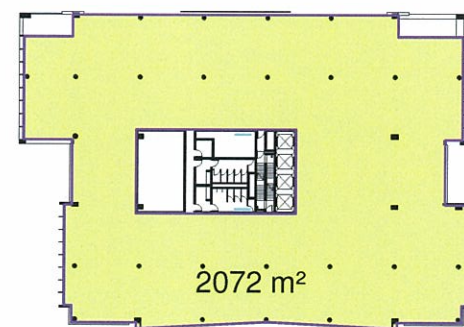
LEVEL 15-16



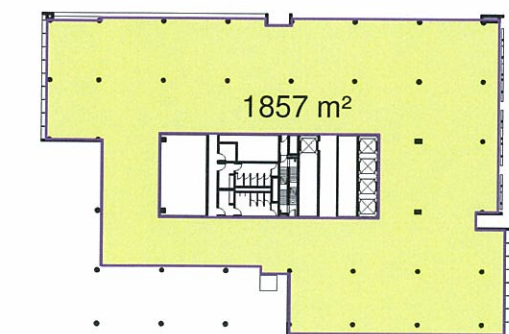
LEVEL 2



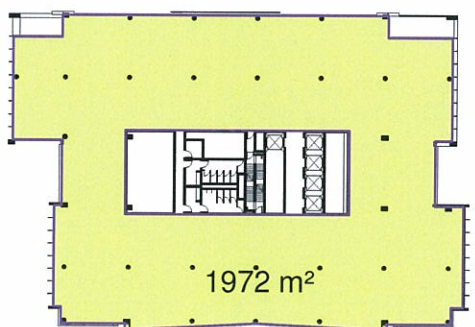
LEVEL 6-9



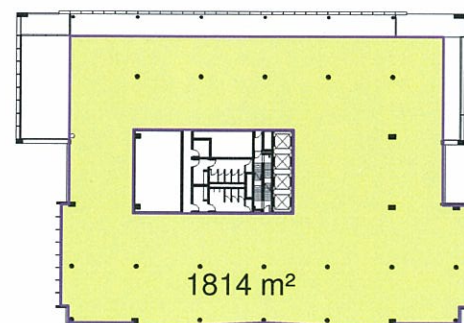
LEVEL 17-19



LEVEL 3



LEVEL 10-11

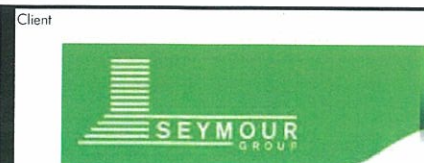


LEVEL 20

|              |          |
|--------------|----------|
| Ground Level | 169 sqm  |
| Mezzanine    | 0 sqm    |
| Level 1      | 168 sqm  |
| Level 2      | 1419 sqm |
| Level 3      | 1857 sqm |
| Level 4      | 2127 sqm |
| Level 5      | 0 sqm    |
| Level 6      | 1980 sqm |
| Level 7      | 1980 sqm |
| Level 8      | 1980 sqm |
| Level 9      | 1980 sqm |
| Level 10     | 1972 sqm |
| Level 11     | 1972 sqm |
| Level 12     | 2010 sqm |
| Level 13     | 2010 sqm |
| Level 14     | 2010 sqm |
| Level 15     | 2005 sqm |
| Level 16     | 2005 sqm |
| Level 17     | 2072 sqm |
| Level 18     | 2072 sqm |
| Level 19     | 2072 sqm |
| Level 20     | 1814 sqm |

TOTAL 35,640 sqm

\*NLA is calculated to the inside face of external walls and glazing suite. Excludes any building services, corridors, ground floor public lobby and any parking/loading areas.



Client  
Project  
proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title  
Scale  
Date  
Number  
NLA CALCULATION  
1 : 1000  
26.08.2011  
3013\_ DA35 (2)

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proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

PLANS AND DOCUMENTS  
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APPROVAL dated 5 /10 /2011

|        |                        |
|--------|------------------------|
| Title  | VISUAL LINK TO RAILWAY |
| Scale  |                        |
| Date   | 26.08.2011             |
| Number | 3013_ DA36 (1)         |

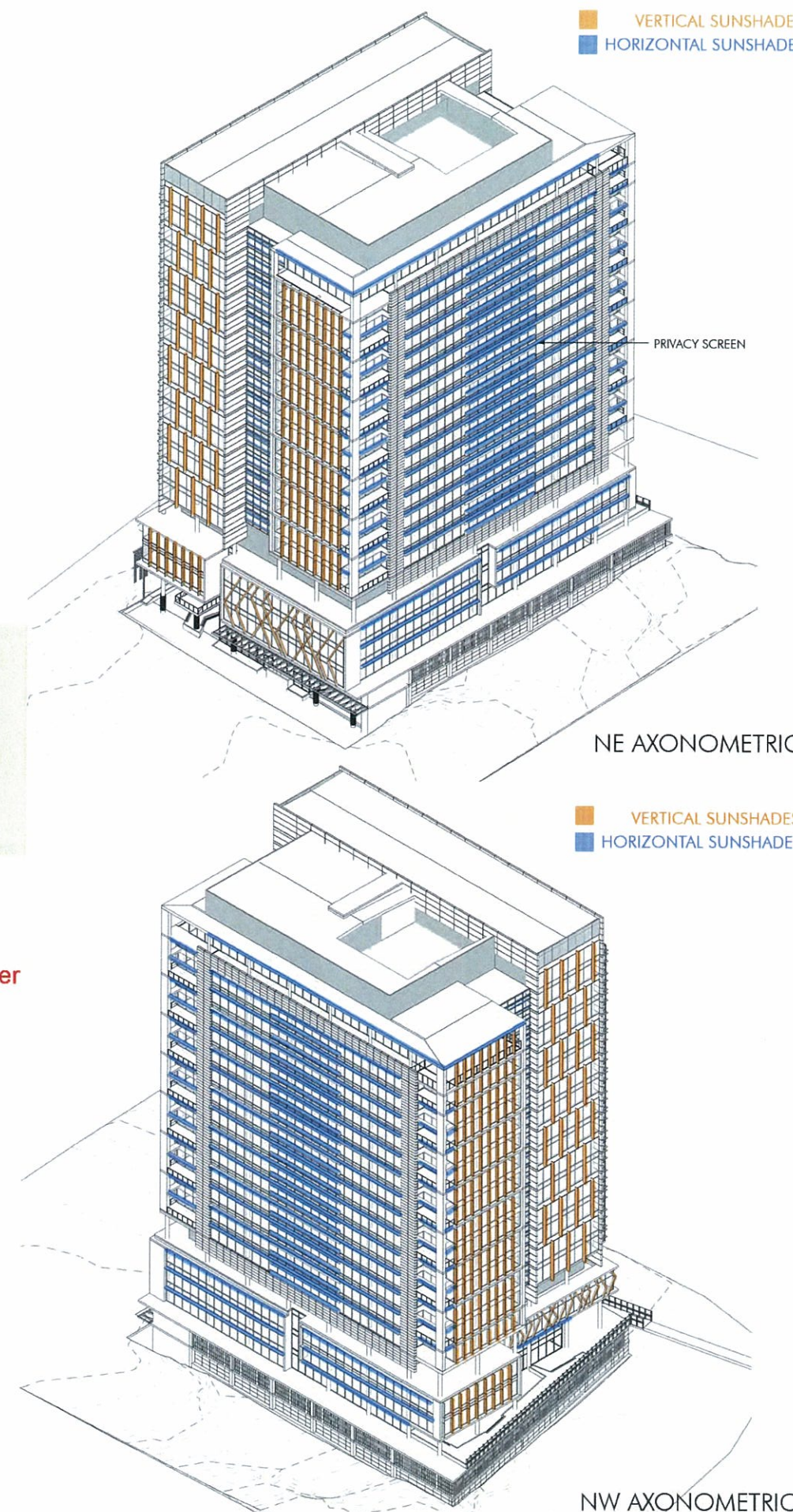
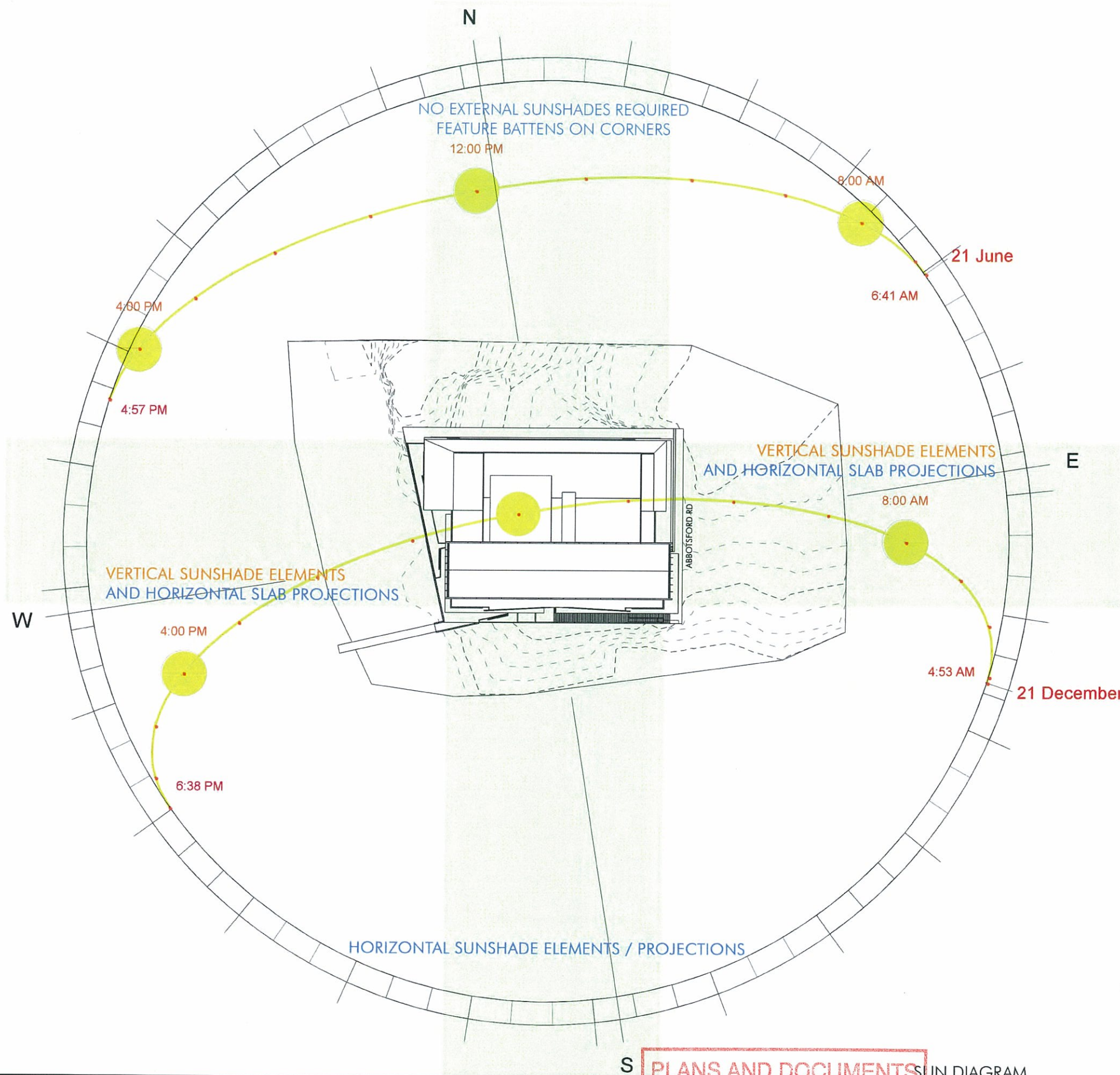
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# ht

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+07 3239 2444 f 07 3239 2455  
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# PLANS AND DOCUMENTS SUN DIAGRAM

referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011

SUNSHADING RATIONALE  
26.08.2011  
3013\_ DA37 (1)

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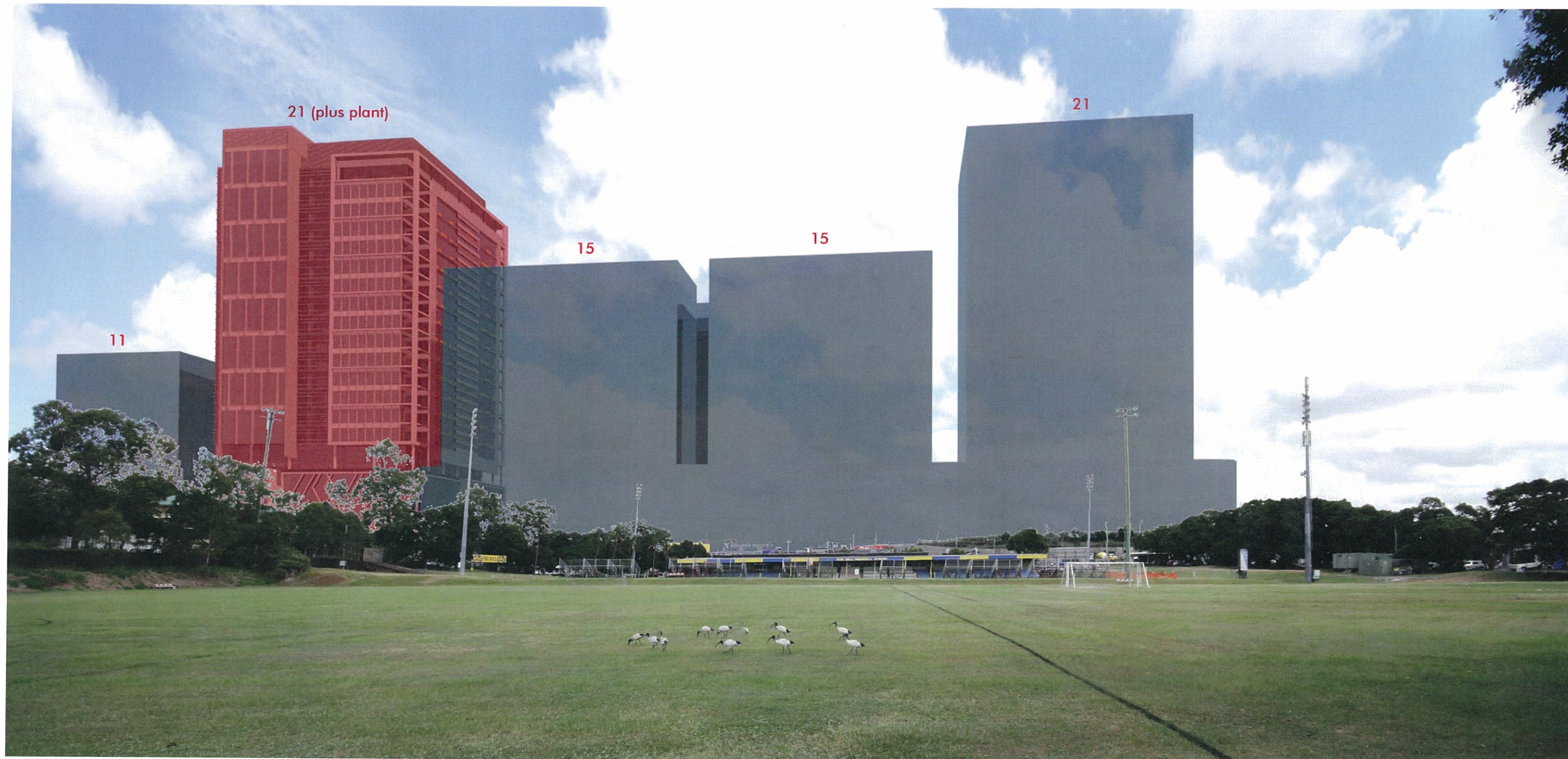
Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS





VIEW FROM ACROSS PERRY PARK

NOTE: THE NEIGHBOURING MASSING IS INDICATIVE ONLY AND IS BASED ON ONE OF THE SCENARIOS AS SHOWN ON DA05 - PRECINCT PLAN.

PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title SCENARIO OF POSSIBLE DEVELOPMENT  
Scale  
Date 26.08.2011  
Number 3013\_ DA38 (1)

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PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011

VIEW FROM TOP OF ABBOTSFORD ROAD

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title PERSPECTIVE VIEWS SHEET 5

Scale

Date

Number

08/24/11

3013\_ DA39 (1)



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VIEW FROM ICB OUTBOUND

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011



Title PERSPECTIVE VIEWS SHEET 6

Scale

Date

Number

26.08.2011

3013\_ DA40 (1)

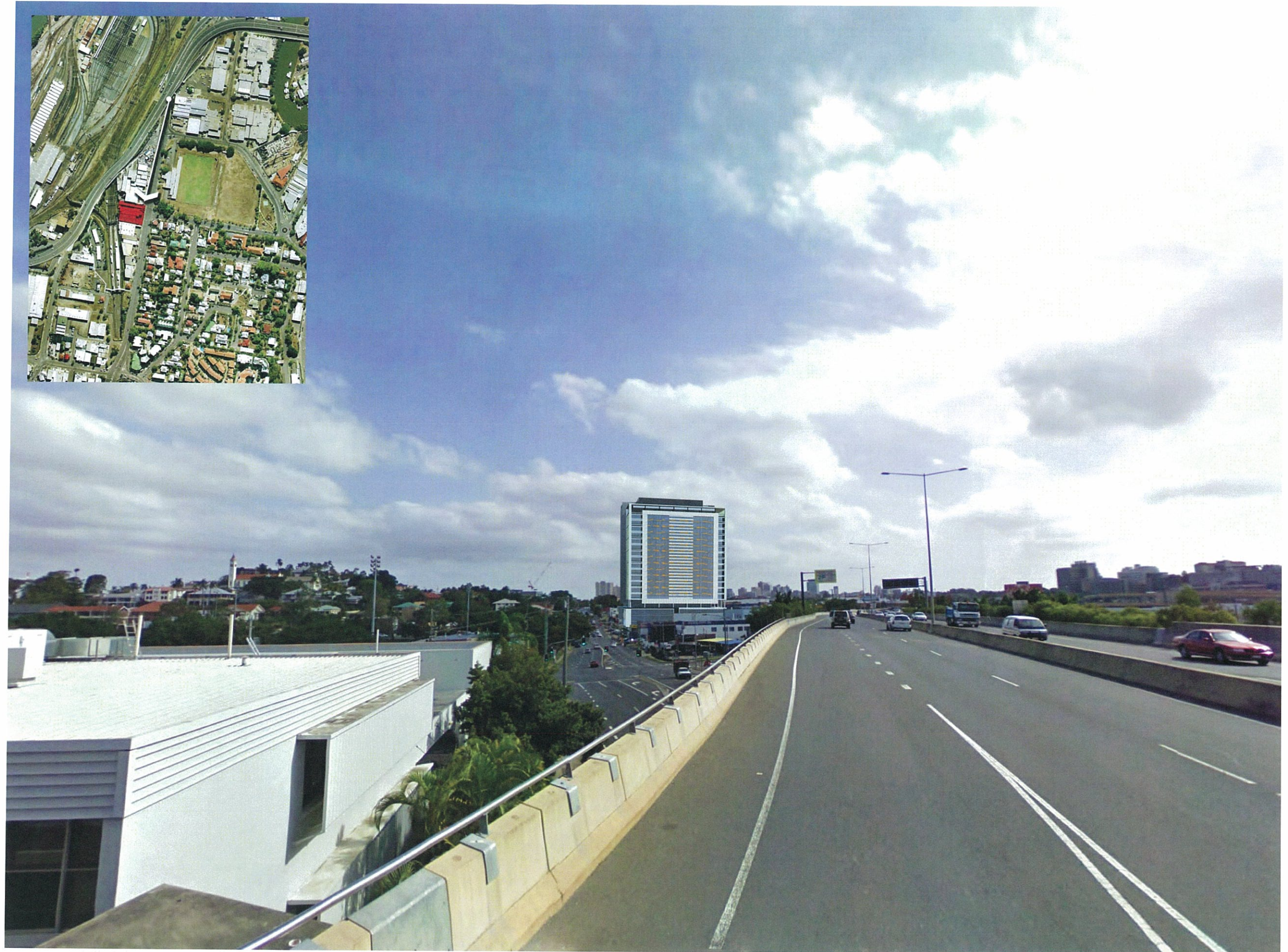
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VIEW FROM ICB INBOUND

Client



Project

proposed mixed use development  
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 2011



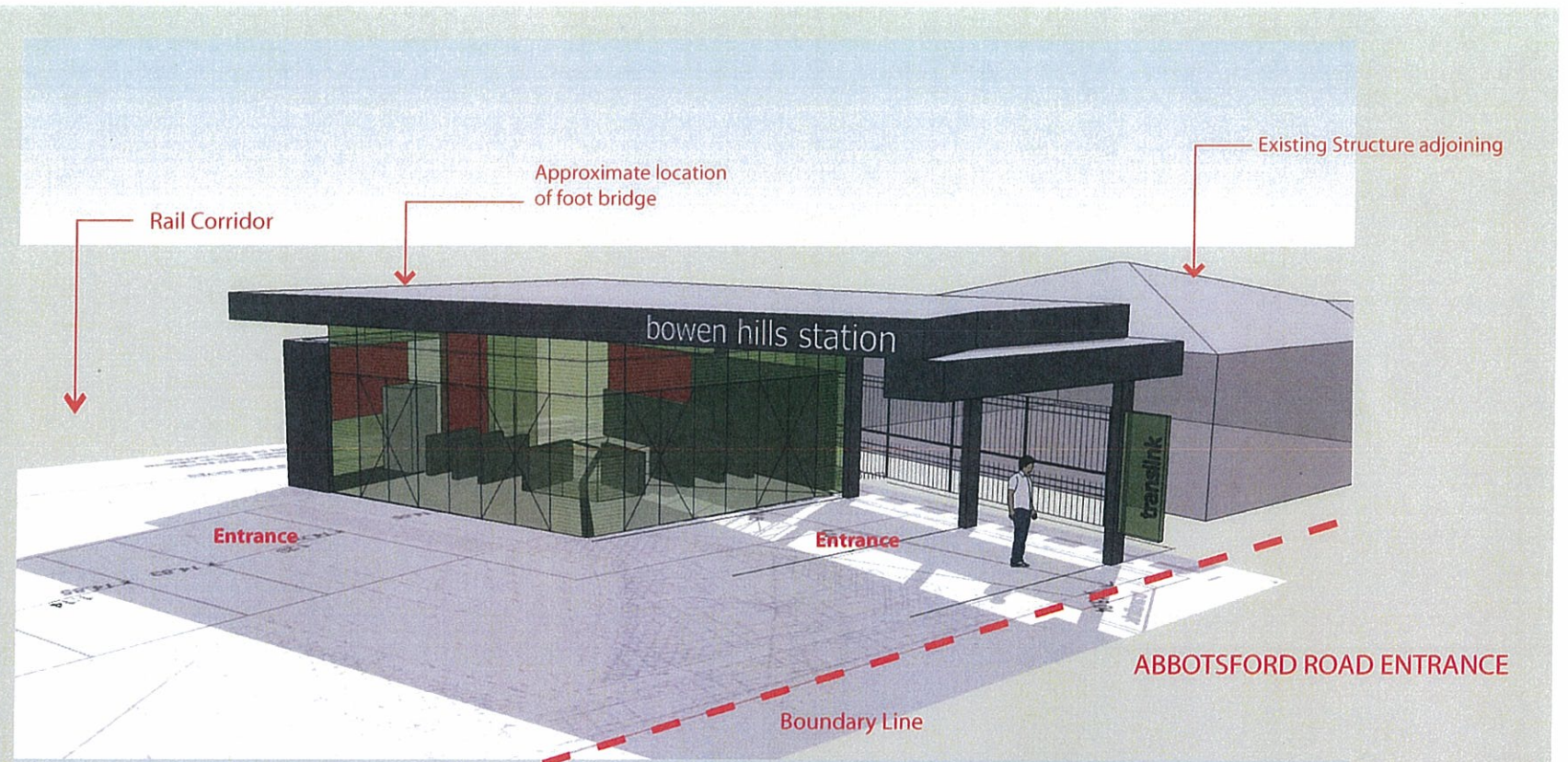
Title **PERSPECTIVE VIEWS SHEET 7**  
Scale  
Date 26.08.2011  
Number 3013\_ DA41 (1)

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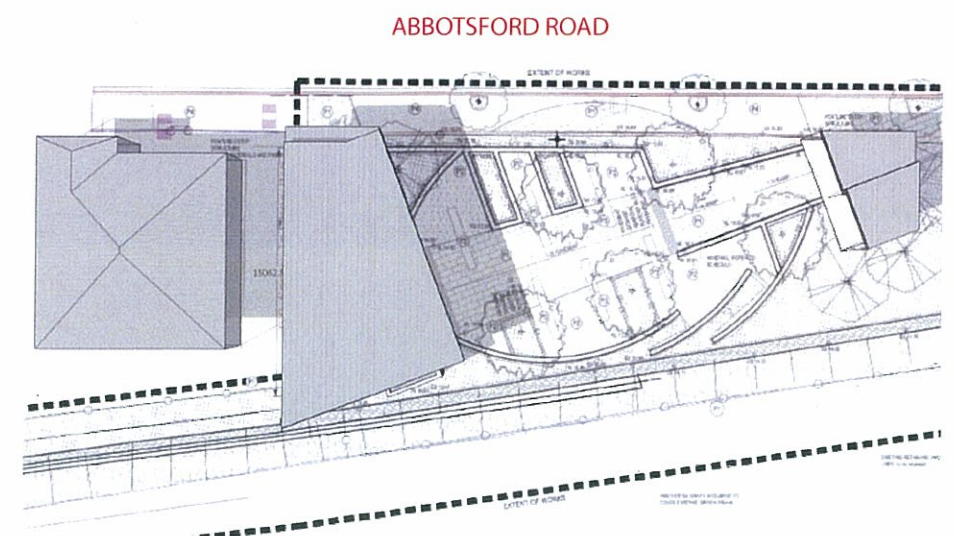
Proposed Material Usage: Texture and Form



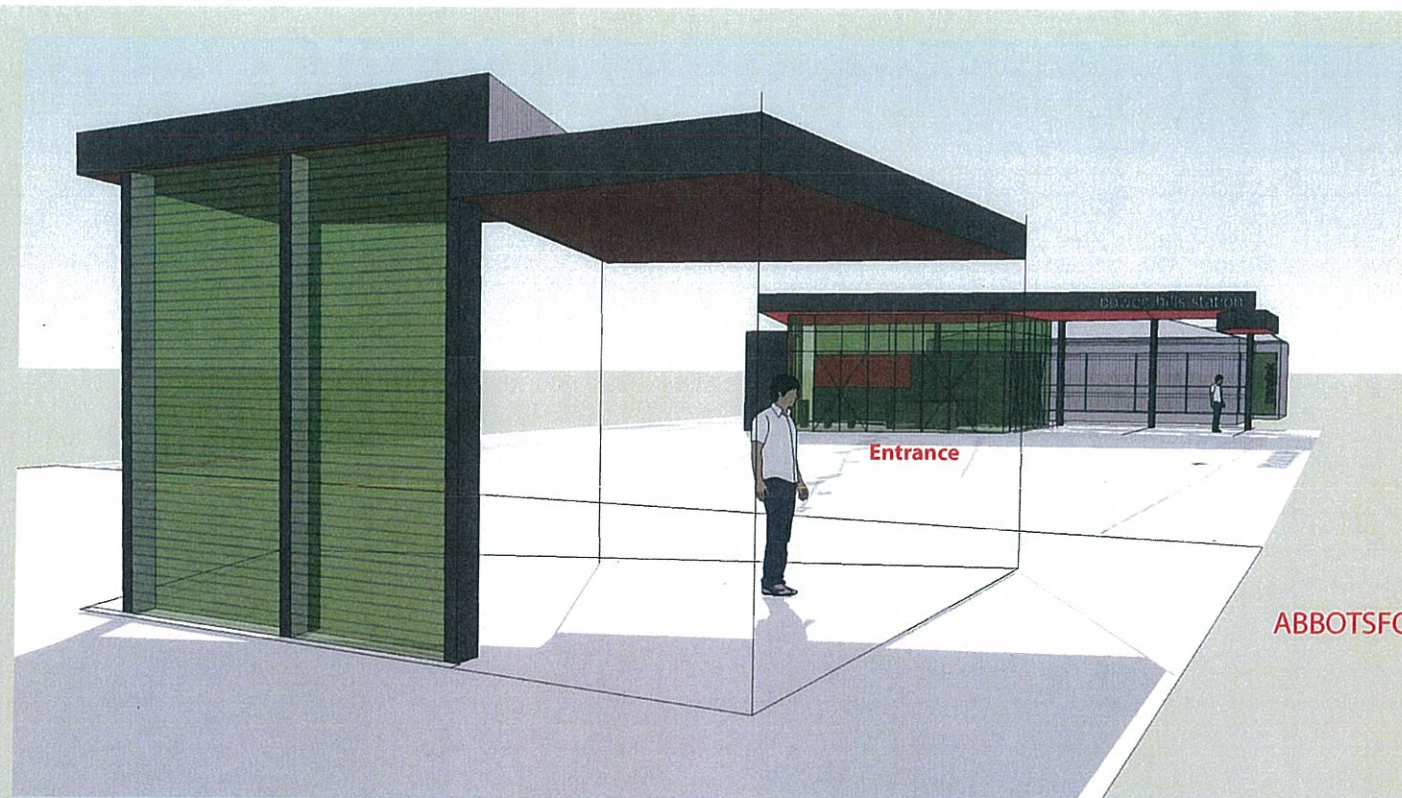
Proposed Structures over Faregates  
Bowen Hills Station  
sketch design phase

PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 14

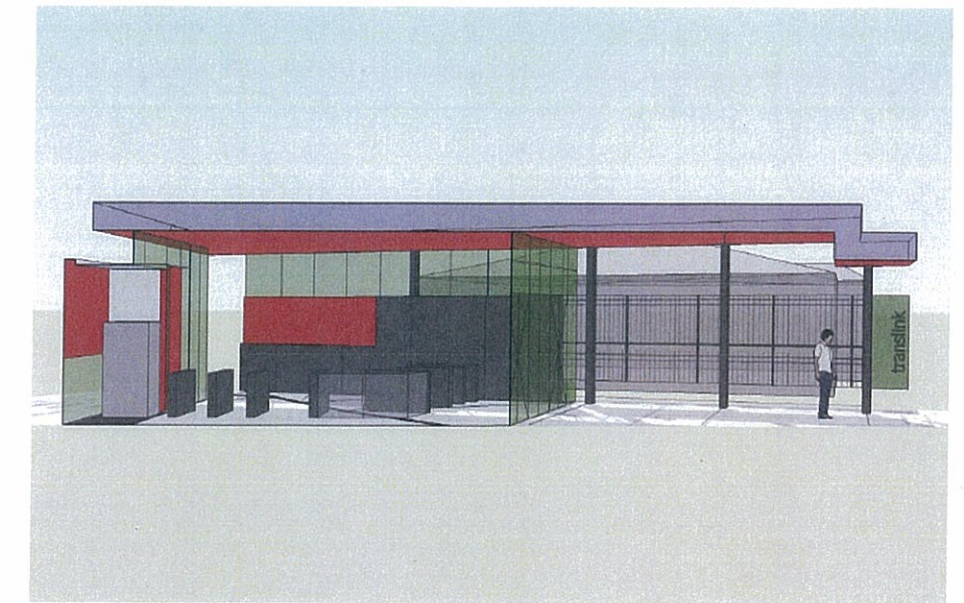
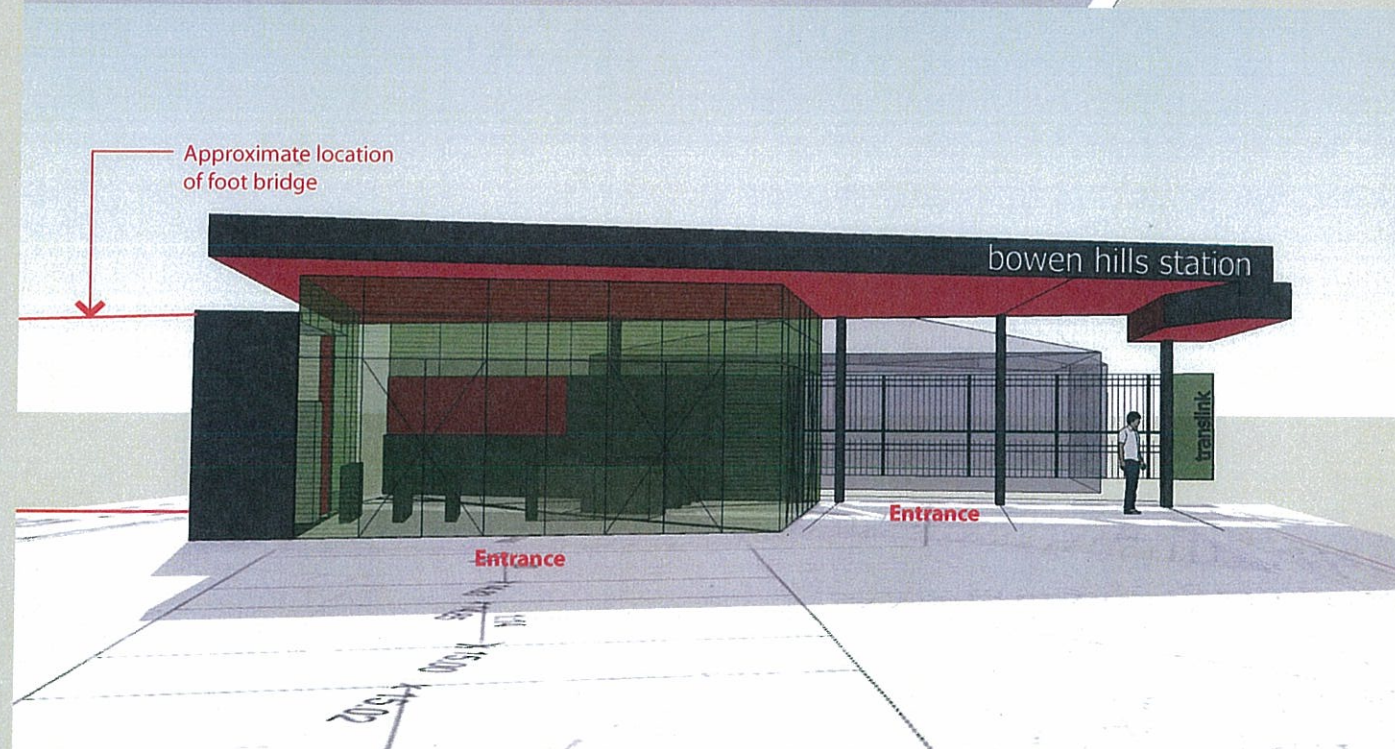
01







ABBOTSFORD ROAD ENTRANCE



Proposed Structures over Faregates  
Bowen Hills Station  
sketch design phase

PLANS AND DOCUMENTS  
referred to in the ULDA  
APPROVAL dated 5 / 10 / 11

02

Proposed Material Usage: Screening and Light and Shade



existing photos

