

Site Development Table	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Multiple Residential Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3m	3m	3m	3m	3m	3m	3m	3m
Rear	1m	1m	1m	1m	1m	1m	1m	2m
Side - General Lots								
Built to Boundary	0m	1m	0m	1m	0m	1m	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1m	1m	1m	1.5m	1m	1m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2m	2m	3m	3m
Laneway Lots								
Rear of Lot (from 6.5m laneway boundary)	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m
Rear of Lot (from 7.5m laneway boundary)	0m	0m	0m	0m	0m	0m	0m	0m

Site Development Table	Terrace Allotments 7 - 7.5m Frontage		Single Family Type 1 10m Frontage		Single Family Type 3 6.5m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2m	2m	3m	3m		
Rear	1m	1m				
Side - General Lots						
Built to Boundary	0m	0m	0m	1m	0m	0m
Non Built to Boundary	1.5m	1.5m	0.9m	0.9m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m		
Laneway Lots						
Rear of Lot (from 6.5m laneway boundary)	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m
Rear of Lot (from 7.5m laneway boundary)	0m	0m	0m	0m	0m	0m

Site Development Table	Urban Lot 6		Urban Lot 10		Premium Urban	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Rear	0m	0m	1m	1m	1m	1m
Side - General Lots						
Built to Boundary	0m	0m	0m	0m	0m	0m
Non Built to Boundary	1m	1m			1m	1m
Corner Lots - Secondary Frontage	2m	2m	2m	2m	2m	2m
Laneway Lots						
Rear of Lot (from 6.5m laneway boundary)	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m
Rear of Lot (from 7.5m laneway boundary)	0m	0m	0m	0m	0m	0m

* Please refer to notes for building setback relaxations for Lots 314, 315, 355, 356, 359 & 381.

Notes-

General:

- All development is to be undertaken in accordance with the Development Approval.
- Loft Homes are permissible over garages in Laneway Allotments.
- Building height is a maximum of 3 storeys.

Orientation:

- Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Plan of Development.
- Where Multiple Residential Allotments encompass more than one frontage they are to be designed to address (entries) each street frontage.
- Loft Homes must be located off the adjoining Laneway.
- Dwellings built on corner lots should address both street frontages.

Setbacks:

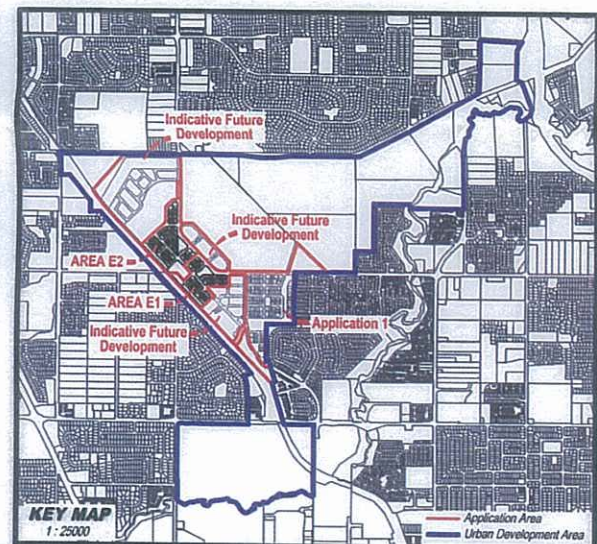
- Setbacks are as per the Site Development Table unless otherwise specified.
- Where a Park Frontage Lot, buildings are permitted to be set back to a minimum of 2.0 metres from the front boundary.
- For Urban Lot 6, Urban Lot 10 and Premium Urban Lot Typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.
- Where a laneway of 6.5m is used the rear laneway setback is to be 0.5m to the wall of the structure. Where a laneway of 7.5m is required, a rear laneway setback of 0.0m is permitted.
- For Lots 314 & 315, the laneway boundary setback is to be 0.0m to the boundary if a 7.5m laneway is required and 0.5m to the boundary if a 6.5m laneway is required.
- For Lot 359 the Corner Lot, Secondary Frontage building setback is a minimum of 1.0m from the side property boundary.
- For Lots 355 & 356, Secondary Frontage to the laneway must be built between 0.5m and 1.0m from the property boundary.
- For Lot 381, the side setback must be a minimum of 1.0m.
- The location of built to boundary walls are indicated on the Site Development Plan.
- Mandatory built to boundary walls are to have a maximum height of 9m and should not exceed the prescribed setbacks of the lot.
- Optional built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres. Where optional built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street Frontage where eaves should not be closer than 2400mm, &
 - Rear lane boundary eaves can meet the zero lot boundary where the wall of the structure is setback 0.5m.

Parking:

- Minimum off-street parking requirements
 - Studio, 1 and 2 bed dwellings - 1 space per dwelling
 - Other - 2 spaces per dwelling, which may be in tandem
- Double garages may be permitted on a lot with a frontage of 10 to 12.5m wide where Fitzgibbon Chase Design Guideline approval has been given by an officer of the ULDA Fitzgibbon Chase Development Team.
- Parking spaces on driveways do not have to comply with AS2890.
- Allotments with a rear laneway must locate garages and carports off the laneway. Garages and carports served off a laneway must be built between 0m and 0.5m off the rear boundary.

Site Cover and Private Open Space:

- Site cover must be in accordance with the following minimum standards:
 - Urban Lot 6, Urban Lot 10 & Premium Urban - 85% of the lot
 - Terrace Allotment - 75% of the lot
 - Villa Allotment & Single Family Type 1 - 60% of the lot
 - Single Family Type 3 - 90% of the lot
 - Multiple Residential - 70% of the lot



Legend

Stage Boundary

Park / Open Space

Proposed Park / Open Space
Pedestrian Linkage/ Road Reserve

Existing Services

Indicative Water Pipeline Alignment
Indicative High Pressure Gas Pipeline

Development Controls

Laneway Allotments
Indicative 3.5m Wide Driveway
Mandatory Built to Boundary Wall
Optional Built to Boundary Wall
0m Setback for Laneways (if 7.5m wide Lane)
No Vehicle Access
Primary Frontage
Mandatory minimum 2 Storey Construction
Park Frontage Lot
Preferred Garage Location (Single Family Lots)
Maximum Building Location Envelope (Single Family Lots and Urban Lots)

Note:

The proposal plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

North-South Water Pipeline assumed to be re-aligned to eastern trunk road reserve. Subject to confirmation of easement operator & engineering design.

Assumptions have been made in regard to the inclusion of service corridors and easements within proposed allotments, proposed parks and road reserves which need to be confirmed or verified with the appropriate service corridor or easement operator.

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

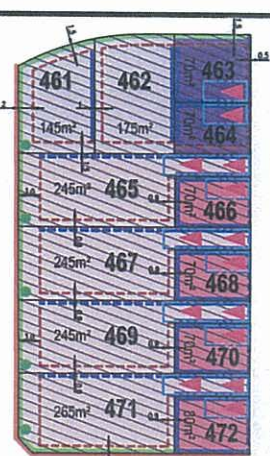


Diagram A

Scale 1 : 500



Diagram B

Scale 1 : 500

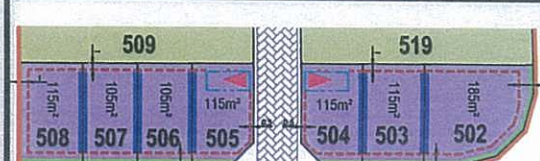


Diagram C

Scale 1 : 500

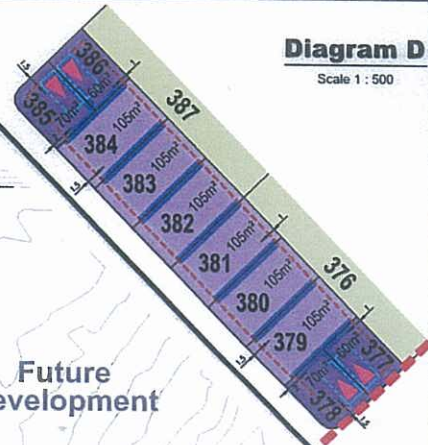
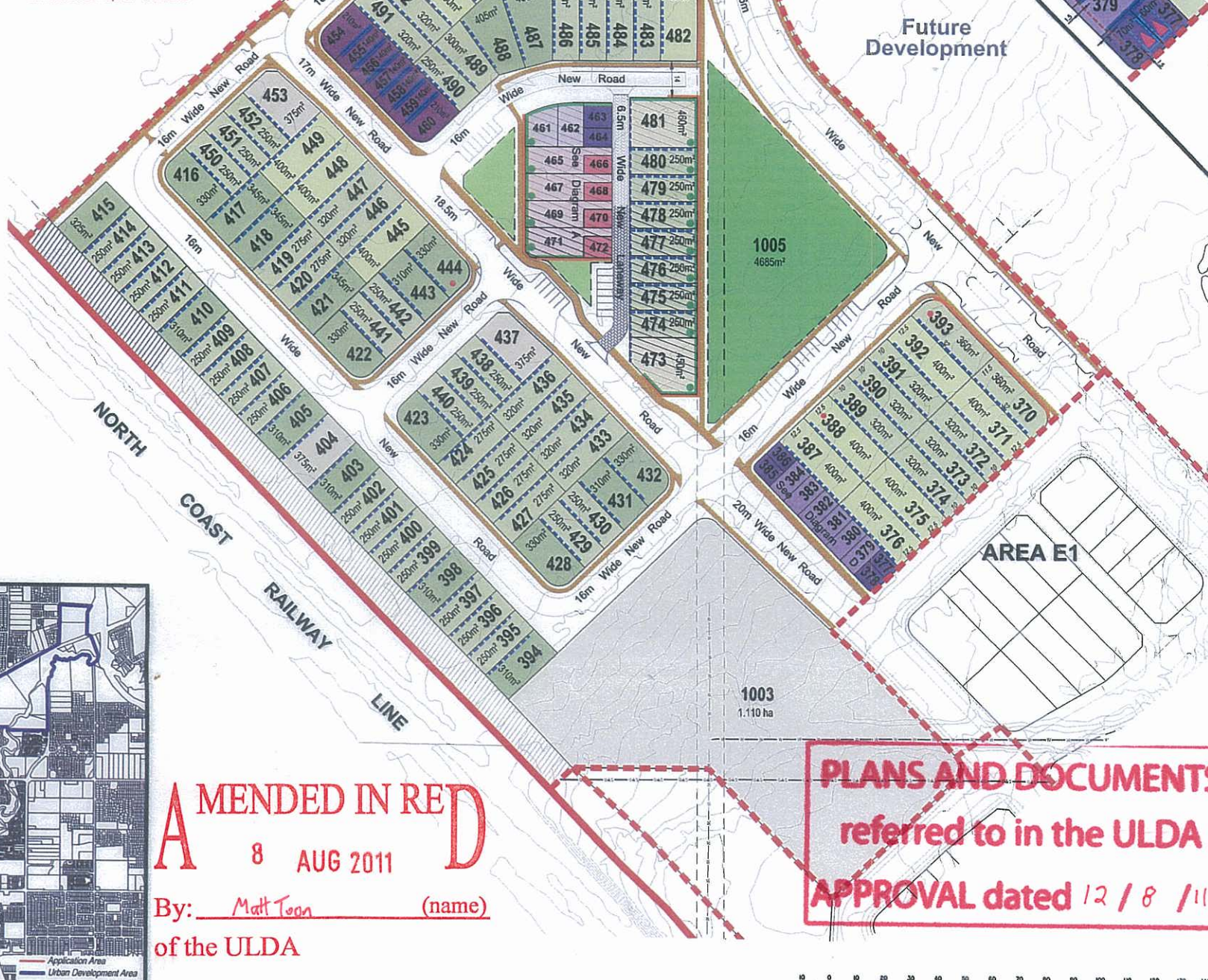


Diagram D

Scale 1 : 500

- Private amenity space accessible from the ground floor must not be less than 15m² with a minimum dimension of 3m. Private amenity space for apartments (including loft-homes) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 2.5 metres.
- Urban lots may have a minimum area of 5m² and dimension of 2.5m
- Fencing:
 - Fencing on all Primary Street Frontages to be 1.5m and 50% transparent or not to exceed 1.2 metres in height.
 - Fencing on Secondary Street Frontages to be 50% transparent and not exceed 1.5m in height. Alternatives may be permitted where Fitzgibbon Chase Design Guideline approval has been given by an officer of the ULDA Fitzgibbon Chase Development Team.
- Multiple Residential Allotments:
 - Multiple Residential Allotments are not permitted to be developed with only one single dwelling.
- Definitions:
 - Loft Homes - A dwelling built above a garage with its own entry door at ground level.
 - Laneway Allotment - Lot serviced by a Laneway
 - Streets - Roads/Streets other than a Laneway
- Sun shading
 - Sun shading is to be included on external windows to improve environmental performance and enhance subtropical character



AMENDED IN RED
8 AUG 2011
By: Matt Tean (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 8 / 11

REVISION	Level Datum		Date		CLIENT	PROJECT	
	Origin		Comp By.			PROPOSED SUBDIVISION	
A: amend notes and setback table add laneway setback			WW/KCH/TJE		Urban Land Development Authority	Plan Ref 22743-128	Rev J
B: Amend lot numbers							
C: Amend Park and medium density					PLAN OF DEVELOPMENT - AREA E2 253 TELEGRAPH ROAD, FITZGIBBON LOTS 10 & 11 ON SP 223412		
D: Amend Survey and adjust lots and slats							
E: Amend table and Notes as per E1					RPS		
F: Add extra trunk road remove lot 1005							
G: Amend Notes					RPS Australia Pty Ltd ACN 140 252 762 ABN 44 140 252 762 743 Ann Street PO Box 1559 Fortitude Valley QLD 4005 T +61 7 3237 8899 F +61 7 3237 8833 www.rpsgroup.com.au		
H: Amend Lot Layout							
I: Amend Layout							
K: Re-number Lots							

DEVELOPMENT STATISTICS - PROPOSAL PLAN AREA E2					
Allotment Type	Access Configuration		Total Allotments	Yield Range	
	Conventional Frontage	Rear Loaded Laneway		Min. Dwellings	Max. Dwellings
Single Family Dwellings					
Urban Lot 6	6	—	6	6	6
Urban Lot 10	14	—	14	14	14
Premium Urban Lot	4	—	4	4	4
Terrace Allotment Type 2 (7x20m)	7	—	7	7	7
Villa Allotment Type 1 (10x25m)	33	7	40	40	47
Villa Allotment Type 2 (10x32m)	24	14	38	38	52
Villa Allotment Type 3 (12.5x32m)	15	6	21	21	27
Villa Allotment Type 4 (12.5x25m)	19	—	19	19	19
Courtyard Allotment Type 1 (15x25m)	3	1	4	4	5
Single Family Type 1 (10x32m)	—	4	4	4	4
Single Family Type 3 (6.9x10.4m)	—	4	4	4	4
Sub Total	125	36	161	161	189
Multiple Residential Allotments					
Type 1 Allotment (450m ² -599m ²)	—	2	2	4	6
Sub Total	—	2	2	4	6
TOTAL	125	38	163	165	195

Density Calculation		dw/ha	dw/ha
Net Residential Density		22	26

Density is based on SEQRP definition for Net Residential Density
Density does not include future medium density super lots

Super Lots	Total Allotments
Medium Density	1

Minimum Dwelling Yield based single dwellings only on rear loaded laneway allotments and two dwellings constructed on each Multiple Residential Allotments
Maximum Dwelling Yield based on an additional loft home on rear loaded laneway allotments & the following Multiple Residential yield rates:
T1 - 3 dwellings
T2 - 4 dwellings
T3 - 5 dwellings

LAND USE BUDGET - PROPOSAL PLAN AREA E2		
Land Use Budget	Area (ha)	Percentage
Area E2 Site Area	10.439	100.0%
Resumption Area		
Bus Corridor	0.345	3.3%
Total Area of Resumption	0.345	3.3%
Saleable Area		
Medium Density Super Lots	1.110	10.6%
Single & Multiple Residential Lots	4.523	43.3%
Total Area of Allotments	5.633	54.0%
Road		
Trunk Collector Road	1.435	13.7%
Local Roads	2.496	23.9%
Total Area of New Road	3.931	37.7%
Open Space		
Active Open Space	0.469	4.5%
Pedestrian Connections - Thresholds	0.061	0.6%
Total Open Space	0.530	5.1%

Road Type	Length (m)
Total Length of New Road	2135
4.0m wide lane	155
5.0m wide lane	55
6.5m/7.5m wide lane - 5.5m pavement	245
10.0m wide lane - 5.5m pavement	35
16.0m wide road - 7.5m pavement	625
17.0m wide road - 7.5m pavement	75
18.0m wide road - 5.5m pavement (plus parking bays)	175
18.5m wide road - 7.5m pavement (plus parking bays)	155
20.0m wide road - 7.5m pavement (plus parking bays)	70
25m wide road - 7.0m pavement (plus parking bays)	300
26m wide road - 7.0m pavement (plus parking bays)	245

Note:
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North-South Water Pipeline assumed to be re-aligned to eastern trunk road reserve. Subject to confirmation of easement operator & engineering design.

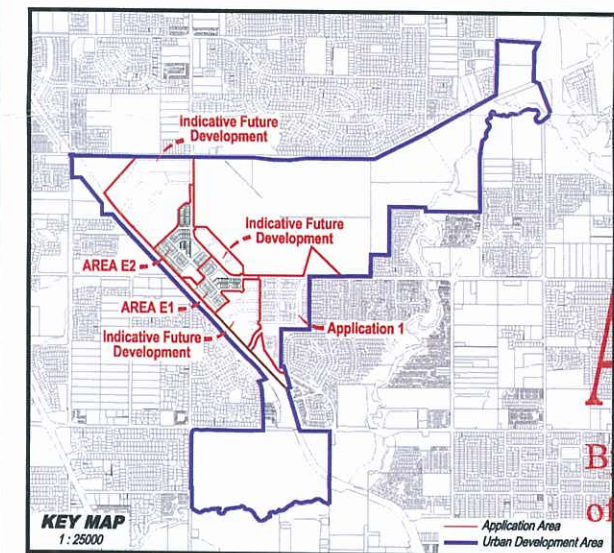
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Areas have been rounded to the nearest 5m².

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Legend

--- Stage Boundary

Road

- Busway Corridor (Subject of a Current Development Application)
- Laneway
- Indicative Pedestrian Pathway Alignment
- Future Pedestrian Pathway Alignment

Park / Open Space

- Proposed Park / Open Space
- Pedestrian Linkage/ Road Reserve

Existing Services

- Indicative Water Pipeline Alignment
- Indicative High Pressure Gas Pipeline

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 12 / 8 / 11

Vegetation Protection Area

Boundary Line to be staked

Vegetation Protection Area

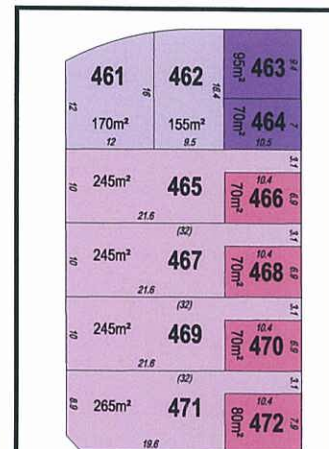


Diagram A

Scale 1 : 500

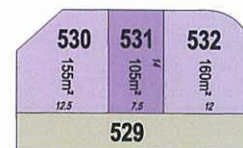


Diagram B

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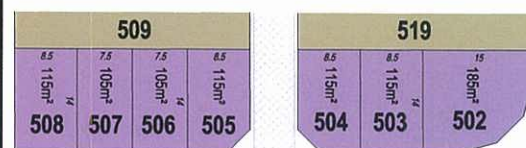


Diagram C

Scale 1 : 500

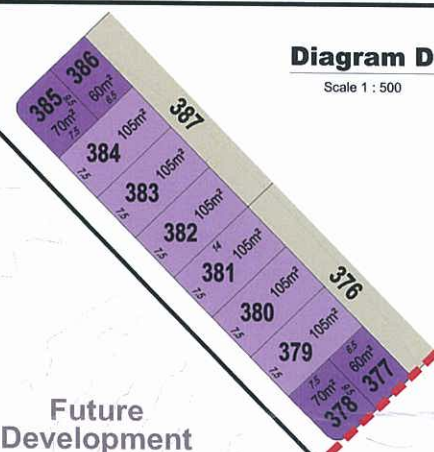


Diagram D

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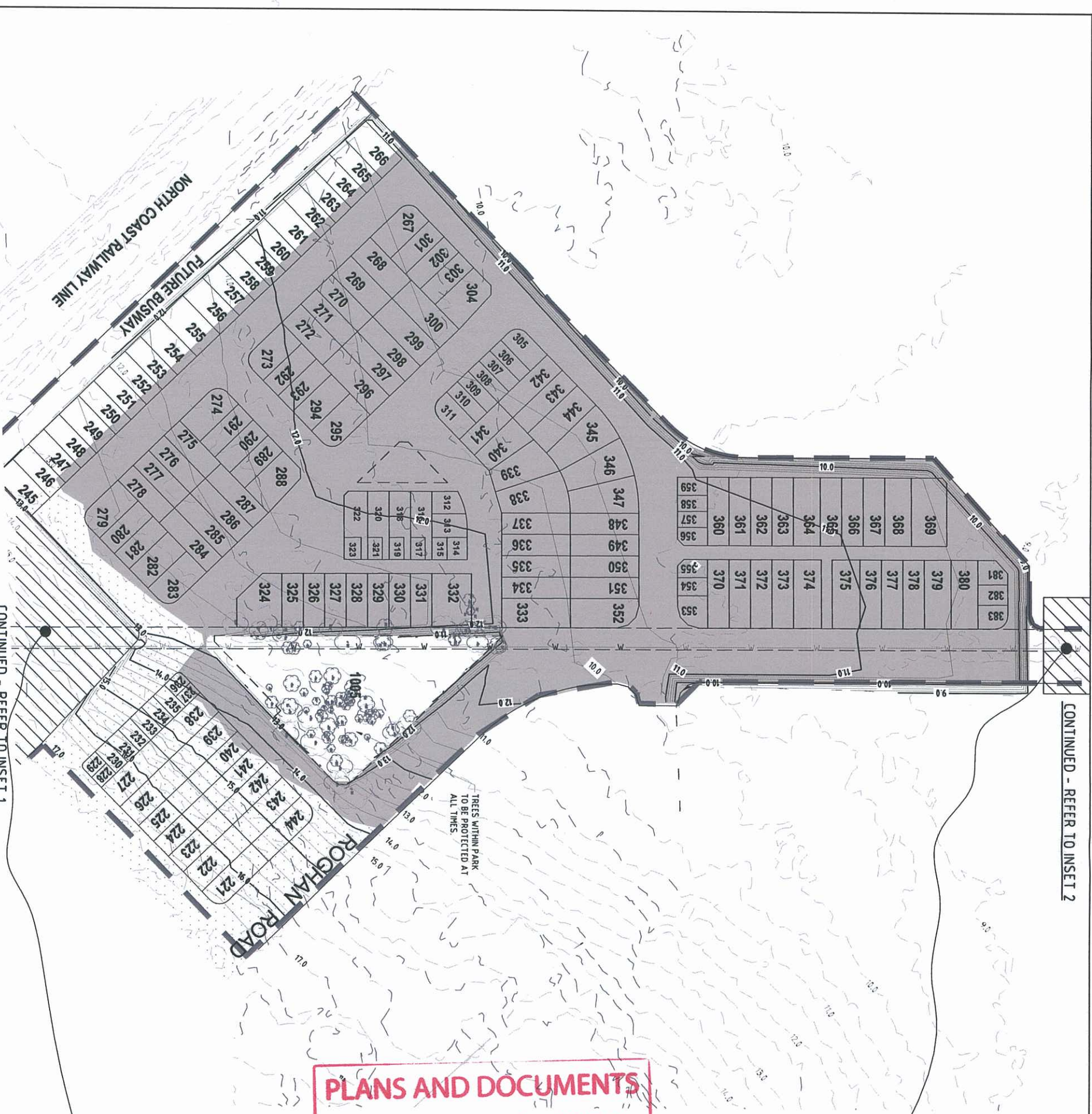


AMENDED IN RED
8 AUG 2011
By: Matt Teon (name)
of the ULDA

REVISION C: Edit Park and medium density D: Amend Busway and adjust lots and stats E: Amend Notes F: Add extra trunk road remove lot 1006 G: Amend Text H: Amend Layout I: Amend Layout J: Amend Layout K: Renumber Lots	Level Datum		Date	5 August 2011	CLIENT Urban Land Development Authority ALLOTMENT LAYOUT - AREA E2 253 TELEGRAPH ROAD, FITZGIBBON LOTS 10 & 11 ON SP 223412	PROJECT PROPOSED SUBDIVISION	
	Origin		Comp By.	WW/KCH/TJE		Plan Ref 22743-127	Rev K
			DWG Name.	22743-108-PROP			
			Local Authority	Urban Land Development Authority			
Scale 1 : 1000			Locality	FITZGIBBON	PROJECT PROPOSED SUBDIVISION	Plan Ref 22743-127	Rev K
	Sheet A1		Job Reference	22743			

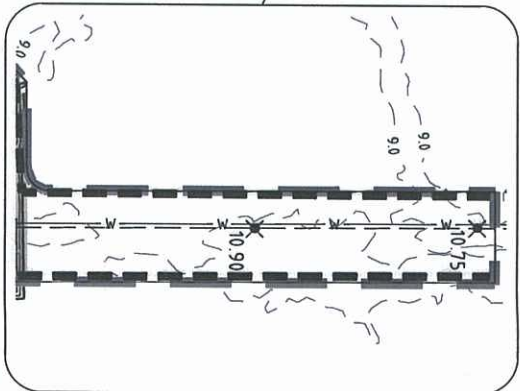
RPS Australia East Pty Ltd
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W rpsgroup.com.au

CONTINUED - REFER TO INSET 2

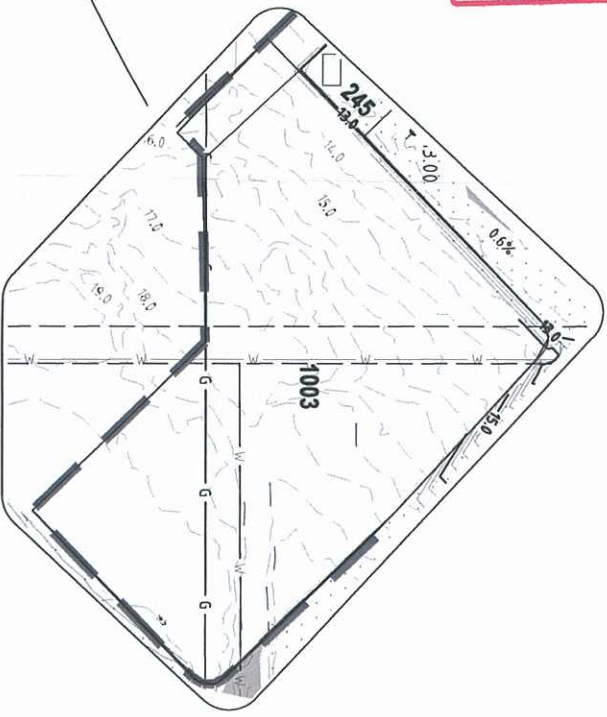


CONTINUED - REFER TO INSET 1

INSET 2 - ROGHAN ROAD EXTENSION
OVER DRAINAGE CORRIDOR



INSET 1 - SUB STATION



LEGEND

- EXTENT OF CUT
- EXTENT OF FILL
- BULK EARTHWORKS FINISHED MAJOR CONTOURS (1.00m)
- BULK EARTHWORKS FINISHED MINOR CONTOURS (0.25m)
- STAGE E2 EXTENTS
- PROPOSED BULK EARTHWORKS BATTER SLOPE
- EXISTING CONTOURS (0.50m)
- EXIST. GAS MAIN
- EXIST. WATER MAIN

BULK EARTHWORKS
APPROVED.
FOR INFORMATION ONLY.



ASSOCIATED CONSULTANTS		CLIENT	
20/07/11 1/8/10	20/07/11 1/8/10	PROJECT	URBAN LAND DEVELOPMENT AUTHORITY
DESIGNED BY DM	CHECKED BY DM	LOCATION	FITZGIBBON CHASE - AREA E2
DATE	DATE	SHEET	153 TELEGRAPH ROAD, FITZGIBBON
REVISIONS	REVISIONS	TITLE	PRELIMINARY BULK EARTHWORKS PLAN
DESIGNED BY DM		APPROVED BY KEITH HOWELLS	
DATE JUNE 2010		SCALE SCALE 1:1000 (A1)	
ARCHITECTS CIVIL & STRUCTURAL ENGINEERS		BULK EARTHWORKS APPROVED. FOR INFORMATION ONLY.	
BRISSBANE 555 COOPERATION DRIVE, TORRENS HILL QLD 4068 PH: (07) 3271 1234 FAX: (07) 3271 1235 EMAIL: info@earthgroup.net.au		SUNSHINE COAST 20 ANNUAL DRIVE, RAVENSHAW QLD 4578 PH: (07) 4578 1234 FAX: (07) 4578 1235 EMAIL: info@earthgroup.net.au	
PORT MORESBY 5TH FLOOR GUYBERTSON HOUSE, PO BOX 606 TELEPHONE: (08) 927 1234 FAX: (08) 927 1235 EMAIL: info@earthgroup.net.au		E T S G R O U P	
JOB CODE: ULDSFCE2		SHEET NUMBER SK01	
DATE 10 JUL 2010		REV. D	

