

SITE DATA

RPD
PROPOSED LOT 507 ON SP 232005
PARISH OF NUNDAB
COUNTY OF STANLEY
STREET ADDRESS
LAVENDER PLACE
FITZGIBBON QLD 4018
SITE AREA
2,363 sq.m.
REGULATING AUTHORITY
URBAN LAND DEVELOPMENT AUTHORITY (ULDA)

AREAS SCHEDULE

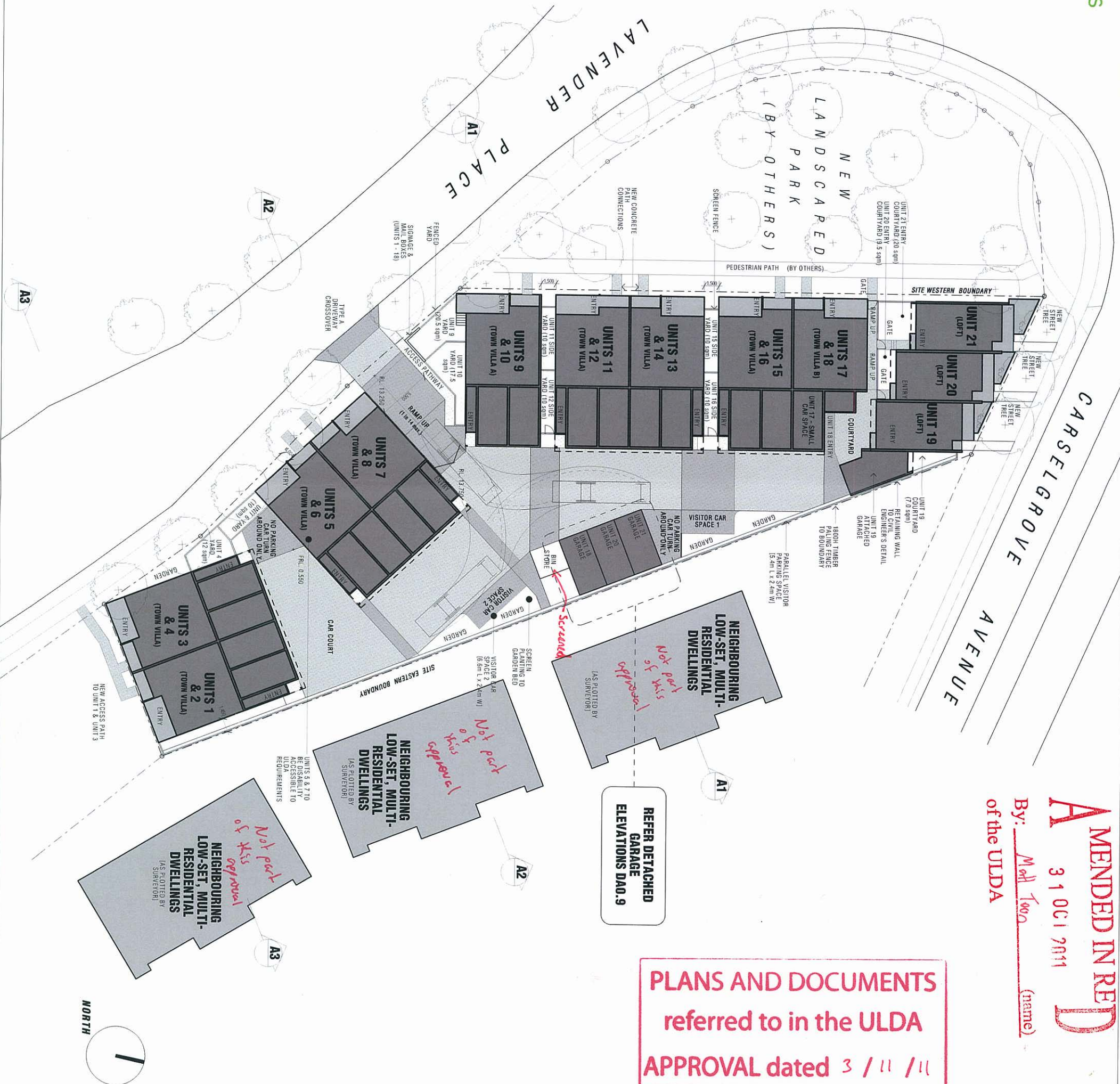
	UNIT GFA	GFA X UNITS
TOWN VILLAS - LOWER FLOOR		
9 UNITS (UNITS 1,3,5,7,9,11,13,15,17)	55.00 sq.m.	495.00 sq.m.
TOWN VILLAS - UPPER FLOOR		
8 UNITS (UNITS 2,4,6,8,10,12,14,16)	78.00 sq.m.	624.00 sq.m.
TOWN VILLA - UNIT 18		
1 UNIT	71.00 sq.m.	71.00 sq.m.
LOFT UNITS		
3 UNITS (UNITS 19 - 21)	79.00 sq.m.	237.00 sq.m.
TOTALS		1,427.00 sq.m.
21 UNITS		
SITE AREA:	2,363.00 sq.m.	
PLOT RATIO:	0.603	

CAR PARKING

TOTAL CAR SPACES REQUIRED	21 SPACES
TOTAL CAR SPACES PROVIDED	21 SPACES

PRIVATE OUTDOOR SPACE

UNIT	No. of BEDS	YARD	BALCONY	TERRACE	TOTALS
UNIT 1	2	-	-	7.6	7.6
UNIT 2	3	-	-	12.5	12.5
UNIT 3	2	-	-	7.6	7.6
UNIT 4	3	18	-	12.5	30.5
UNIT 5	2	-	-	7.6	7.6
UNIT 6	2	12	-	12.5	24.5
UNIT 7	2	-	-	7.6	7.6
UNIT 8	3	-	-	12.5	12.5
UNIT 9	2	17.5	-	9.7	27.2
UNIT 10	3	20.5	-	12.5	33.0
UNIT 11	2	10.0	-	7.6	17.6
UNIT 12	3	10.0	-	12.5	22.5
UNIT 13	2	-	-	7.6	7.6
UNIT 14	3	-	-	12.5	12.5
UNIT 15	2	10.0	-	7.6	17.6
UNIT 16	3	10.0	-	12.5	22.5
UNIT 17	2	-	-	7.6	7.6
UNIT 18	2	-	-	12.5	12.5
UNIT 19	3	7.0	-	6.0	13.0
UNIT 20	3	9.5	-	6.5	16.0
UNIT 21	3	20.0	-	7.0	27.0
SUMMARY:	144.5	133.0	89.0	366.5	



AMENDED IN RED
3 1 OCT 2011
By: Mell Toun (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS REPRODUCTION OR DISTRIBUTION IS FORBIDDEN WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL APPLICABLE CODES, REGULATIONS & AUSTRALIAN STANDARDS

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

REV.	ISSUE	DATE
A	FOR APPROVAL	11/07/2011
B	FOR APPROVAL	12/07/2011
C	FOR APPROVAL	12/10/2011
D	AMENDED TOWN VILLA NOTATION	12/10/2011
E	FOR APPROVAL - AMENDED PRIVATE OUTDOOR SPACE TABLE	14/10/2011
F	FOR APPROVAL - VISITOR CAR SPACES ADDED, SITE SECTIONS A1-A3 ADDED, UNITS 1-4 MOVED AWAY FROM EASTERN BOUNDARY 500mm	27/10/2011

NOTES:
FENCING OF COMMON AREAS TO ULDA REQUIREMENTS

PAUL BUTTERWORTH ARCHITECT
PO BOX 2480
KEPERRA QLD 4054
07 3831 0770
0405 840 115
6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
mail@pbarchitect.mel.au
www.pbarchitect.mel.au

PROJECT
NEW TOWN VILLA
DEVELOPMENT

CLIENT
LAVENDER PLACE,
FITZGIBBON QLD

JOB No.
101003

DRAWING
SITE PLAN

No.
DAO.2

SCALE
1:200@A1; 1:400@A3

DATE
27.10.2011

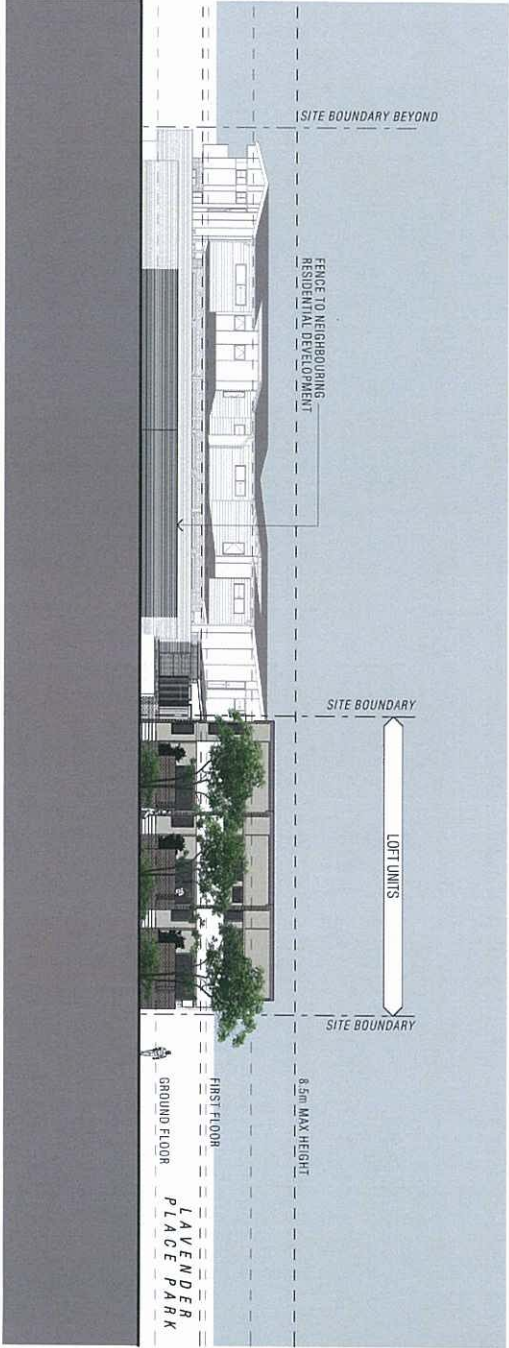
DRAWN
PJB

CHECKED
PJB

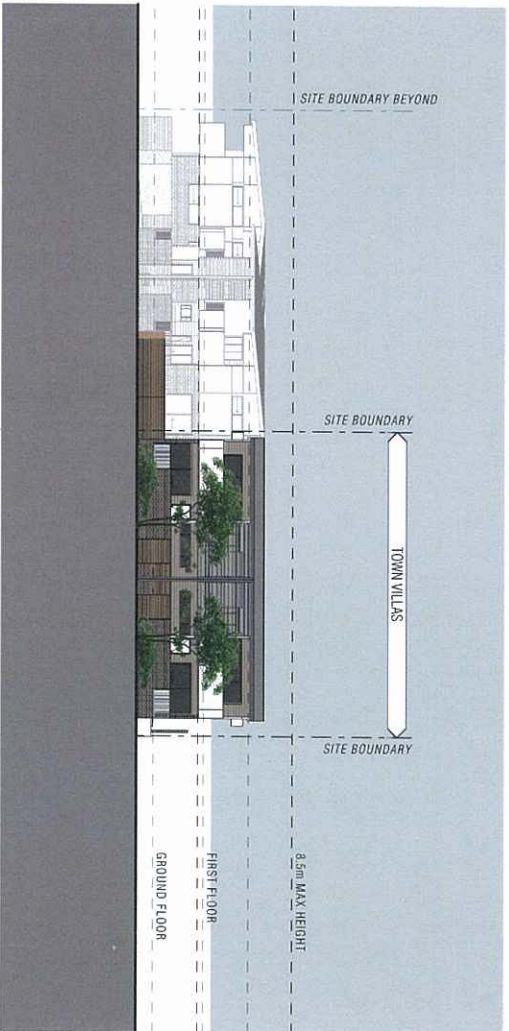
2
10
M
NORTH



LAVENDER PLACE PARK ELEVATION



CARSELGROVE AVENUE ELEVATION



LAVENDER PLACE ELEVATION

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE
COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS
REPRODUCTION OR DISTRIBUTION IS FORBIDDEN
WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS
DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT
THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL
APPLICABLE CODES, REGULATIONS & AUSTRALIAN
STANDARDS

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

REV.	ISSUE	DATE
A	FOR APPROVAL	07/07/2011

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

PAUL BUTTERWORTH ARCHITECT

PO BOX 2480
KEPPELA QLD 4556
07 3831 0770
0403 840 115
6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
mail@pbarchitect.net.au
www.pbarchitect.net.au

PROJECT
NEW TOWN VILLA
DEVELOPMENT

CLIENT
LAVENDER PLACE,
FITZGIBBON QLD

CLIENT
EKKOPOINT PROPERTIES
JOB No. 101003

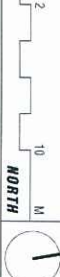
DRAWING
SITE ELEVATIONS

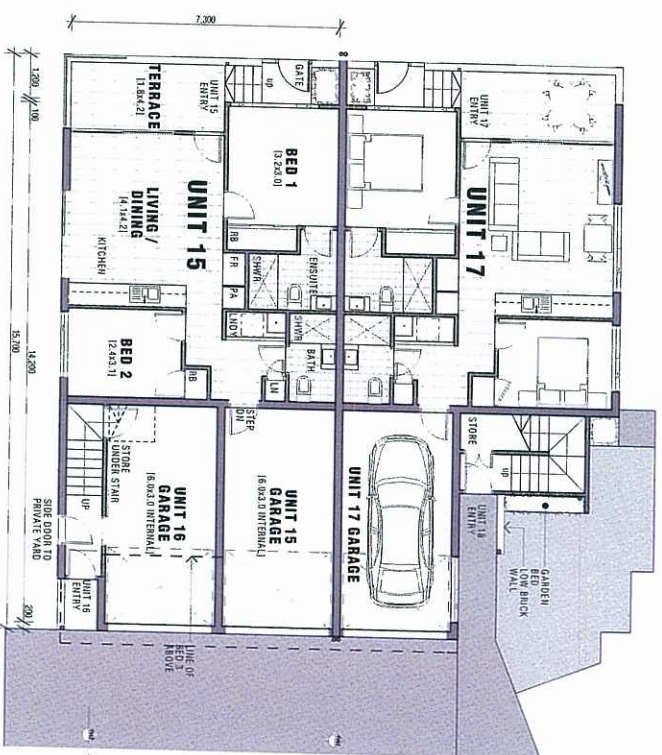
No. DAO.3 **ISSUE** A

SCALE
1:200@A1; 1:400@A3

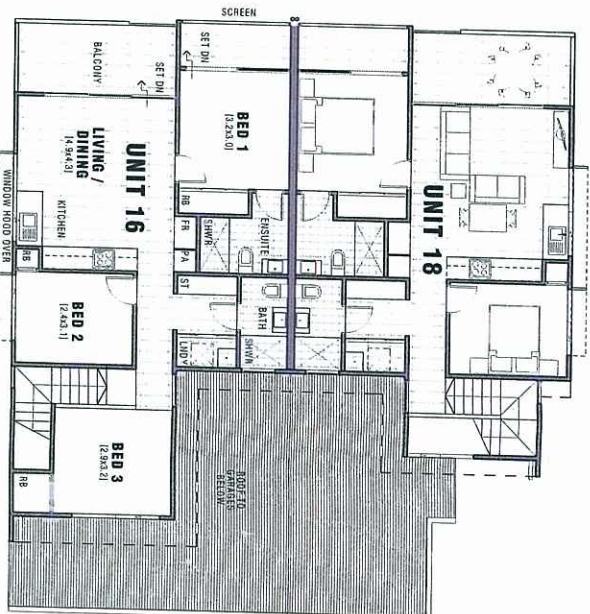
DATE
07.07.2011

DRAWN PJB **CHECKED** PJB

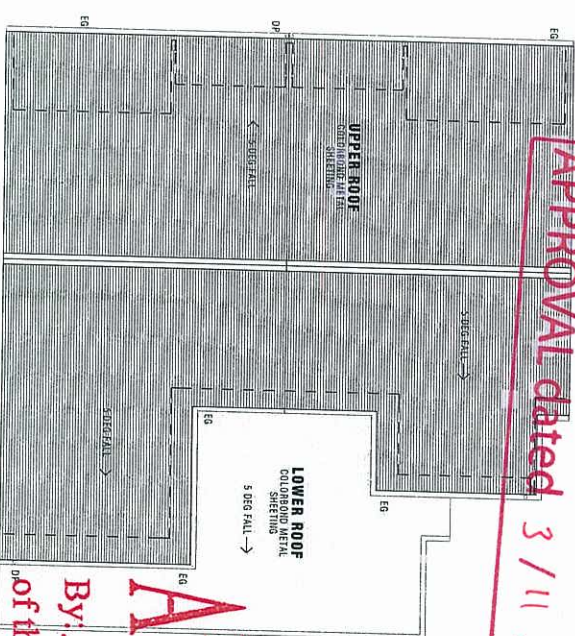




1 GROUND FLOOR PLAN 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]



2 FIRST FLOOR PLAN 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]



3 ROOF PLAN 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS REPRODUCTION OR TRANSMISSION IN ANY FORM WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT IS PROHIBITED
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL APPLICABLE CODES, REGULATIONS & AUSTRALIAN STANDARDS

PRELIMINARY ONLY
NOT FOR CONSTRUCTION
REV. ISSUE DATE
A FOR APPROVAL 12.10.2011

AMENDED IN RED
31 OCT 2011
By: Matt Toss (name)
of the ULDA

NOTES:
CEILING FANS TO MAIN LIVING SPACE
& ALL BEDROOMS.

PAUL BUTTERWORTH ARCHITECT

PO BOX 2480
KEPPELA QLD 4054
07 3831 0770
0405 840 115
6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
mail@pbutcherarchitect.net.au
www.pbutcherarchitect.net.au

PROJECT
NEW TOWN VILLA
DEVELOPMENT

at
LAVENDER PLACE,
FITZGIBBON QLD

CLIENT
EKKOPOINT PROPERTIES

JOB No. 101003

DRAWING
TOWN VILLA TYPE B
[UNITS 15 - 18]

No. DA1.3 ISSUE A

SCALE 1:100@A1: 1:200@A3

DATE 12.10.2011

DRAWN PJB CHECKED PJB

2 10 M NORTH



TOWN VILLA B PERSPECTIVE FROM REAR CAR COURT

TOWN VILLA B AREAS SCHEDULE

LEGEND

2x GROUND FLOOR UNIT GFA: 55.0 sq.m.
FIRST FLOOR UNIT 16 GFA: 78.0 sq.m.
FIRST FLOOR UNIT 18 GFA: 71.0 sq.m.
TOTAL GFA: 204.0 sq.m.
(UNITS 15 - 18)

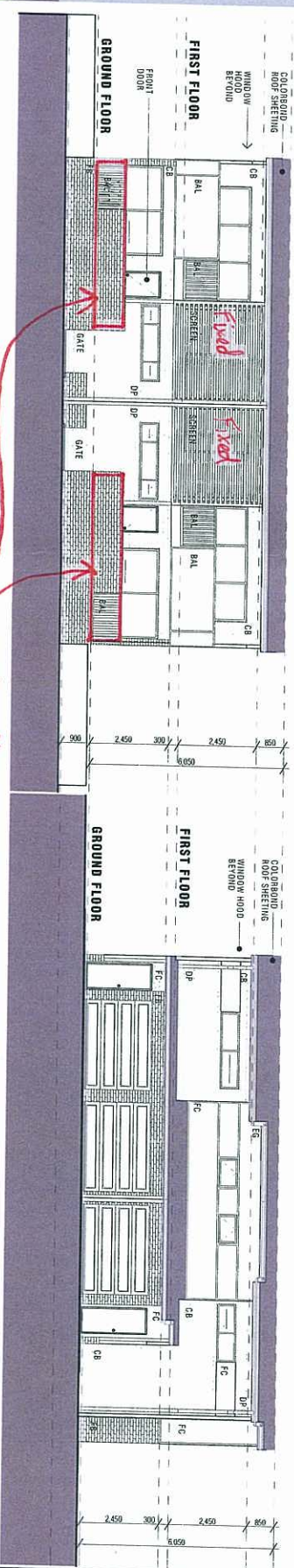
CB CHAMFER BOARDS
FB FACE BRICK
FC FIBROUS CEMENT
EG EAVES GUTTER
DP DOWNPIPE
BAL BALUSTRADE
WH WINDOW HOOD
PDR POWDER ROOM
ST STORE
FR FRIDGE
PA PANTRY
WT WATER TANK
LN LINEN
WR WALK-IN ROBE

SINGLE GARAGE: 18.0 sq.m. each
LOWER UNIT TERRACE: 7.6 sq.m. each
UPPER UNIT BALCONY: 12.5 sq.m. each

4 ELEVATION 1 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]

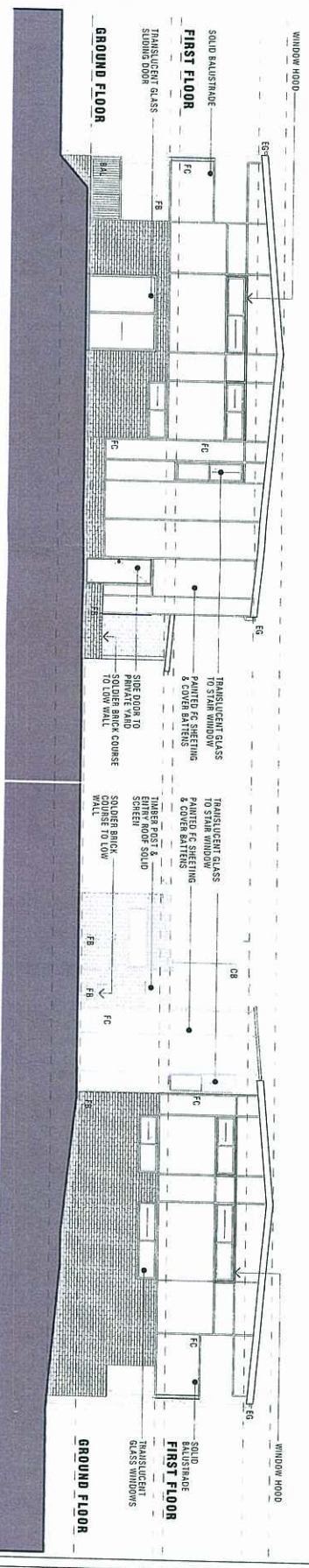
No less than
40% transparency

5 ELEVATION 3 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]



6 ELEVATION 2 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]

7 ELEVATION 4 1:100@A1
TOWN VILLA TYPE B [UNITS 15 - 18]

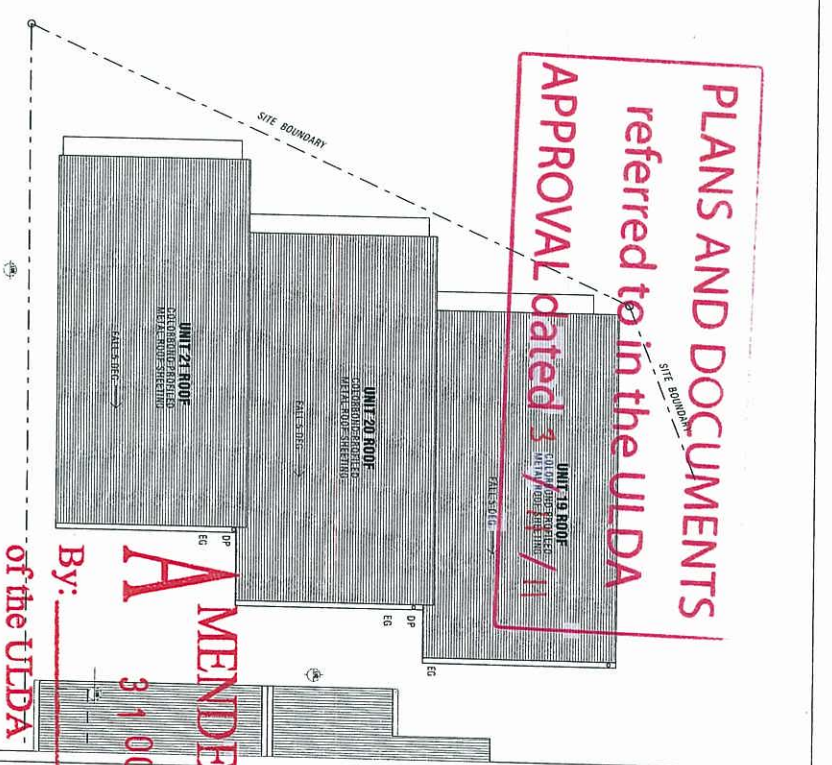
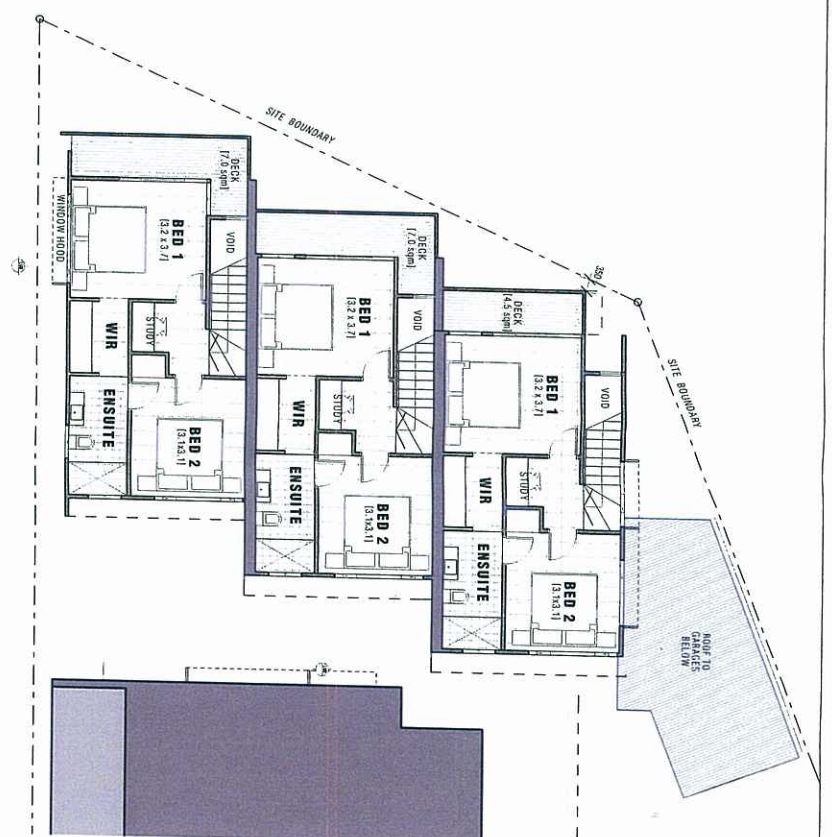




1 GROUND FLOOR PLAN 1:100@A1
LOFT UNITS 19 - 21

2 FIRST FLOOR PLAN 1:100@A1
LOFT UNITS 19 - 21

3 ROOF PLAN 1:100@A1
LOFT UNITS 19 - 21

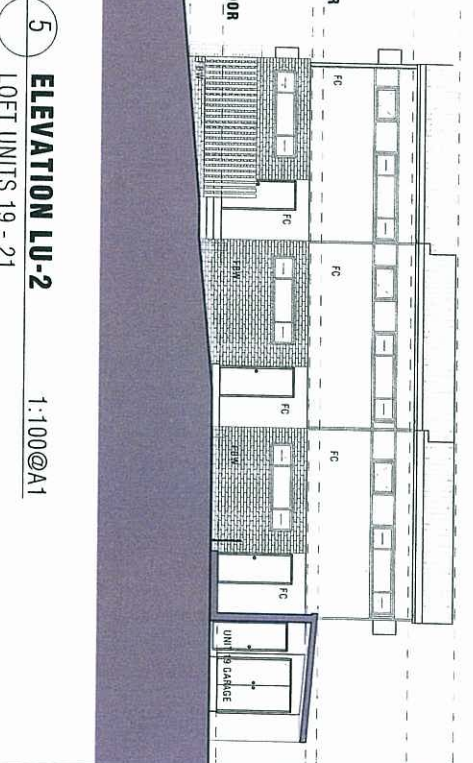
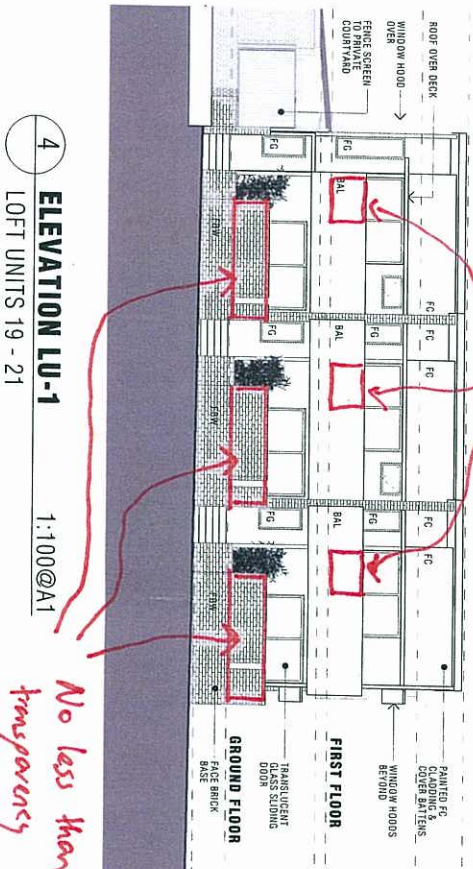


PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

AMENDED IN RED
31 OCT 2011
By: (name)
of the ULDA



STREET PERSPECTIVE



4 ELEVATION LU-1 1:100@A1
LOFT UNITS 19 - 21

5 ELEVATION LU-2 1:100@A1
LOFT UNITS 19 - 21

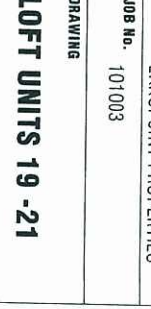
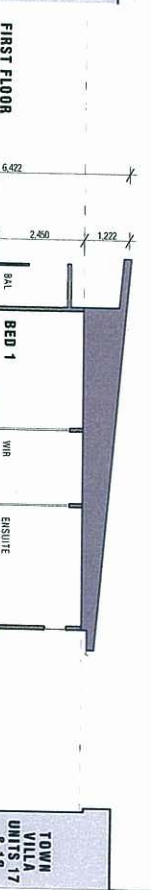
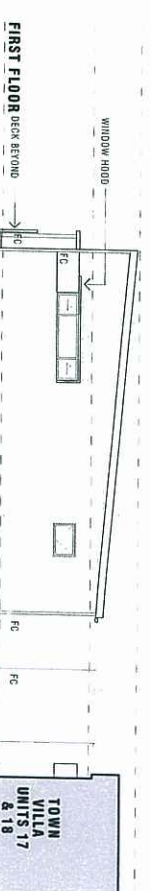
6 ELEVATION LU-3 1:100@A1
LOFT UNITS 19 - 21

AREAS SCHEDULE

GROUND FLOOR GFA:	39.0 sq.m.
FIRST FLOOR GFA:	40.0 sq.m.
TOTAL GFA:	79.0 sq.m.
SINGLE GARAGE:	18.0 sq.m.
TERRACE:	6.0 - 8.0 sq.m.
DECK:	4.5 - 7.0 sq.m.

LEGEND

CB	CHAMFER BOARDS
FBW	FACE BRICK WORK
EG	FIBROUS CEMENT
DP	EAVES GUTTER
BAL	DOWNPIPE
WH	BALUSTRADE
PDR	WINDOW HOOD
ST	POWDER ROOM
FR	STORE
PA	FRIDGE
WT	PANTRY
LN	WATER TANK
WIR	WALK-IN ROBE



6 ELEVATION LU-3 1:100@A1
LOFT UNITS 19 - 21

7 SECTION LU-B 1:100@A1
LOFT UNITS 19 - 21

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE
CONSTRUCTION
THIS DRAWING IS FOR INFORMATION ONLY & IS
NOT TO BE USED FOR CONSTRUCTION
WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS
DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT
THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL
APPLICABLE CODES, REGULATIONS & AUSTRALIAN
STANDARDS

PRELIMINARY ONLY
NOT FOR CONSTRUCTION
REV. ISSUE DATE
A FOR APPROVAL 11/07/2011

PAUL BUTTERWORTH ARCHITECT
PO BOX 2480
KEPPERS QLD 4054
07 3831 0770
0405 840 115
6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
ma@pbarchitect.nel.au
www.pbarchitect.nel.au

PROJECT
NEW TOWN VILLA
DEVELOPMENT

CLIENT
LAVENDER PLACE,
FITZGIBBON QLD

CLIENT
EKKOPOINT PROPERTIES

JOB No. 101003

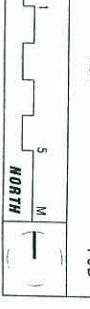
DRAWING
LOFT UNITS 19 - 21

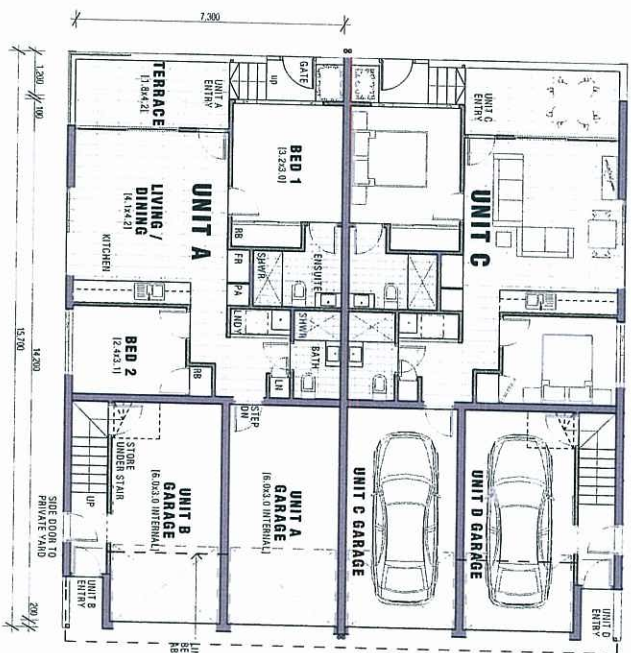
No. DA2.1 ISSUE A

SCALE 1:100@A1, 1:200@A3

DATE 11.07.2011

DRAWN PUB CHECKED PUB





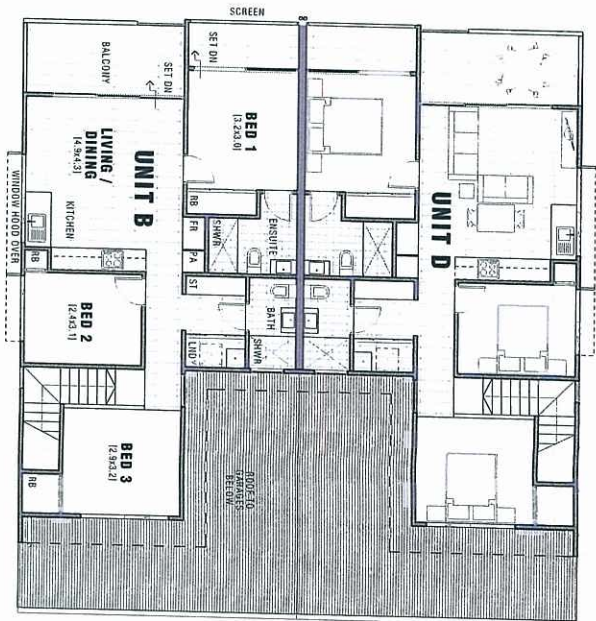
1 GROUND FLOOR PLAN 1:100@A1
TOWN VILLAS 1, 3, 11, 13



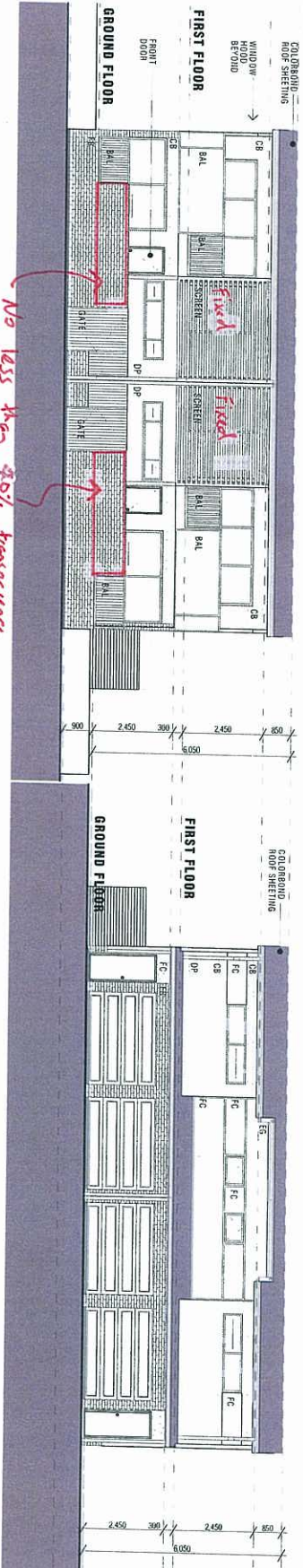
TOWN VILLA PERSPECTIVE FROM LAVENDER PLACE PARK

TOWN VILLA AREAS SCHEDULE	
GROUND FLOOR UNIT GFA:	55.0 sq.m.
FIRST FLOOR UNIT GFA:	78.0 sq.m.
TOTAL GFA:	266.0 sq.m.
(UNITS 11 - 14)	
SINGLE GARAGE:	18.0 sq.m. each
LOWER UNIT TERRACE:	7.6 sq.m. each
UPPER UNIT BALCONY:	12.5 sq.m. each

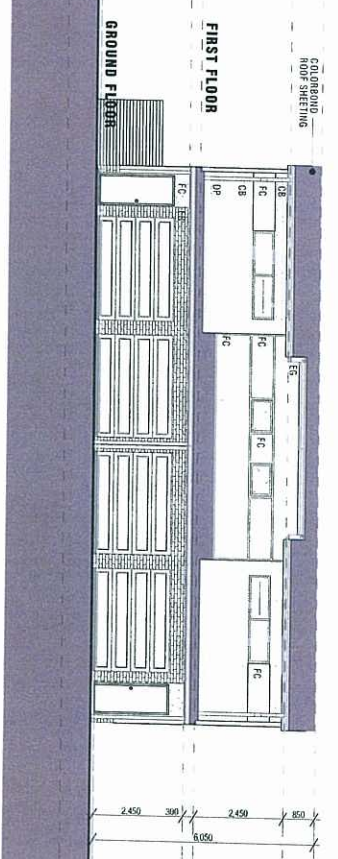
LEGEND	
CB	CHAMFER BOARDS
FB	FACE BRICK
FC	FIBROUS CEMENT
EG	EAVES GUTTER
DP	DOWNPIPE
BAL	BALUSTRADE
WH	WINDOW HOOD
PDR	POWDER ROOM
ST	STORE
FR	FRIDGE
PA	PANTRY
WT	WATER TANK
LN	LINEN
WIR	WALK-IN ROBE



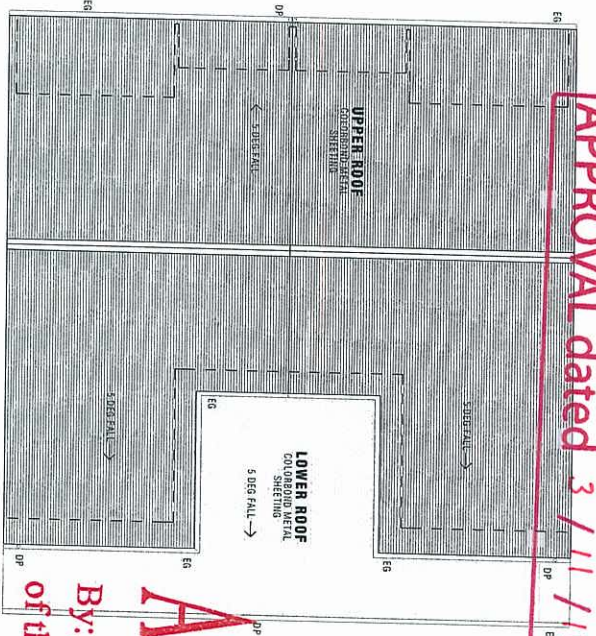
2 FIRST FLOOR PLAN 1:100@A1
TOWN VILLAS 2, 4, 12, 14



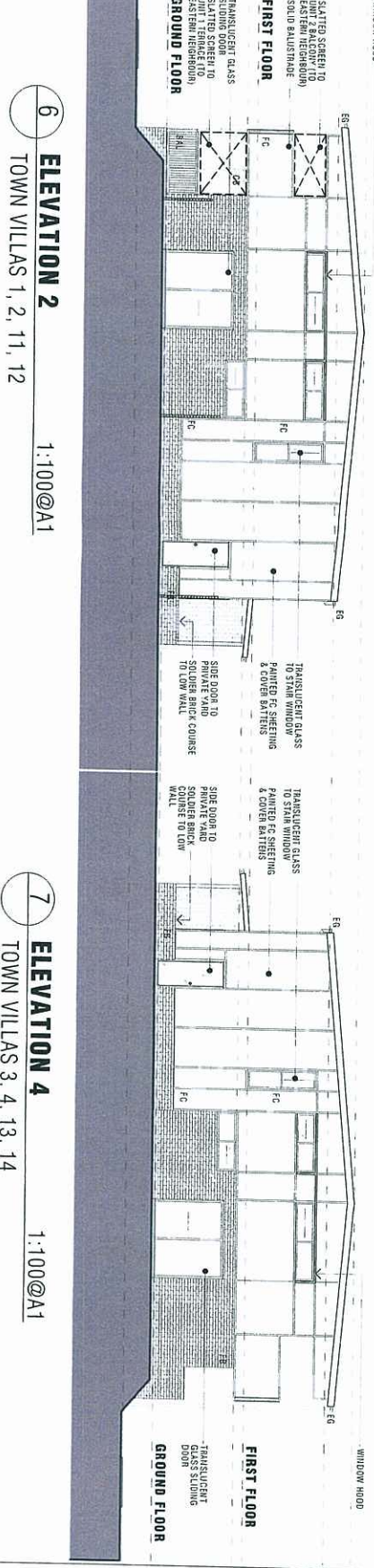
4 ELEVATION 1 1:100@A1
TOWN VILLAS 1-4, 11-14



5 ELEVATION 3 1:100@A1
TOWN VILLAS 1-4, 11-14



3 ROOF PLAN 1:100@A1
TOWN VILLAS 1-4, 11-14



6 ELEVATION 2 1:100@A1
TOWN VILLAS 1, 2, 11, 12

7 ELEVATION 4 1:100@A1
TOWN VILLAS 3, 4, 13, 14

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

AMENDED IN RED
31 OCT 2011
By: Matt Teon (name)
of the ULDA

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE
COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS
REPRODUCTION OR DISTRIBUTION IS FORBIDDEN
WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS
DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT
THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL
APPLICABLE CODES, REGULATIONS & AUSTRALIAN
STANDARDS

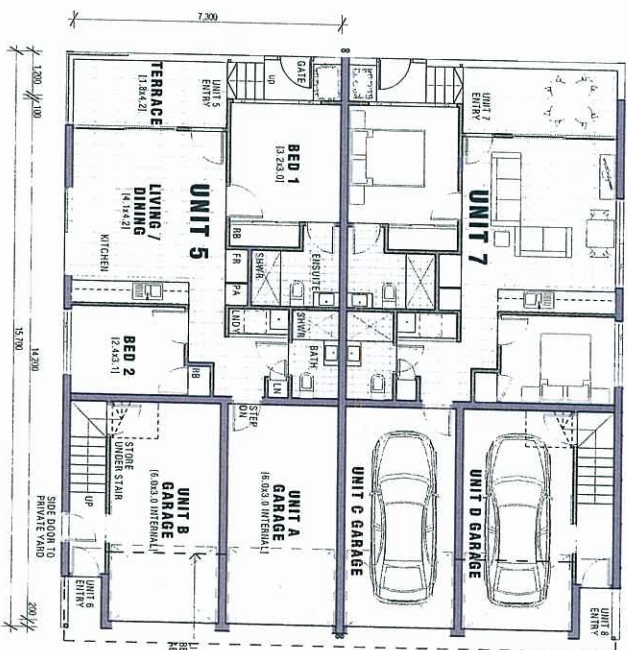
PRELIMINARY ONLY NOT FOR CONSTRUCTION	
REV.	ISSUE
A	FOR APPROVAL
B	FOR APPROVAL
C	FOR APPROVAL
D	FOR APPROVAL
E	FOR APPROVAL
F	FOR APPROVAL

NOTES:
CEILING FANS TO MAIN LIVING SPACE
& ALL BEDROOMS.

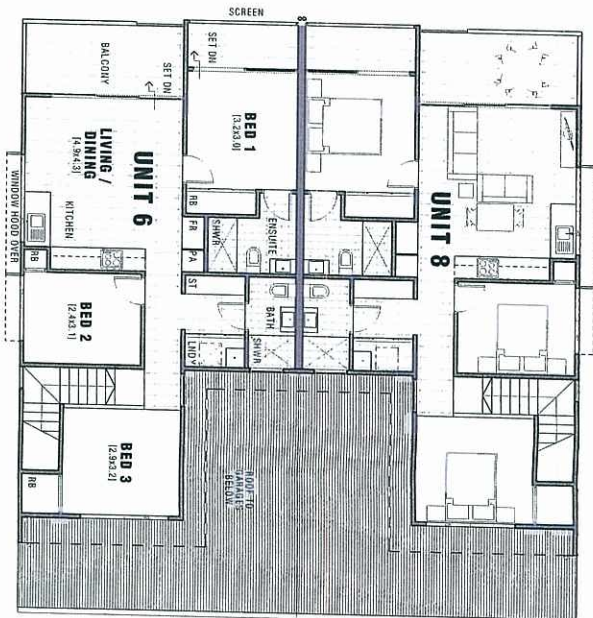
PAUL BUTTERWORTH ARCHITECT
PO BOX 2480
KEPHERA QLD 4054
07 3831 0770
0405 840 115
6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4005
mailto:pbut@collect.net.au
www.pbutcollect.net.au

PROJECT NEW TOWN VILLA DEVELOPMENT	
at LAVENDER PLACE, FITZGIBBON QLD	
CLIENT EKKOPOINT PROPERTIES	JOB No. 101003
DRAWING TYPICAL TOWN VILLAS [UNITS 1 - 4, 11 - 14]	No. DA1.1 ISSUE F
SCALE 1:100@A1; 1:200@A3	DATE 27.10.2011
DRAWN PJB	CHECKED PJB
2 10 NORTH	

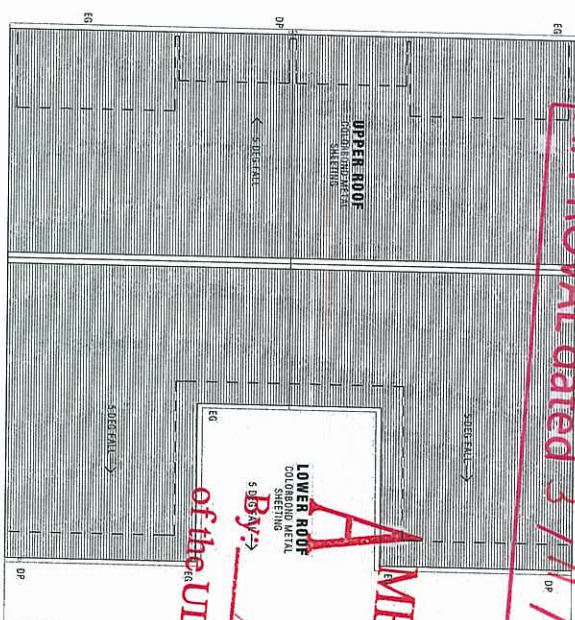
units 5+7 Accessible design unit
in accordance with ulda accessible design guideline.



1 GROUND FLOOR PLAN 1:100@A1
TOWN VILLAS 5 & 7



2 FIRST FLOOR PLAN 1:100@A1
TOWN VILLAS 6 & 8



3 ROOF PLAN 1:100@A1
TOWN VILLAS 5 - 8

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

AMENDED IN RED
31 OCT 2011
of the ULDA

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE
COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS
REPRODUCTION OR DISTRIBUTION IS FORBIDDEN
WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS
DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT
THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL
APPLICABLE CODES, REGULATIONS & AUSTRALIAN
STANDARDS

PRELIMINARY ONLY
NOT FOR CONSTRUCTION
REV. ISSUE DATE
A FOR APPROVAL 27.10.2011

NOTES:
TOWN VILLAS 5 & 7 TO BE EQUIPPED
TO BE ACCESSIBLE BY THE DISABLED:
970mm WIDE DOORWAYS TO
BEDROOMS, BATHROOM & HALLWAY
PLUS ADDITIONAL NOSSINGS TO THE
BATHROOMS TO FACILITATE
RETROFITTING HANDRAILS
CEILING FANS TO MAIN LIVING SPACE
& ALL BEDROOMS.

PAUL BUTTERWORTH ARCHITECT

PO BOX 2480
KEPERRA QLD 4054
07 3831 0770
0405 840 115

6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
ma@pbarchitect.net.au
www.pbarchitect.net.au

PROJECT
NEW TOWN VILLA
DEVELOPMENT

at
LAVENDER PLACE,
FITZGIBBON QLD

CLIENT

EKKOPOINT PROPERTIES

JOB No. 101003

DRAWING

TOWN VILLA TYPE C
[UNITS 5 - 8]

No. DA1.4 ISSUE A

SCALE 1:100@A1; 1:200@A3

DATE 27.10.2011

DRAWN PJB

CHECKED PJB



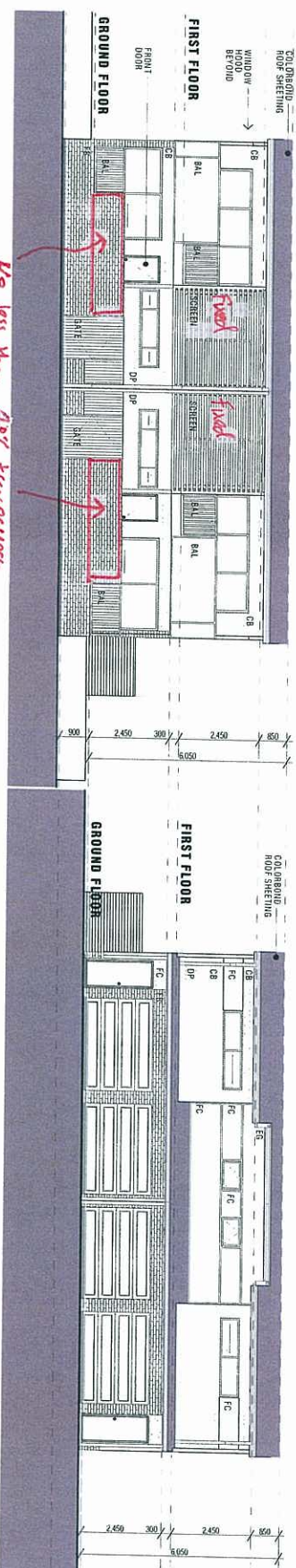
TOWN VILLA C PERSPECTIVE FROM LAVENDER PLACE PARK

TOWN VILLA C AREAS SCHEDULE

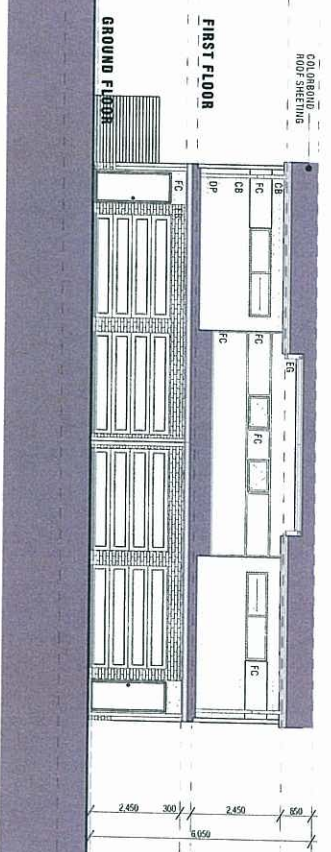
GROUND FLOOR UNIT GFA:	55.0 sq.m.
FIRST FLOOR UNIT GFA:	78.0 sq.m.
TOTAL GFA: (UNITS 11 - 14)	266.0 sq.m.
SINGLE GARAGE:	18.0 sq.m. each
LOWER UNIT TERRACE:	7.6 sq.m. each
UPPER UNIT BALCONY:	12.5 sq.m. each

LEGEND

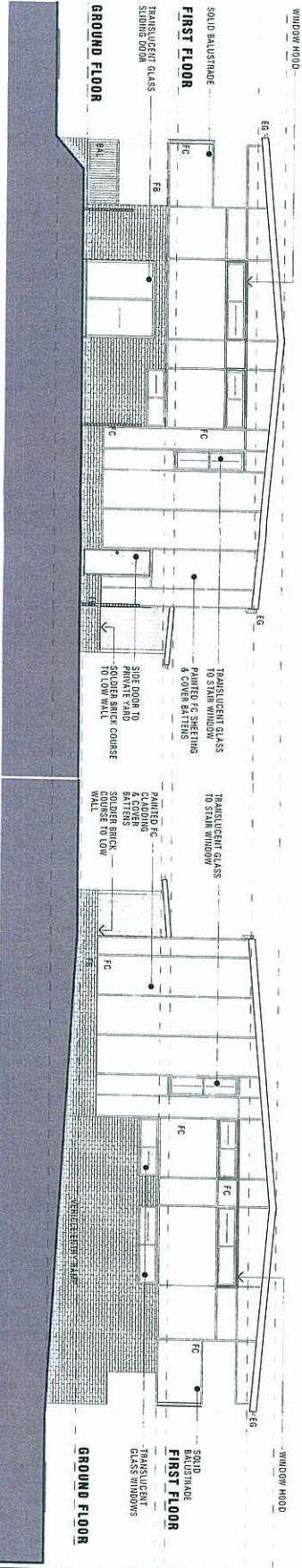
CB	CHAMFER BOARDS
FB	FACE BRICK
FC	FIBROUS CEMENT
EG	EAVES GUTTER
DP	DOWNGUTTER
BAL	BALUSTRADE
WH	WINDOW HOOD
PDR	POWDER ROOM
ST	STORE
FR	FRIDGE
PA	PANTRY
LN	WATER TANK
WIR	WALK-IN ROBE



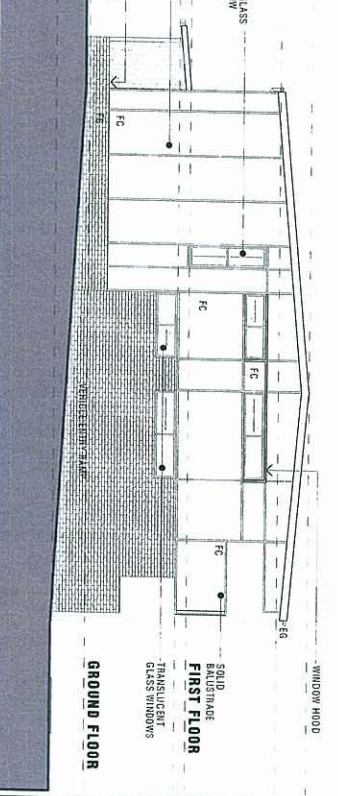
4 ELEVATION 1 1:100@A1
TOWN VILLAS 5 - 8



5 ELEVATION 3 1:100@A1
TOWN VILLAS 5 - 8



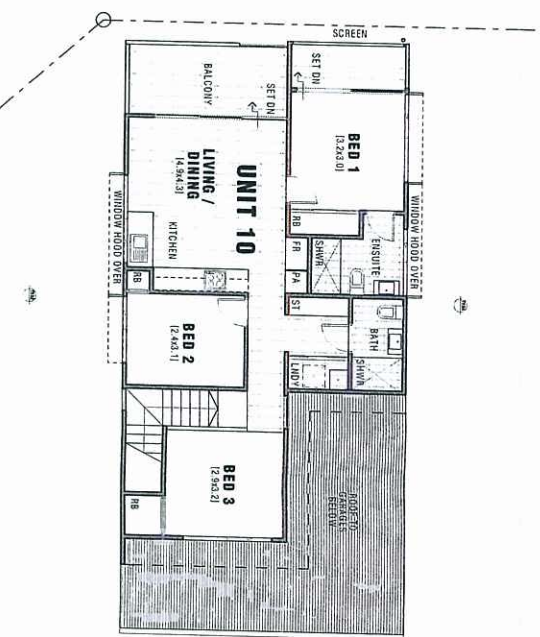
6 ELEVATION 2 1:100@A1
TOWN VILLAS 5 & 6



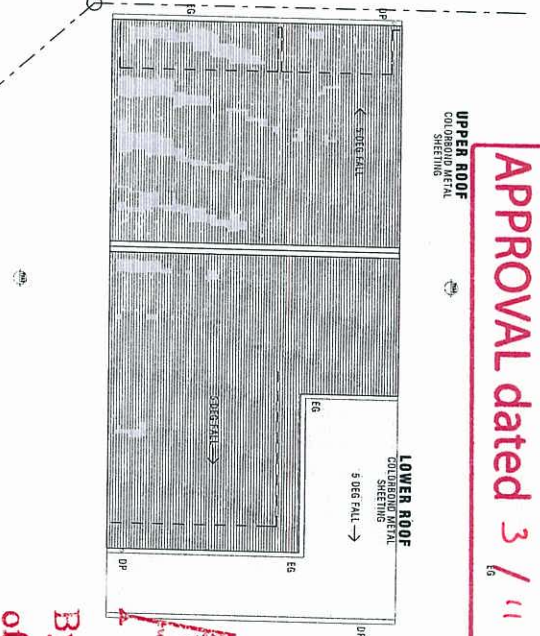
7 ELEVATION 4 1:100@A1
TOWN VILLAS 7 & 8



1 GROUND FLOOR PLAN 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]



2 FIRST FLOOR PLAN 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]



3 ROOF PLAN 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

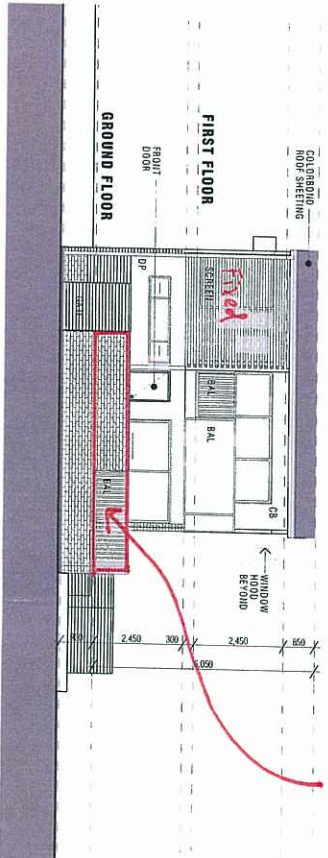
AMENDED IN RED
31 OCT 2011
By: Matt Tena (name)
of the ULDA



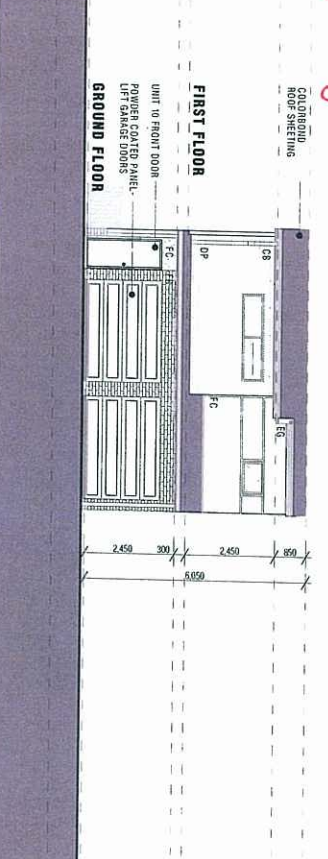
TOWN VILLA A PERSPECTIVE FROM LAVENDER PLACE PARK

TOWN VILLA A AREAS SCHEDULE	
GROUND FLOOR UNIT GFA:	56.0 sq.m.
FIRST FLOOR UNIT GFA:	78.0 sq.m.
TOTAL GFA: (UNITS 9 & 10)	133.0 sq.m.
SINGLE GARAGE:	18.0 sq.m. each
LOWER UNIT TERRACE:	9.7 sq.m. each
UPPER UNIT BALCONY:	12.5 sq.m. each

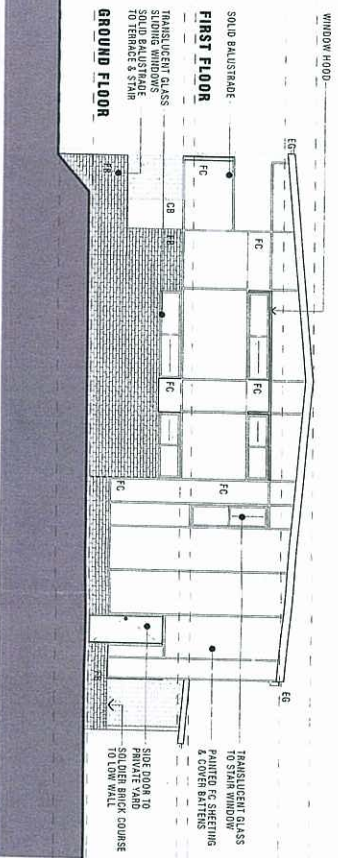
LEGEND	
CB	CHAMFER BOARDS
FB	FACE BRICK
FC	FIBROUS CEMENT
EG	EAVES GUTTER
DP	DOWNPIPE
BAL	BALUSTRADE
WH	WINDOW HOOD
PDR	POWDER ROOM
ST	STORE
FR	FRIDGE
PA	PANTRY
WT	WATER TANK
LN	LINEN
WR	WALK-IN ROBE



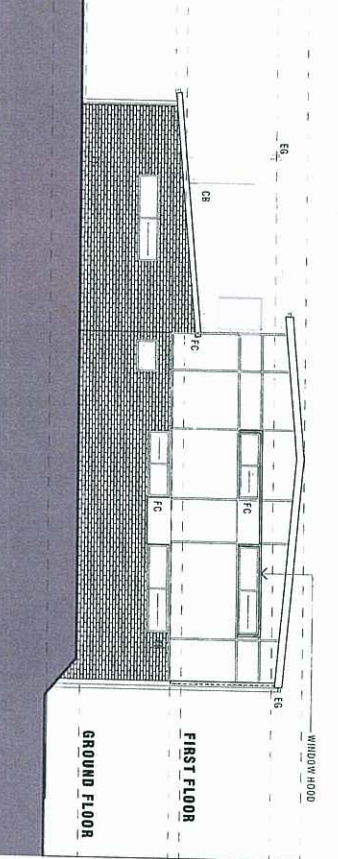
4 ELEVATION 1 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]



5 ELEVATION 3 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]



6 ELEVATION 2 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]



7 ELEVATION 4 1:100@A1
TOWN VILLA TYPE A [UNITS 9 & 10]

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS REPRODUCTION OR TRANSMISSION OF THE ARCHITECT WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT IS PROHIBITED
IF IN DOUBT REGARDING THE CORRECTNESS OF THIS DRAWING OR ANY PART THEREOF, CONSULT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL APPLICABLE CODES, REGULATIONS & AUSTRALIAN STANDARDS

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

REV.	ISSUE	DATE
A	FOR APPROVAL	12.10.2011

NOTES:
CEILING FANS TO MAIN LIVING SPACE & ALL BEDROOMS.

PAUL BUTTERWORTH ARCHITECT
PO BOX 2480
KEPPERS QLD 4054
07 3831 0770
0405 840 115
6 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
mai@pbarchitect.net.au
www.pbarchitect.net.au

PROJECT
NEW TOWN VILLA
DEVELOPMENT

CLIENT
at
LAVENDER PLACE,
FITZGIBBON QLD

CLIENT
EKKOPOINT PROPERTIES

DRAWING
TOWN VILLA TYPE A
[UNITS 9 & 10]

No. DA1.2 ISSUE A

SCALE 1:100@A1, 1:200@A3

DATE 12.10.2011

DRAWN PJB CHECKED PJB

2 10 M NORTH

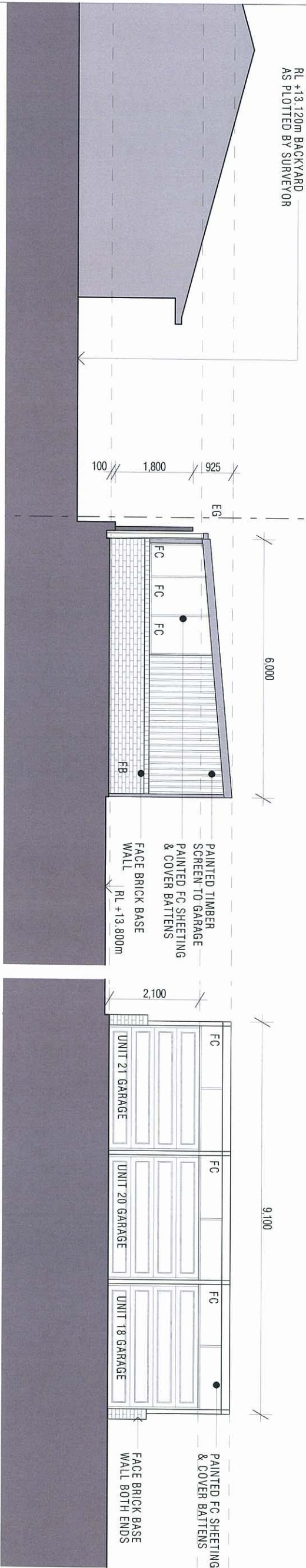
EASTERN SITE
BOUNDARY

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 11 / 11

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS
VERIFY ALL DIMENSIONS & LEVELS ON SITE BEFORE
COMMENCING CONSTRUCTION
THIS DRAWING IS COPYRIGHT PROTECTED & ITS
REPRODUCTION OR DISTRIBUTION IS FORBIDDEN
WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECT
IF IN DOUBT REGARDING ANYTHING CONTAINED IN THIS
DRAWING OR WITHIN ITS CONTENTS PLEASE CONTACT
THE ARCHITECT IMMEDIATELY FOR CLARIFICATION
ALL CONSTRUCTION WORK IS TO COMPLY WITH ALL
APPLICABLE CODES, REGULATIONS & AUSTRALIAN
STANDARDS

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

REV.	ISSUE	DATE
A	FOR APPROVAL	27.10.2011



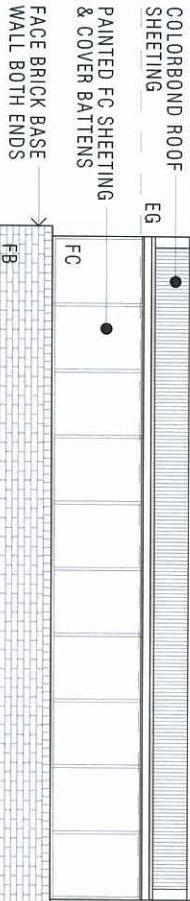
DETACHED GARAGES - ELEVATION 1 [NORTH]

DETACHED GARAGES - ELEVATION 2 [WEST]

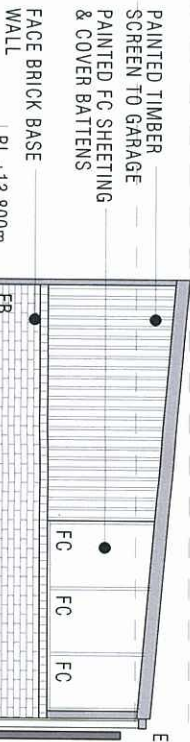
EASTERN SITE
BOUNDARY

RL +13.120m BACKYARD
AS PLOTTED BY SURVEYOR

5 DEGREE PITCH



DETACHED GARAGES - ELEVATION 3 [EAST]



DETACHED GARAGES - ELEVATION 4 [SOUTH]

PROJECT
NEW TOWN VILLA
DEVELOPMENT

at
LAVENDER PLACE,
FITZGIBBON QLD

CLIENT
EKKOPOINT PROPERTIES

JOB No. 101/003

DRAWING
**DETACHED GARAGES:
ELEVATIONS**

No. **DAO.9** **ISSUE** A

SCALE 1:50@A1; 1:100@A3

DATE 27.10.2011

DRAWN PJB **CHECKED** PJB

2 10 M
NORTH

PAUL BUTTERWORTH ARCHITECT

PO BOX 2480
KEPPERA QLD 4054
07 3851 0770
0405 840 715

5 / 72A WICKHAM STREET
FORTITUDE VALLEY QLD 4006
mail@pbarchitect.net.au
www.pbarchitect.net.au

PLANS AND DOCUMENTS referred to in the ULDA

APPROVAL dated 3/11/15

STRUCTURE NAME	STRUCTURE DESCRIPTION
1	1050 DIA MAINTENANCE HOLE
2	CLASS "B" FRAME AND LID
3	600 X 600 GRATED INLET PIT
4	CLASS "D" GRATE
5	600 X 600 GRATED INLET PIT
6	CLASS "D" GRATE
7	600 X 600 GRATED INLET PIT
8	CLASS "D" GRATE
9	600 X 600 GRATED INLET PIT
10	CLASS "D" GRATE
11	600 X 600 GRATED INLET PIT
12	CLASS "D" GRATE

LEGEND

EXISTING

PROPOSED

KEB AND CHANNEL

EDGE OF CONCRETE

CONTROL LINE

DRAINAGE

SEWER

WATER

RETAINING WALL

STRUCTURE NUMBER

Ø 1050 MANHOLE

600x600 FIELD INLET

CONCRETE PAVEMENT

REFER ARCHITECT FOR FINISHING DETAILS

DIRECTION OF FLOW

× EX 13.00

EXISTING SURFACE LEVEL

STORMWATER DRAINAGE NOTES

1 MATERIALS

1.1 PIPES
PIPES WORK SHALL COMPLY WITH THE FOLLOWING UNLESS NOTED OTHERWISE:

SIZE	CLASS	TYPE	JOINTING
≤ 300 DIA	2	LSMR FRC OR FOR UPVC	RRJ
300 - 600 DIA	3	RCP/FRC	SPIGOT AND SOCKET RRJ
≥ 675 DIA	3	RCP	INTERNAL FLUSH JOINT WITH EXTERNAL RUBBER BANDS

1.2 BEDDING AND BACKFILL

1.2.1 BEDDING, HAUNCH & SIDE ZONE MATERIAL. THIS MATERIAL SHALL CONFORM TO THE FOLLOWING GRADING.

AS SIEVE SIZE	PIPES TO 1200Ø	PIPES TO 1350Ø OR LARGER
19.000	100	98 - 100
9.500	-	35 - 50
4.750	-	5 - 10
2.360	50 - 100	0 - 2
0.425	15 - 70	0 - 1
0.075	0 - 10	0 - 1

1.2.2 BACKFILL & OVERLAY ZONE. THE BACKFILL AND OVERLAY SHALL CONFORM TO THE FOLLOWING.

LOCATION	TRENCH	EMBANKMENT
EXISTING ROAD TO REMAIN IN USE	REFER PIPE DETAIL	N/A
NEW ROAD	GRAVEL (GR>15% SOAKED)	ORDINARY FILL
OTHER LOCATIONS	ORDINARY FILL	ORDINARY FILL

IN ADDITION TO THE ABOVE REQUIREMENTS, BACKFILL SHALL NOT CONTAIN ORGANIC MATERIAL AND OVERLAY ZONE MATERIAL SHALL NOT CONTAIN STONE GREATER THAN 25mm SIEVE SIZE.

2 CONSTRUCTION

2.1 UNLESS NOTED OTHERWISE BEDDING TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS. FOR ALL PIPES HS2 BEDDING IS TO BE USED. FOR ALL PLASTIC PIPES THE BEDDING MATERIAL IS TO EXTEND 15mm ABOVE THE CROWN OF THE PIPE.

2.2 A 20m LENGTH OF 80 DIA SUBSOIL DRAIN, SLEEVED IN A GEOTEXTILE SOCK, IS TO BE PLACED IN THE BEDDING UPSTREAM OF ALL DRAINAGE STRUCTURES OUTFALLING INTO THE DRAINAGE STRUCTURE.

2.3 WORKS UNDER EXISTING PAVEMENT (WHICH IS TO REMAIN IN USE)

2.3.1 LOCAL AUTHORITY AND STATE CONTROLLED ROADS. UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT NEW WORKS ARE TO BE PLACED BY TUNNEL BORING.

2.3.2 OTHER PAVEMENTS. ADOPT PIPE DETAIL - TRENCH THROUGH EXISTING ROAD.

