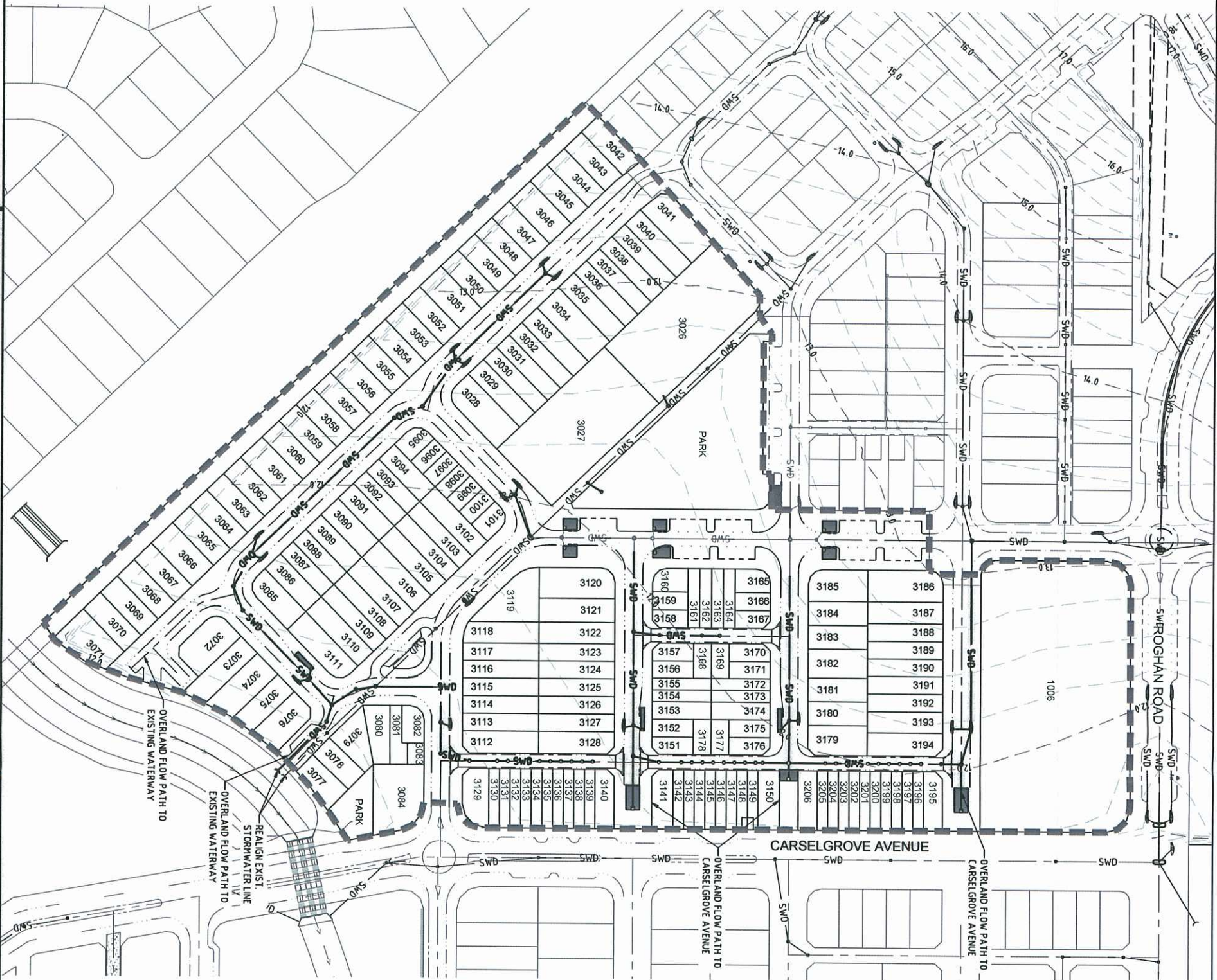
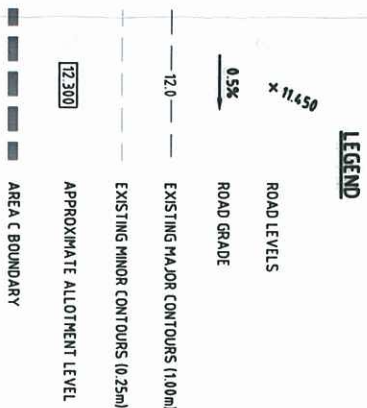
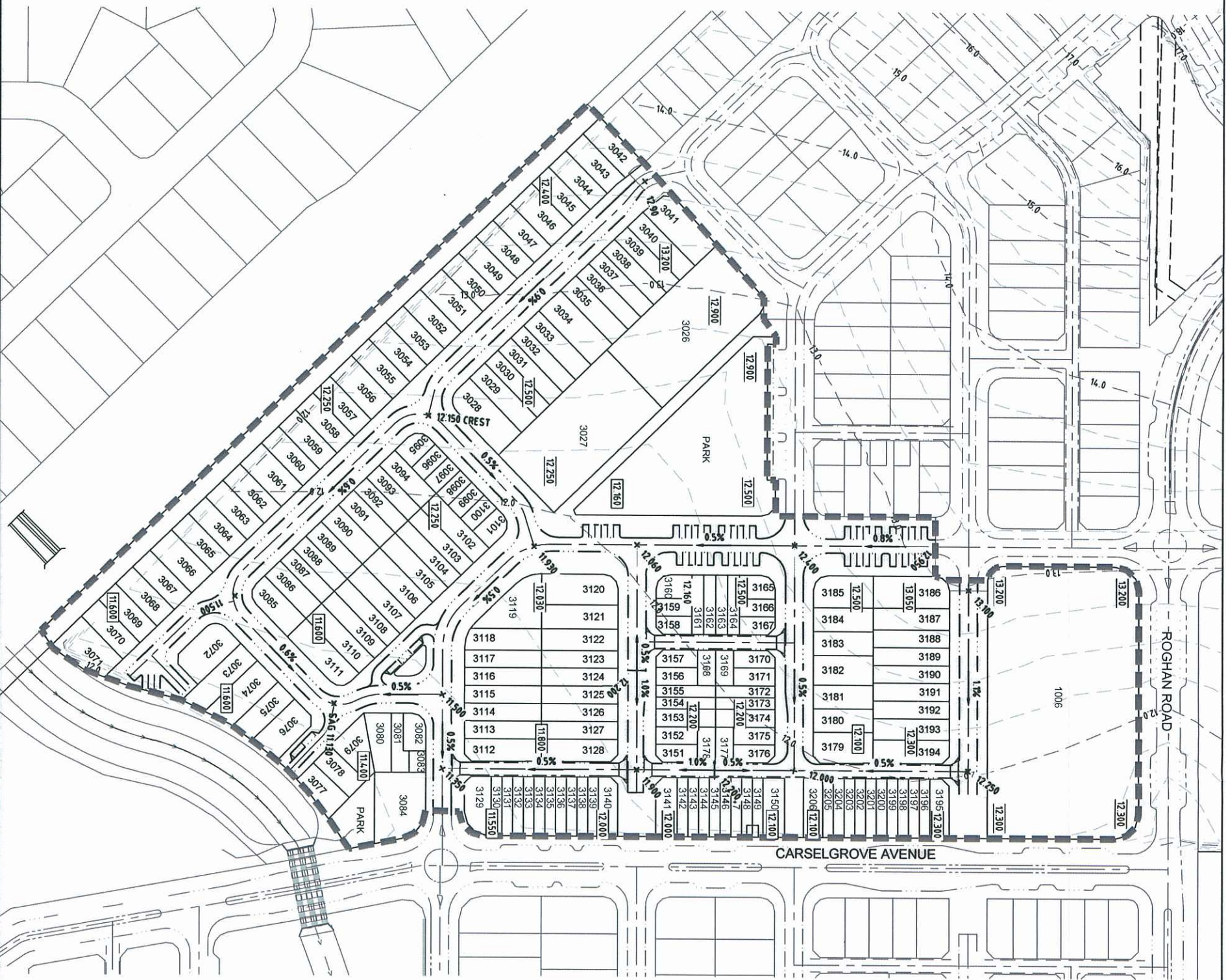




- LEGEND**
- SWD — PROPOSED STORMWATER
 - SWD — PROPOSED BIO-RETENTION AREA
 - SWD — EXISTING STORMWATER
 - 12.0 — EXISTING MAJOR CONTOURS (1.0m)
 - — EXISTING MINOR CONTOURS (0.25m)
 - — AREA C BOUNDARY

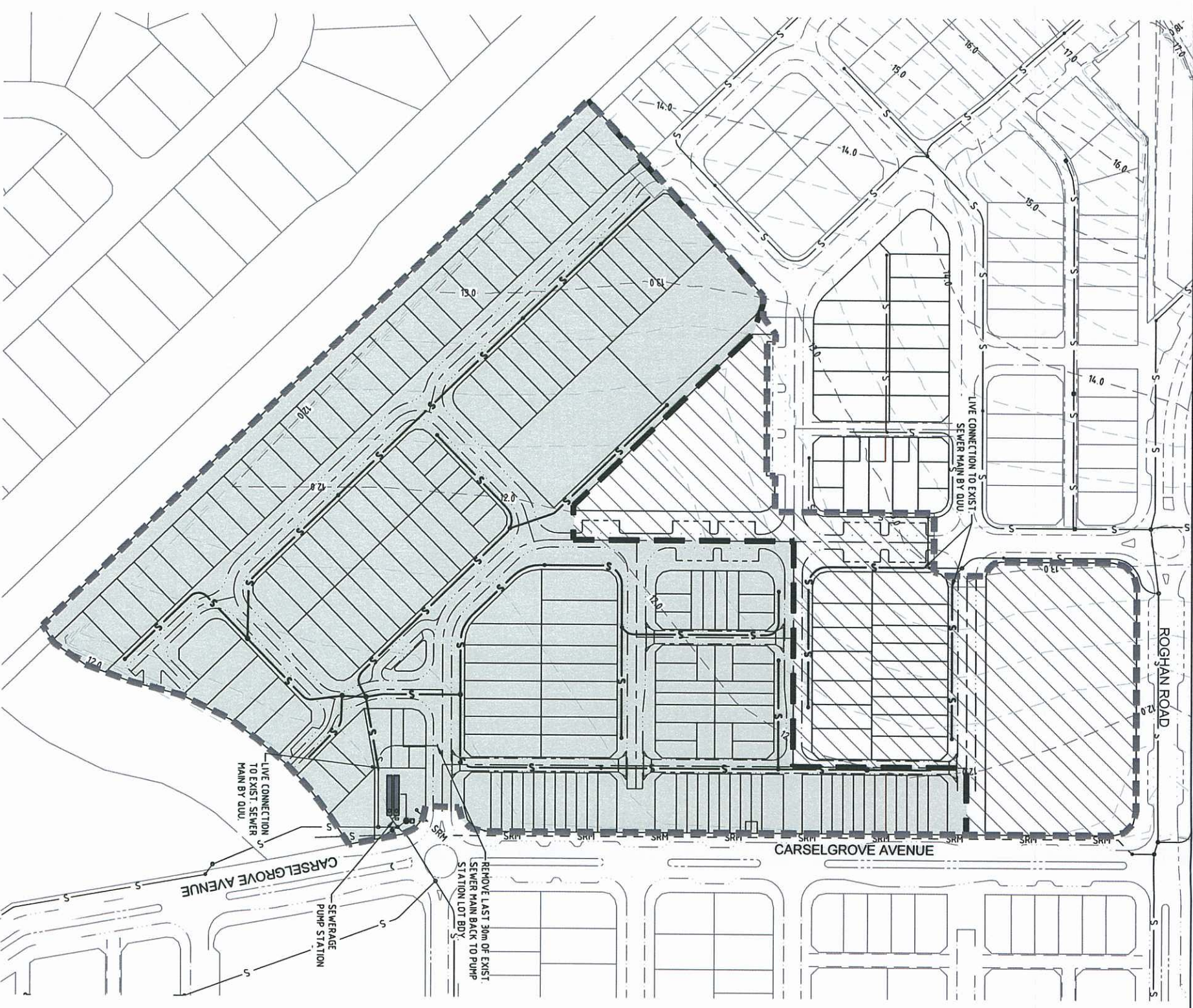
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ASSOCIATED CONSULTANTS		CLIENT	
PROJECT FITZGIBBON CHASE - AREA C 253 TELEGRAPH ROAD, FITZGIBBON PRELIMINARY STORMWATER SCHEMATIC		DESIGNED A.L. C.S. DATE NOVEMBER 2010	
SHEET SK02 REV B		APPROVED DATE	
ARCHITECTS BRISSANE 555 CORONATION DRIVE, TOOWONG QLD 4068 PH: (07) 3377 7800 FAX: (07) 3377 5019 EMAIL: info@brissane.com.au		SUNSHINE COAST 20 INNOVATION PARKWAY, BERTINA QLD 4575 PH: (07) 5458 8100 FAX: (07) 5458 8200 EMAIL: info@brissane.com.au	
PAPUA NEW GUINEA PORT MORSBY 5TH FLOOR CATHBERTSON HOUSE, PO BOX 606 TELEPHONE (677) 321 1333 FACSIMILE (677) 321 7653 EMAIL: papua@brissane.net.au		JOB CODE: ULDSFCC1	
ARCHITECTS CIVIL & STRUCTURAL ENGINEERS		SHEET NUMBER SK02 REV B	
www.brissane.net.au		TOWN OF FITZGIBBON 10/11/2011	



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ASSOCIATED CONSULTANTS		CLIENT	
PROJECT FITZGIBBON CHASE - AREA C		URBAN LAND DEVELOPMENT AUTHORITY	
LOCATION 253 TELEGRAPH ROAD, FITZGIBBON			
SHEET ROADWORKS LAYOUT PLAN			
DATE NOVEMBER 2010		DATE NOVEMBER 2010	
DESIGNED A.L.		APPROVED DATE	
CHECKED C.S.		SCALE 1:1000 (A1)	
DATE NOVEMBER 2010		DATE NOVEMBER 2010	
ARCHITECTS CIVIL & STRUCTURAL ENGINEERS		ARCHITECTS CIVIL & STRUCTURAL ENGINEERS	
BRISEBANE 555 CORPORATION DRIVE, TOOWONG QLD 4066 PH: (07) 5371 7000 FAX: (07) 5371 5079 EMAIL: info@brisebane.net.au		SUNSHINE COAST 20 INNOVATION PARKWAY, BERTINIA QLD 4575 PH: (07) 5428 8100 FAX: (07) 5428 8200 EMAIL: info@sunshinecoast.net.au	
PAPUA NEW GUINEA 5TH FLOOR, CATHEDRAL HOUSE, PO BOX 606 TEL: (675) 321 1333 FAX: (675) 321 7633 EMAIL: info@papua.net.pg		ULDSFCC1	
ET S GROUP		SHEET NUMBER: REV SK01 B	
www.etsgroup.net.au		FORM E227 MAY 2000	



- LEGEND**
- S — PROPOSED SEWER GRAVITY MAIN
 - S — EXISTING SEWER GRAVITY MAIN
 - SRM — EXISTING SEWER RISING MAIN
 - AREA C SEWER GRAVITY TO ROGHAN ROAD
 - SEWER TO PUMP STATION CATCHMENT BOUNDARY
 - AREA C SEWER GRAVITY TO PUMP STATION
 - 12.0 — EXISTING MAJOR CONTOURS (1.00m)
 - — EXISTING MINOR CONTOURS (0.25m)
 - — AREA C BOUNDARY

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CLIENT		DESIGNED		APPROVED		DATE	
URBAN LAND DEVELOPMENT AUTHORITY		A.L.		KEITH HOWELLS		RPG 2755	
PROJECT		DRAWN		CHECKED		DATE	
FITZGIBBON CHASE - AREA C		C.S.					
LOCATION		DATE		SCALE		SCALE	
253 TELEGRAPH ROAD, FITZGIBBON		NOVEMBER 2010		0 20 40 60m		SCALE 1:1000 (A1)	
SHEET		DATE		ARCHITECTS		ARCHITECTS	
PRELIMINARY SEWER SCHEMATIC				BIRGBANE AUSTRALIA		SUNSHINE COAST	
				555 CORONATION DRIVE, TOOWONG QLD 4066		20 INNOVATION PARKWAY, BIRGINIA QLD 4575	
				PH (07) 3277 7000 FAX (07) 3277 5079		PH (07) 5458 8100 FAX (07) 5458 8200	
				EMAIL: info@birgbanecorp.com.au		EMAIL: info@birgbanecorp.com.au	
				8TH FLOOR CANTERBURY HOUSE, PO BOX 808		8TH FLOOR CANTERBURY HOUSE, PO BOX 808	
				TELEPHONE (07) 321 1333 FACSIMILE (07) 321 7063		TELEPHONE (07) 321 1333 FACSIMILE (07) 321 7063	
				BIRGBANE AUSTRALIA		BIRGBANE AUSTRALIA	
				PORT MORESBY		PORT MORESBY	
				ARCHITECTS • CIVIL & STRUCTURAL ENGINEERS		ARCHITECTS • CIVIL & STRUCTURAL ENGINEERS	
				E T S GROUP		E T S GROUP	
				www.etsgroup.net.au		www.etsgroup.net.au	
				JOB CODE: ULDSFCC1		JOB CODE: ULDSFCC1	
				SHEET NUMBER: SK03		SHEET NUMBER: SK03	
				REV: B		REV: B	
				COPYRIGHT: 2010		COPYRIGHT: 2010	

Construct and maintain the Houses on lots less than 250m² to include the following:

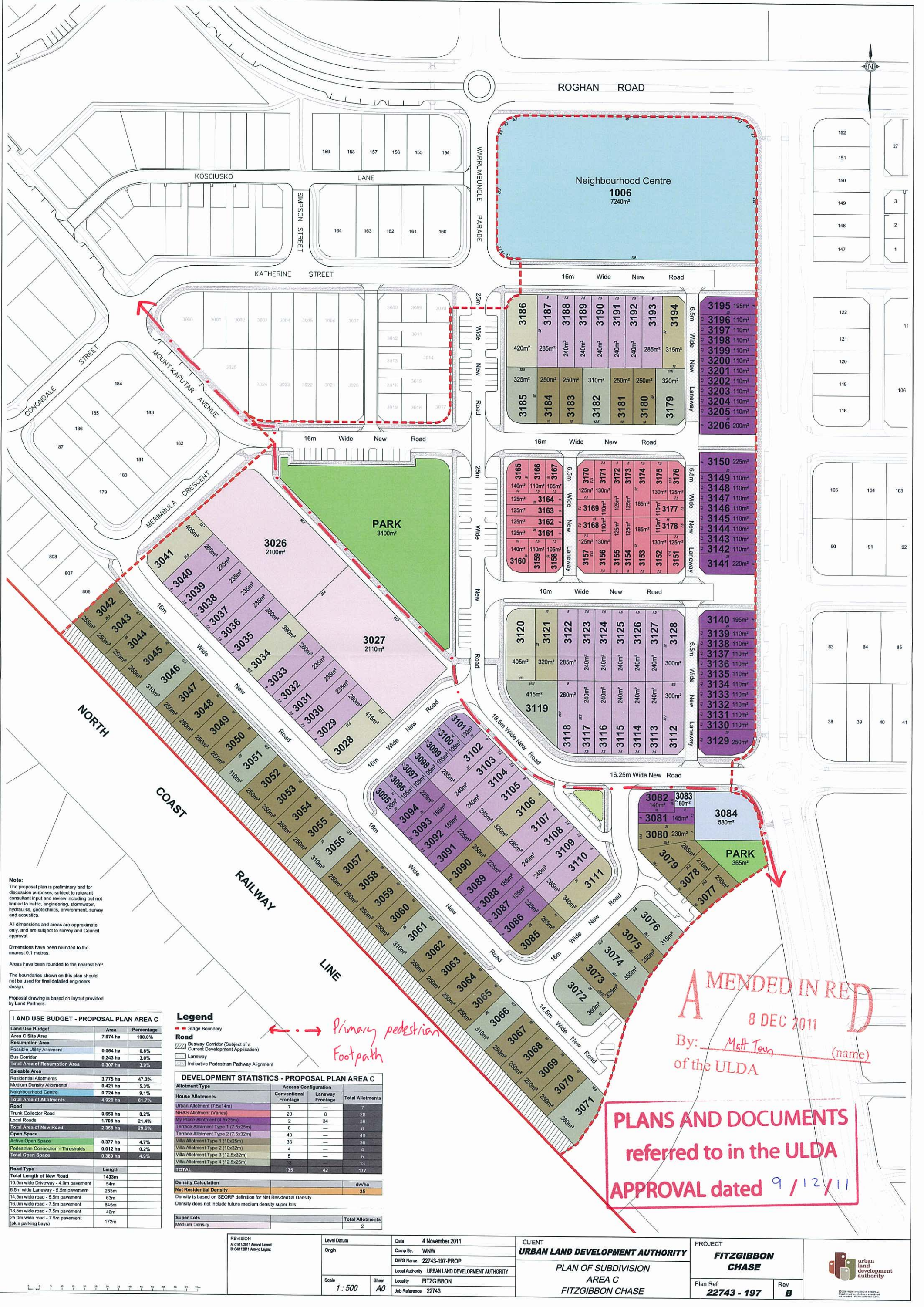
- All second storey side windows are to have fixed, external privacy screens or fixed opaque glazing at a sill height less than 1.5 metres above floor level on the side elevations of the buildings
- Any proposed fencing along the street alignment to be a maximum 1.2 metres in height and constructed of a semi-transparent material
- Where adjoining a residential boundary, erect a screen fence along the rear and backside elevations. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.
- Balustrades are to be 50% visually permeable
- Landscaping at the front of each lot/ dwelling is to be provided at a minimum depth of 500mm
- West facing windows to be provided with adequate sun shading

Unless otherwise indicated pavement width is to be a minimum of 7.5m wide.



A MENDED IN RED
8 DEC 2011
By: *Mat Town* (name)
of the ULDA

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Note:
The proposal plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Proposal drawing is based on layout provided by Land Partners.

LAND USE BUDGET - PROPOSAL PLAN AREA C		
Land Use Budget	Area	Percentage
Area C Site Area	7.974 ha	100.0%
Resumption Area		
Possible Utility Allotment	0.064 ha	0.8%
Bus Corridor	0.243 ha	3.0%
Total Area of Resumption Area	0.307 ha	3.9%
Saleable Area		
Residential Allotments	3.776 ha	47.3%
Medium Density Allotments	0.421 ha	5.3%
Neighbourhood Centre	0.724 ha	9.1%
Total Area of Allotments	4.920 ha	61.7%
Road		
Trunk Collector Road	0.650 ha	8.2%
Local Roads	1.708 ha	21.4%
Total Area of New Road	2.358 ha	29.6%
Open Space		
Active Open Space	0.377 ha	4.7%
Pedestrian Connection - Thresholds	0.012 ha	0.2%
Total Open Space	0.389 ha	4.9%
Road Type	Length	
Total Length of New Road	1433m	
10.0m wide Driveway - 4.0m pavement	54m	
6.5m wide Lane-way - 5.5m pavement	253m	
14.5m wide road - 5.5m pavement	63m	
16.0m wide road - 7.5m pavement	845m	
18.5m wide road - 7.5m pavement	46m	
25.0m wide road - 7.5m pavement (plus parking bays)	172m	

Legend

--- Stage Boundary

Road

Busway Corridor (Subject of a Current Development Application)
Laneway
Indicative Pedestrian Pathway Alignment

DEVELOPMENT STATISTICS - PROPOSAL PLAN AREA C

Allotment Type	Access Configuration	
House Allotments	Conventional Frontage	Laneway Frontage
Urban Allotment (7.5x14m)	7	7
NRAS Allotment (Varies)	20	8
My Place Allotment (4.5x25m)	2	34
Terrace Allotment Type 1 (7.5x25m)	8	8
Terrace Allotment Type 2 (7.5x32m)	40	40
Villa Allotment Type 1 (10x25m)	36	36
Villa Allotment Type 2 (10x32m)	4	4
Villa Allotment Type 3 (12.5x32m)	5	5
Villa Allotment Type 4 (12.5x25m)	13	13
TOTAL	135	177

Density Calculation

Net Residential Density

Density is based on SEQRP definition for Net Residential Density
Density does not include future medium density super lots

Super Lots

Medium Density

Total Allotments

2

REVISION
A: 01/11/2011 Amend Layout
B: 04/11/2011 Amend Layout

Level Datum
Origin

Scale
1 : 500

Sheet
A0

Date
4 November 2011

Comp By
WNW

DWG Name
22743-197-PROP

Local Authority
URBAN LAND DEVELOPMENT AUTHORITY

Locality
FITZGIBBON

Job Reference
22743

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY

PLAN OF SUBDIVISION

AREA C

FITZGIBBON CHASE

PROJECT

FITZGIBBON CHASE

Plan Ref

22743 - 197

Rev

B

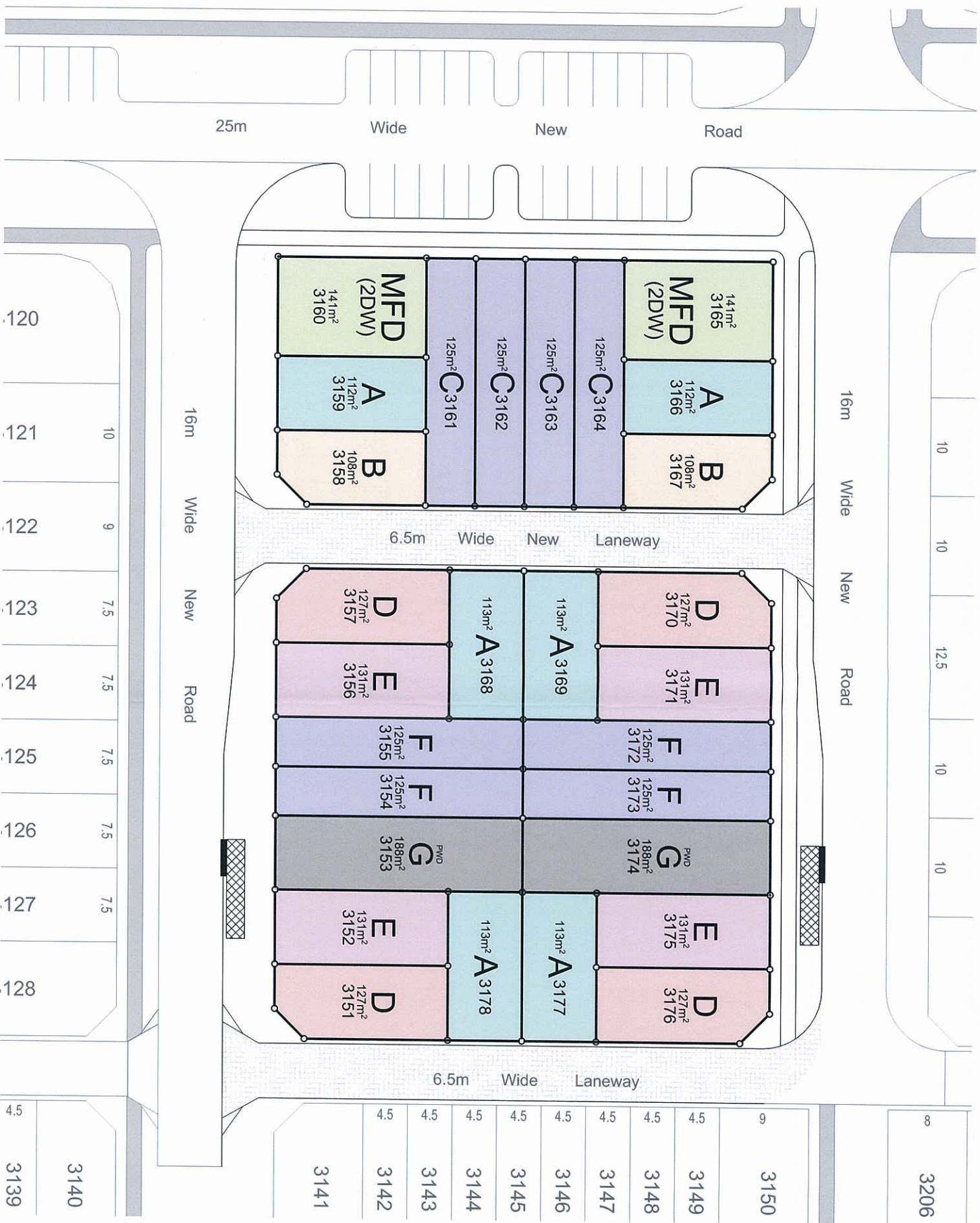
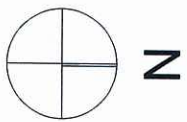


urban land development authority

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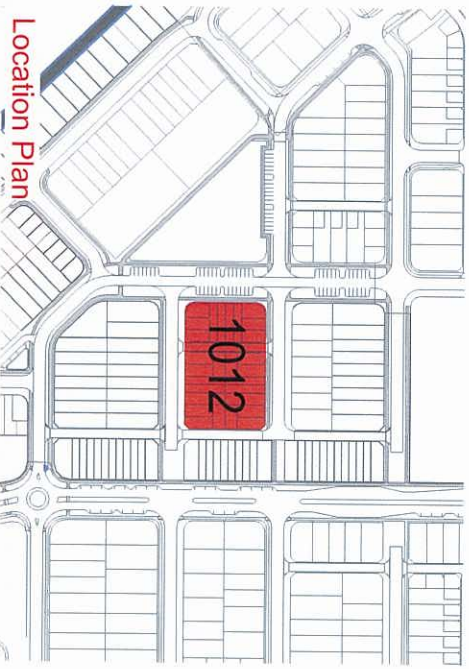
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Yield Statistics for Plan Area														
Lot Types	Street Access	Lane Access	5m Frontage	7.5m Frontage	10m Frontage	Area (m ²)	Single Storey	Double Storey	1 Bed Dwl	2 Bed Dwl	3 Bed Dwl	Bed per Type	Dwellings	Allocments
MFD (10m x 15m)	0	2	0	0	2	141	0	2	0	4	0	8	4	2
A (7.5m x 15m)	2	4	0	6	0	112	6	0	6	0	0	6	2	6
B (7.5m x 15m)	0	2	0	2	0	108	2	0	2	0	0	2	6	2
C (5m x 25m)	0	4	4	0	0	125	0	4	0	0	4	12	4	4
D (7.5m x 17.5m)	0	4	0	4	0	127	0	4	0	0	4	12	4	4
E (7.5m x 17.5m)	4	0	0	2	0	131	2	0	0	4	0	8	4	4
F (5m x 25m)	4	0	4	0	0	125	0	4	0	0	4	12	4	4
G (7.5m x 25m)	2	0	0	4	0	188	4	0	0	2	0	4	2	2
Totals	12	16	8	18	2	3,692	14	14	8	10	12	64	30	28

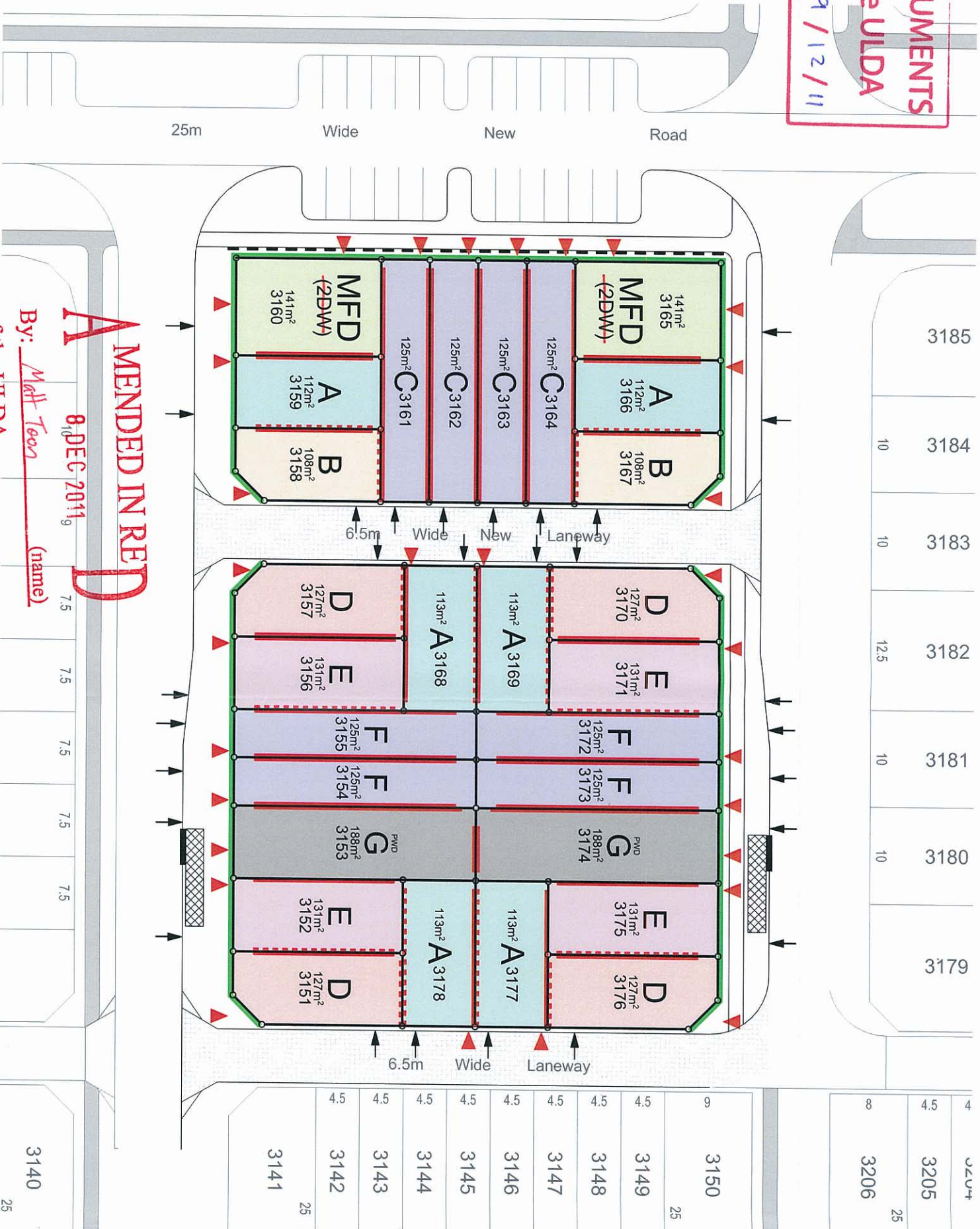


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Legend

- Vehicle Entry
Position Indicative Only
- Bio-retention Pod
Position Indicative Only
- Pedestrian Entry
Position Indicative Only
- Built-to-Bdy Walls
- Built-to-Bdy Open Structures
- Primary Frontage
- No Vehicle Entry
- Dwelling Type
PWD indicates an Accessible Dwelling



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By: Matt Teon (name)
of the ULDA

Site Development Table

Boundary	MDF Cnr Lots (10m Frontage)	A (7.5m Frontage)	B (7.5m Frontage)	C (5m Frontage)	D (7.5m Frontage)	E (7.5m Frontage)	F (5m Frontage)	G (7.5m Frontage)
Street Frontage	Gnd Floor 2.1m 1st Floor 0.9m	Gnd Floor 1.5m 1st Floor 0.9m	Gnd Floor 2.1m 1st Floor 0.9m	Gnd Floor 0.9m 1st Floor 0.9m	Gnd Floor 2.1m 1st Floor 0.9m	Gnd Floor 1.5m 1st Floor 0.9m	Gnd Floor 2.1m 1st Floor 2.1m	Gnd Floor 2.1m 1st Floor 2.1m
Rear (When not built to boundary)	0.9m	0.9m	0.9m	n/a	0.9m	0.9m	2.1m	2.1m
Side - General Lots	n/a	n/a	n/a	0.025m	0.025m	0.025m	0.0m	0.025m
Built to Boundary	n/a	n/a	n/a	0.025m	0.025m	0.025m	0.0m	0.025m
Non Built to Boundary	0.9m	0.9m	n/a	0.9m	1.5m	0.9m	0.9m	0.9m
Corner Lots - Secondary Frontage	0.0m	n/a	n/a	n/a	0.0m	n/a	n/a	n/a
Laneway Lots	n/a	n/a	n/a	0.5m	0.5m	n/a	n/a	n/a
Laneway Frontage	n/a	2.1m	0.0m	0.5m	0.0m	n/a	n/a	n/a

- Notes-**
- General:**
- All development is to be undertaken in accordance with the Development Approval.
 - Building height is a maximum of 3 storeys.
 - Dimensions have been rounded to the nearest 0.1m.
 - Areas have been rounded to the nearest 5m.
 - Plans of Development controls have been based partly on the controls for area C as proposed by RPS.

Orientation:

- Setbacks are to be in accordance with the Site Development Table unless otherwise specified.
- For Urban Lot 10 Typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.
- The location of built to boundary walls are indicated on the Plan of Development.
- Mandatory built to boundary walls are to have maximum height of 9m and should not exceed the prescribed setbacks of the lot.
- Open structure built to boundary walls are to have a maximum length of 15 metres and maximum height of 3.5 metres, where open structure built to boundary walls are not adopted, side setbacks shall be in accordance with the Site Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street Frontage where eaves may extend to the street boundary.
 - Rear lane boundary eaves can extend to 300 mm from the boundary wall of the structure is setback 0.5m.
- Building corners may extend to the boundary on a corner lot.

Parking:

- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling
Other
which may be in tandem - 2 spaces per dwelling.
- Parking spaces on driveways do not have to comply with AS2890.
- Allotments with rear laneway must locate garages and carports off the laneway. Garages and carports served off a laneway must be built between 0m and 0.5m off the rear boundary.

Site Cover and Private Open Space:

- Site cover must not exceed 85%.
- Private amenity space accessible from the ground floor must not be less than 9m² with a minimum dimension of 3 m. Private amenity space for houses with living areas located on the first floor must not be less than 6m² which may be in the form of a balcony with a minimum dimension of 1.8 metres.

Fencing:

- Fencing on all Primary Street Frontages is to be 1.5m and 50% transparent and not exceed 1.5m in height. Alternatives may be permitted where Fitzgibbon Chase Design Guideline approval has been given by an officer of the ULDA Fitzgibbon Chase Development Team.

Definitions:

- Laneway Allotments - Lot by a Laneway
- Streets - Roads/Streets other than a Laneway

