

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 9 / 12 / 11

Type MFD



UNIT 1 AREAS (M²):	
GROUND FLOOR AREAS (M²):	
INTERNAL	29.3 m²
CARPORT	15.6 m²
PORCH	2.0 m²
TOTAL	46.9 m²
FIRST FLOOR AREAS (M²):	
INTERNAL	48.8 m²
BALCONY	3.7 m²
TOTAL	52.5 m²
UNIT 2 AREAS (M²):	
GROUND FLOOR AREAS (M²):	
INTERNAL	29.3 m²
CARPORT	16.6 m²
PORCH	3.5 m²
TOTAL	49.4 m²
FIRST FLOOR AREAS (M²):	
INTERNAL	49.5 m²
BALCONY	3.8 m²
TOTAL	53.3 m²
COMPLIANCE AREAS (M²):	
PRIVATE OPEN SPACE (POS) 1	11.1 m²
PRIVATE OPEN SPACE (POS) 2	10.4 m²
GROSS FLOOR AREA (GFA)	164.4 m²
COVER AREA	111.3 m²
SITE AREA (M²) TOTAL	150 m²
SITE COVER	74%

NR: SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

0 1 2 3 4

1:100 SCALE PLAN AT A3
1:250 ELEVATIONS AT A3

2 BED 2.5 BTH 2 CAR x2



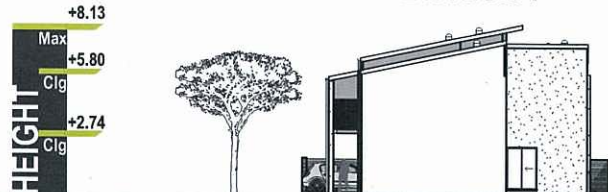
STREET ELEVATION 1



SIDE ELEVATION 1



STREET ELEVATION 2



SIDE ELEVATION 2



CONCEPT 1 NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

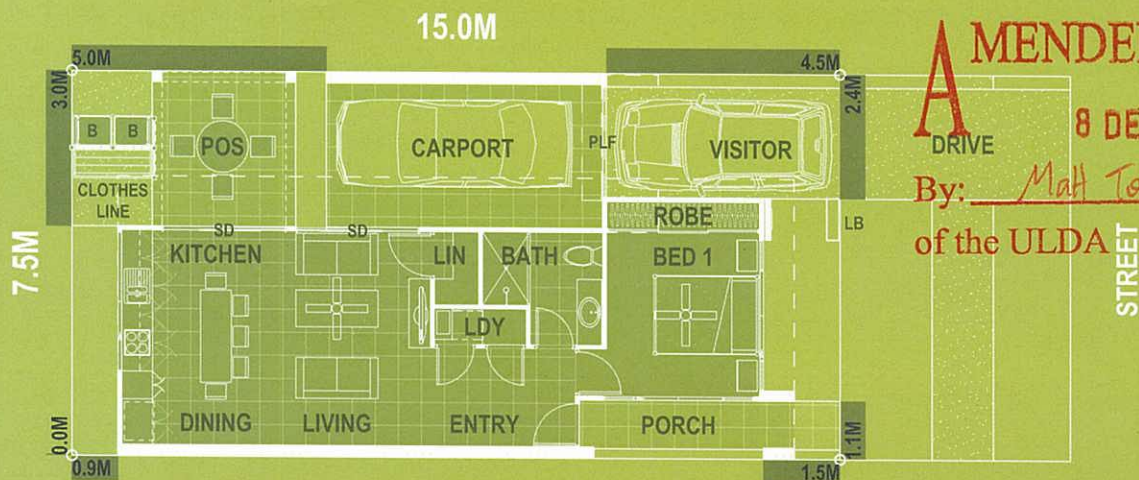
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PREPARED BY degentharSHEDD on 20.10.11

MFD

ISSUE A
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PROJECT CONCEPT PLAN FOR CROWN PROPERTIES PTY LTD

A



AMENDED IN RED
 8 DEC 2011
 By: Math Teon (name)
 of the ULDA

BUILDING AREAS (M ²):	
FLOOR AREAS (M ²):	
LIVING	54.0M ²
CARPORT	14.8M ²
PORCH	3.9M ²
PERGOLA	6.5M ²
TOTAL	81.2M ²

COMPLIANCE AREAS (M ²):	
PRIVATE OPEN SPACE (POS)	10.3M ²
GROSS FLOOR AREA (GFA)	54.0M ²
COVER AREA	72.7M ²
SITE AREA (M ²) TOTAL	112.5M ²
SITE COVER	65%

NB: SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

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where serviced by a rear lane
 Garage / carport opening to
 comply with AS2800.1-2004
 B99 vehicle swept path.

0 1 2 3 4
 1:100 SCALE PLAN AT A3
 1:150 ELEVATIONS AT A3

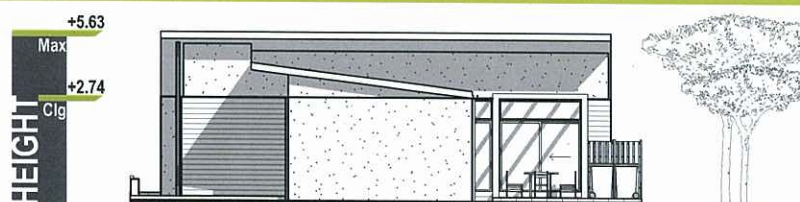
Type A

1 STOREY

1 BED **1** BTH **2** CAR x1



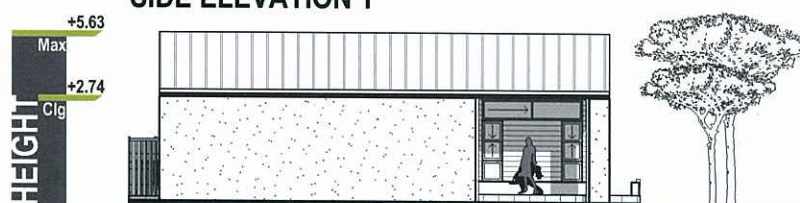
STREET ELEVATION



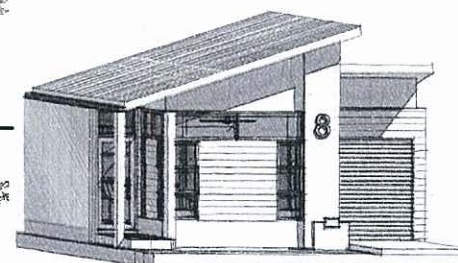
SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2



CONCEPT | NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

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PREPARED BY degenthartSHEDD on 23 November 2011

B

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B



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BUILDING AREAS (M ²):	
FLOOR AREAS (M ²)	
LIVING	54.9M ²
CARPORT	31.4M ²
PORCH	1.3M ²
TOTAL	87.6M ²

COMPLIANCE AREAS (M ²):	
PRIVATE OPEN SPACE (POS)	9.9M ²
GROSS FLOOR AREA (GFA)	54.9M ²
COVER AREA	86.3M ²
SITE AREA (M ²) TOTAL	108M ²
SITE COVER	80%

NB. SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

0 1 2 3 4
1:100 SCALE PLAN AT A3
1:150 ELEVATIONS AT A3

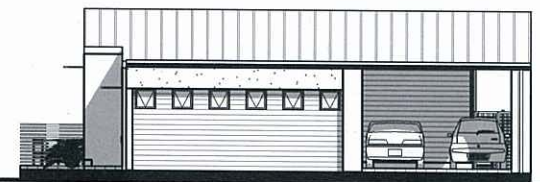
Type B

1 STOREY

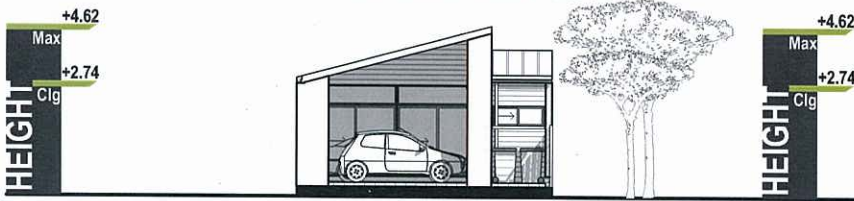
1 BED 1 BTH 2 CAR x1



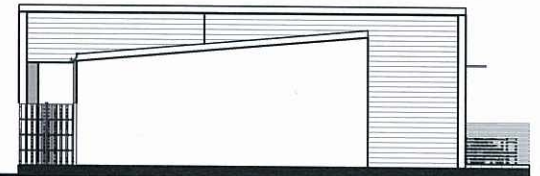
STREET ELEVATION



SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2



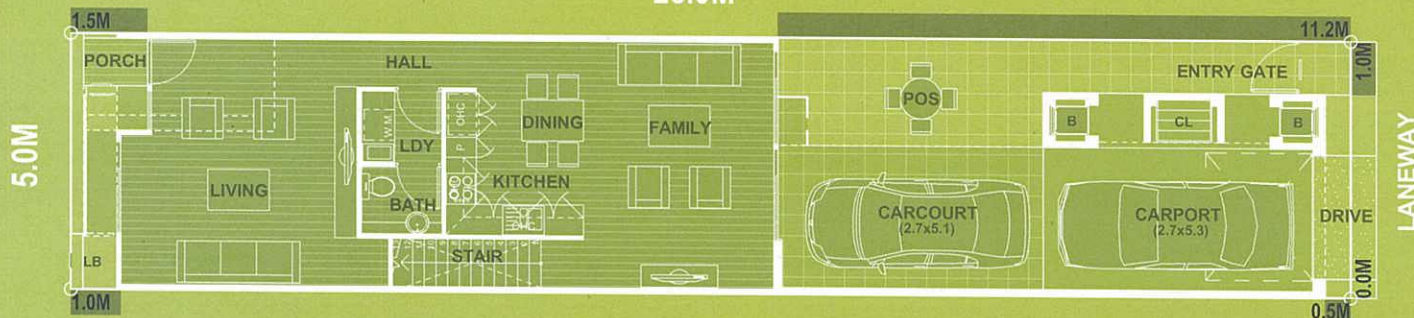
CONCEPT 1 NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

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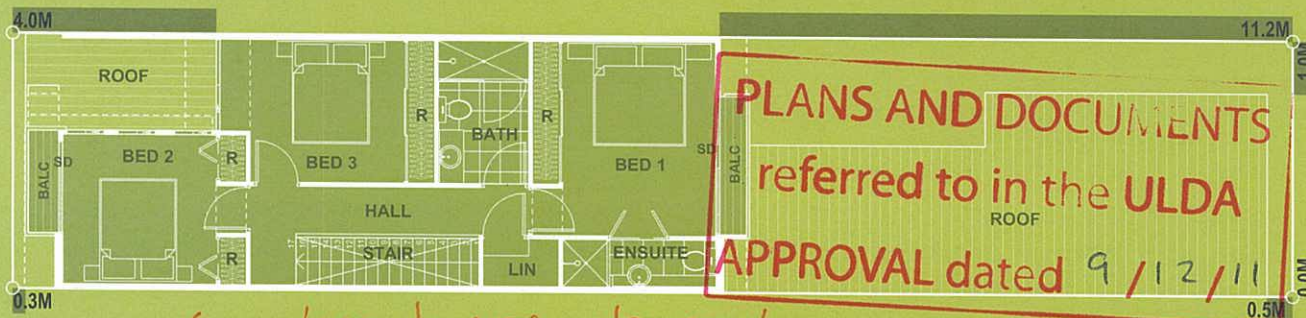
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GROUND FLOOR PLAN



UPPER FLOOR PLAN



AREAS (M ²):	
GROUND FLOOR AREAS (M ²):	
INTERNAL	63.2M ²
CARPORT	20.5M ²
CARCOURT	15.0M ²
PORCH	1.2M ²
TOTAL	99.9M ²

AREAS (M ²):	
FIRST FLOOR AREAS (M ²):	
INTERNAL	58.7M ²
BALCONY	2.6M ²
TOTAL	61.3M ²

COMPLIANCE AREAS (M ²):	
PRIVATE OPEN SPACE (POS)	11.0M ²
GROSS FLOOR AREA (GFA)	122.6M ²
COVER AREA	101.8M ²
SITE AREA (M ²) TOTAL	125M ²
SITE COVER	81%

HB: SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

0 1 2 3 4
1:100 SCALE PLAN AT A3
1:200 ELEVATIONS AT A3

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Type C

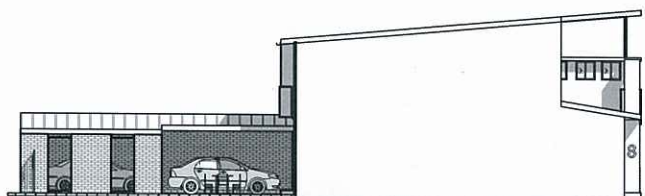
Garage/carport opening to comply
with A52800.1-2004 B99 vehicle swept path

2 STOREY

3 BED 2.5 BTH 2 CAR x1



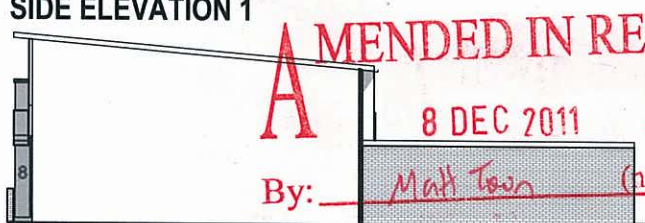
STREET ELEVATION



SIDE ELEVATION 1



LANE ELEVATION



SIDE ELEVATION 2 of the ULDA

AMENDED IN RED
8 DEC 2011
By: Math Town (name)

CONCEPT I NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

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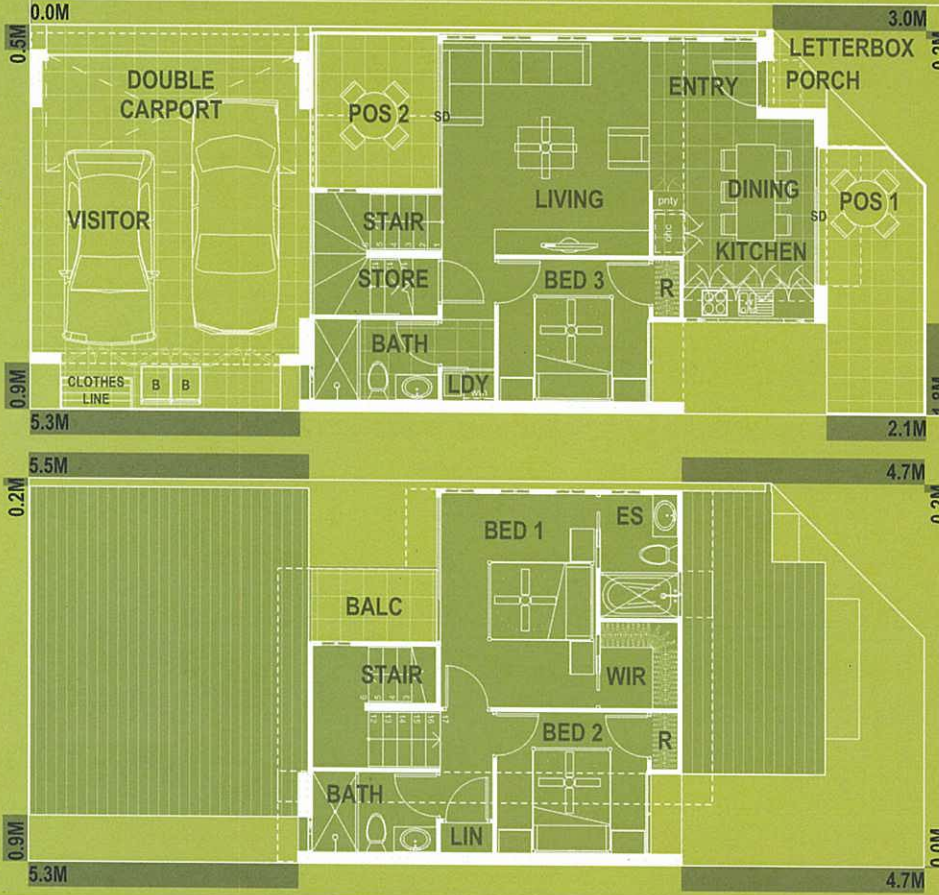
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C

Type D

7.5M

LANEWAY



2 STOREY

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AREAS (M ²):	
GROUND FLOOR AREAS (M ²):	
INTERNAL	57.9 m ²
CARPORT	33.2 m ²
PORCH	1.2 m ²
TOTAL	92.3 m ²

AREAS (M ²):	
FIRST FLOOR AREAS (M ²):	
INTERNAL	45.0 m ²
BALCONY	3.7 m ²
TOTAL	48.7 m ²

COMPLIANCE AREAS (M ²):	
PRIVATE OPEN SPACE (POS) 1	10.3 m ²
PRIVATE OPEN SPACE (POS) 2	7.6 m ²
GROSS FLOOR AREA (GFA)	106.6 m ²
COVER AREA	96.0 m ²
SITE AREA (M ²) TOTAL	126.8 m ²
SITE COVER	76%

NO. SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

0 1 2 3 4
1:100 SCALE PLAN AT A3
1:250 ELEVATIONS AT A3

3 BED 1.5 BTH 1 CAR x1



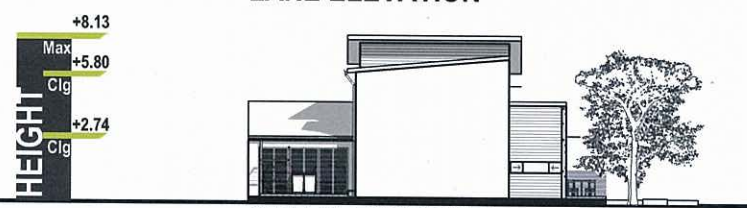
STREET ELEVATION



LANE ELEVATION



SIDE ELEVATION 1



SIDE ELEVATION 2



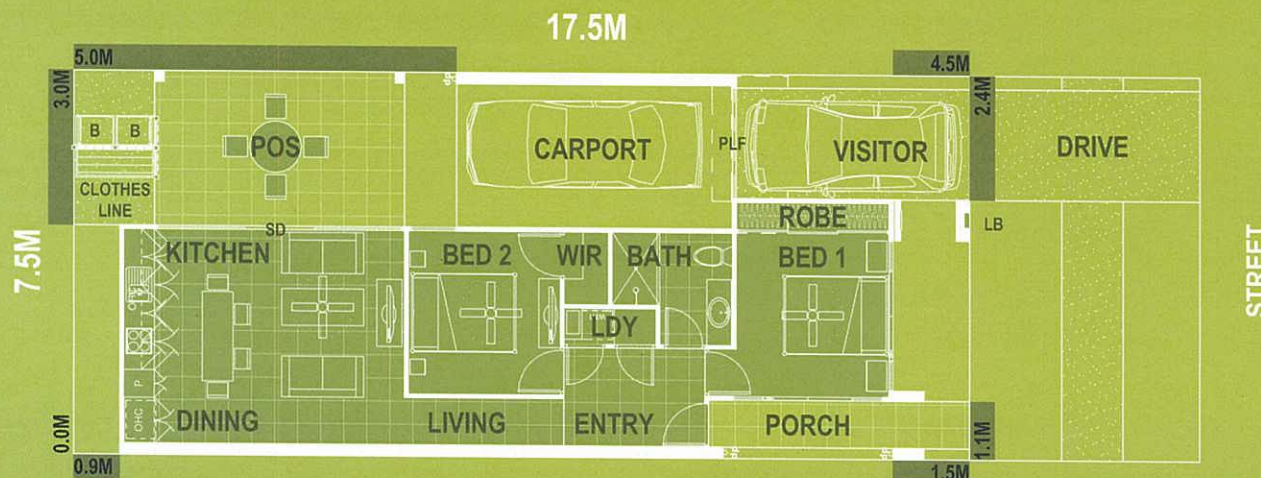
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D



BUILDING AREAS (M ²):	
FLOOR AREAS (M ²)	
LIVING	65.1M ²
CARPORT	16.2M ²
PORCH	3.9M ²
PERGOLA	14.8M ²
TOTAL	100.0M ²

COMPLIANCE AREAS (M ²):	
PRIVATE OPEN SPACE (POS)	14.8M ²
GROSS FLOOR AREA (GFA)	65.1M ²
COVER AREA	85.2M ²
SITE AREA (M ²) TOTAL	131.5M ²
SITE COVER	65%

NB: SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

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0 1 2 3 4
1:100 SCALE PLAN AT A3
1:150 ELEVATIONS AT A3

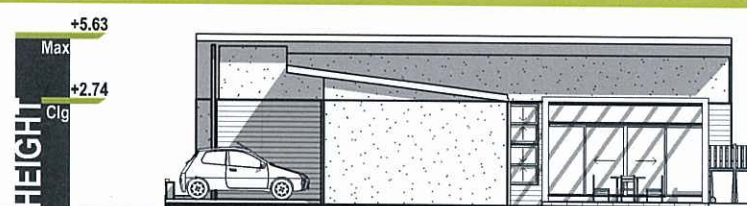
Type E

1 STOREY

2^{BED} 1^{BTH} 2^{CAR}x1



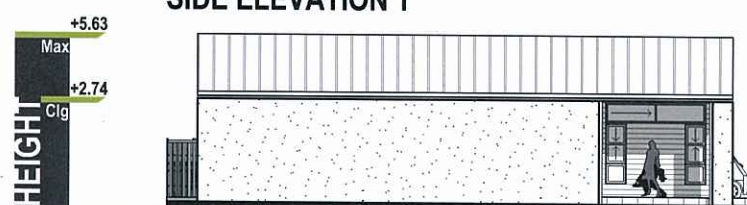
STREET ELEVATION



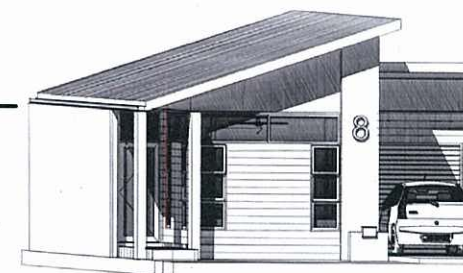
SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2



CONCEPT 1 NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

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ISSUE B

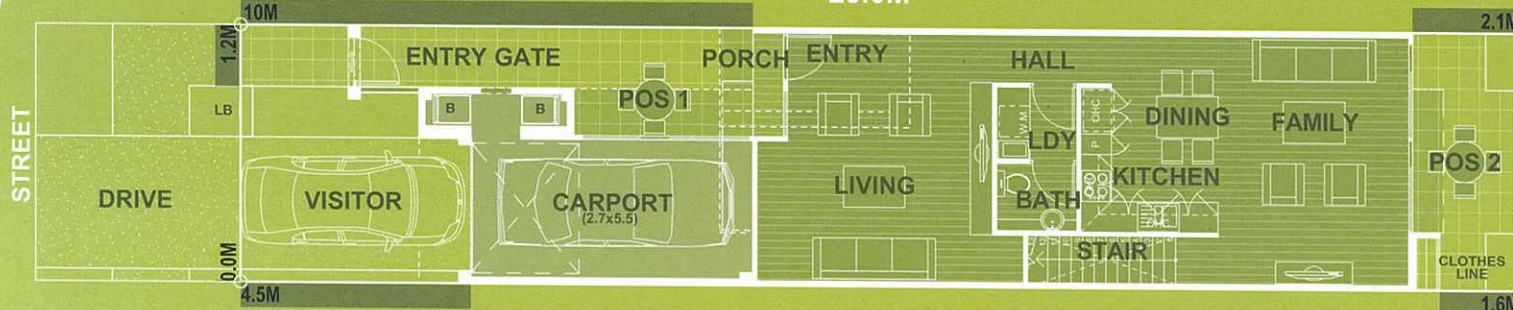
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PLANS AND DOCUMENTS
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25.0M



AREAS (M ²):	
GROUND FLOOR AREAS (M ²)	
INTERNAL	63.2M ²
CARPORT	18.7M ²
PORCH	1.2M ²
TOTAL	83.1M ²

AREAS (M ²):	
FIRST FLOOR AREAS (M ²)	
INTERNAL	58.7M ²
BALCONY	2.6M ²
TOTAL	61.3M ²

COMPLIANCE AREAS (M ²):	
PRIVATE OPEN SPACE (POS) 1	7.4M ²
PRIVATE OPEN SPACE (POS) 2	10.5M ²
GROSS FLOOR AREA (GFA)	121.9M ²
COVER AREA	84.8M ²
SITE AREA (M ²) TOTAL	125M ²
SITE COVER	68%

NB. SETBACK DIMENSIONS ROUNDED TO THE NEAREST 0.1M

0 1 2 3 4
1:100 SCALE PLAN AT A3
1:200 ELEVATIONS AT A3

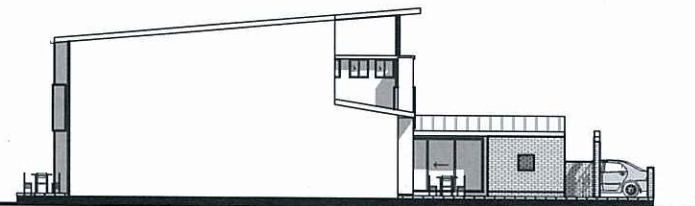
Type F

2 STOREY

3 BED 2.5 BTH 2 CAR x1



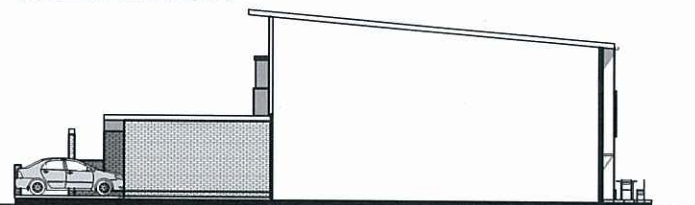
STREET ELEVATION



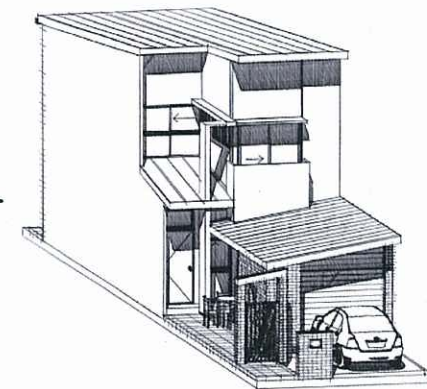
SIDE ELEVATION 1



REAR ELEVATION



SIDE ELEVATION 2



CONCEPT I NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

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F



0 1 2 3 4
1:100 SCALE PLAN AT A3
1:150 ELEVATIONS AT A3

1 STOREY

2^{BED} 2^{BTH} 2^{CAR} x'



CONCEPT | NRAS HOUSING, LOT 1012, FITZGIBBON CHASE

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1001 E

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