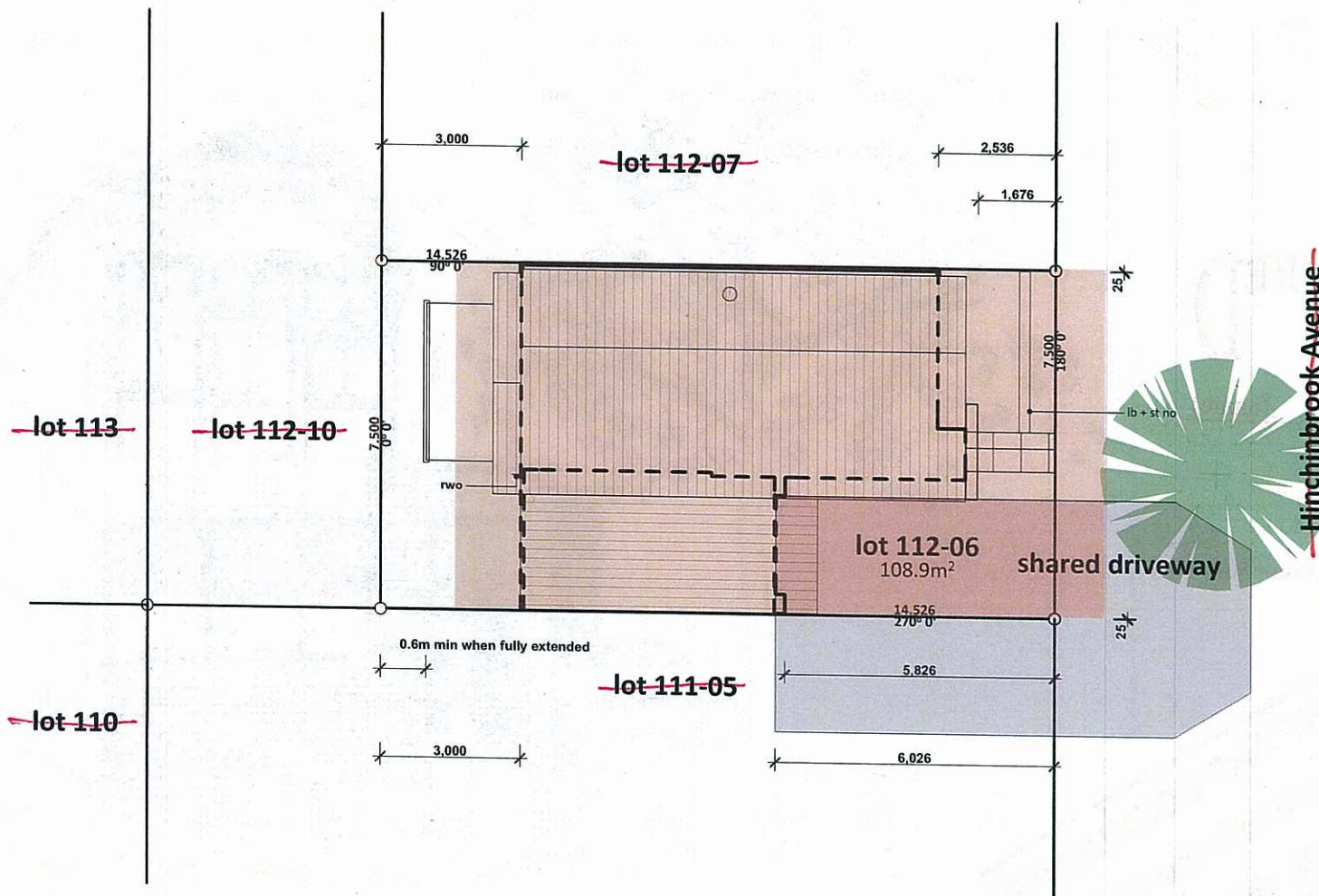
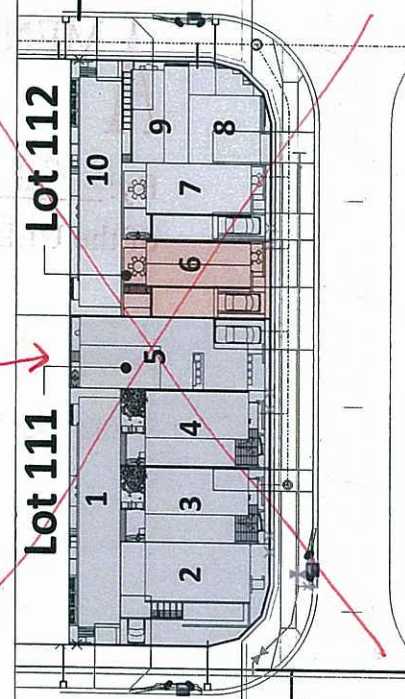




Not part of this approval



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DO NOT SCALE DRAWINGS.

AMMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD



Ground Floor		First Floor	
internal area	40.1 m ²	internal area	40.7 m ²
carport	17.0 m ²	balcony	40.7 m ²
pos	13.2 m ²	sub-total	
sub-total	57.1 m ²		
GFA			80.7 m ²
cover area			57.1 m ²



Homegrown Design Collection

Client
Urban Land Development Authority

Project Name
Lot 06 - Sprout Garden Terrace (E1)

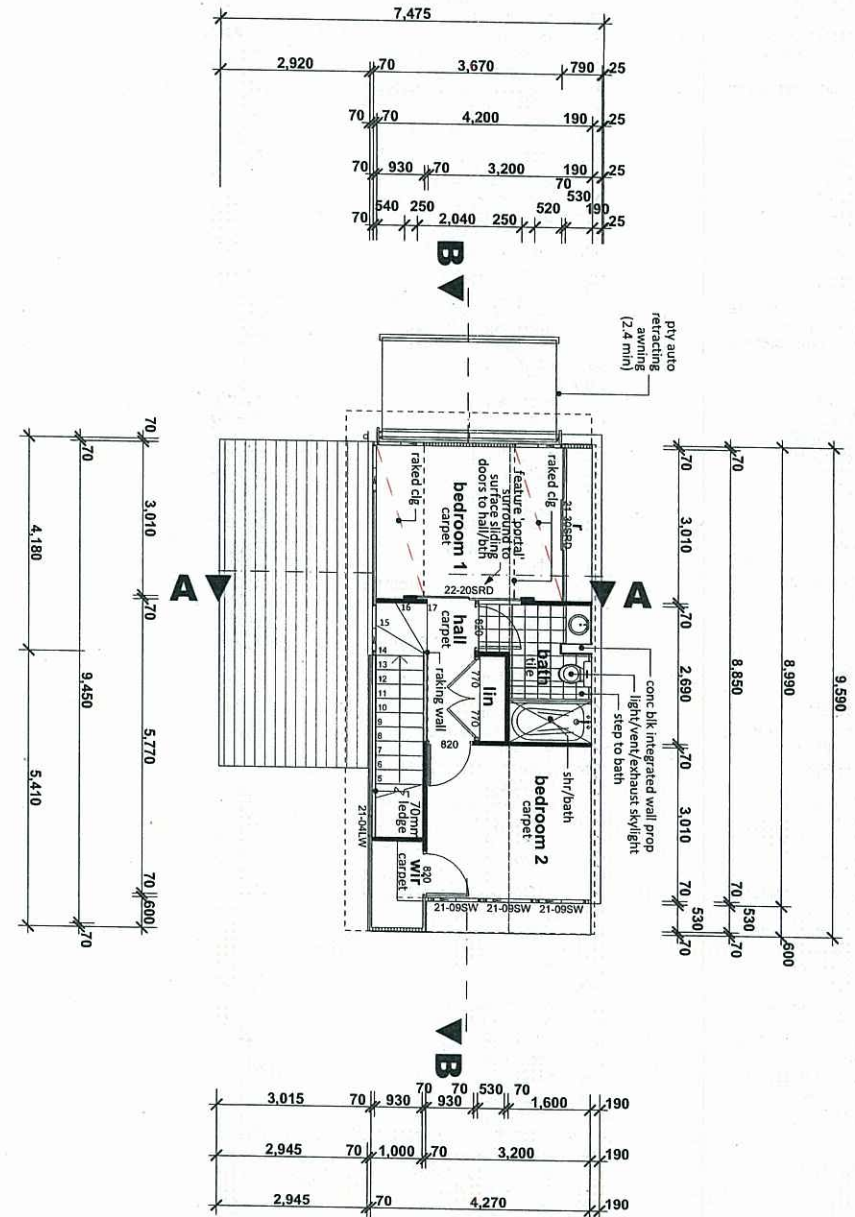
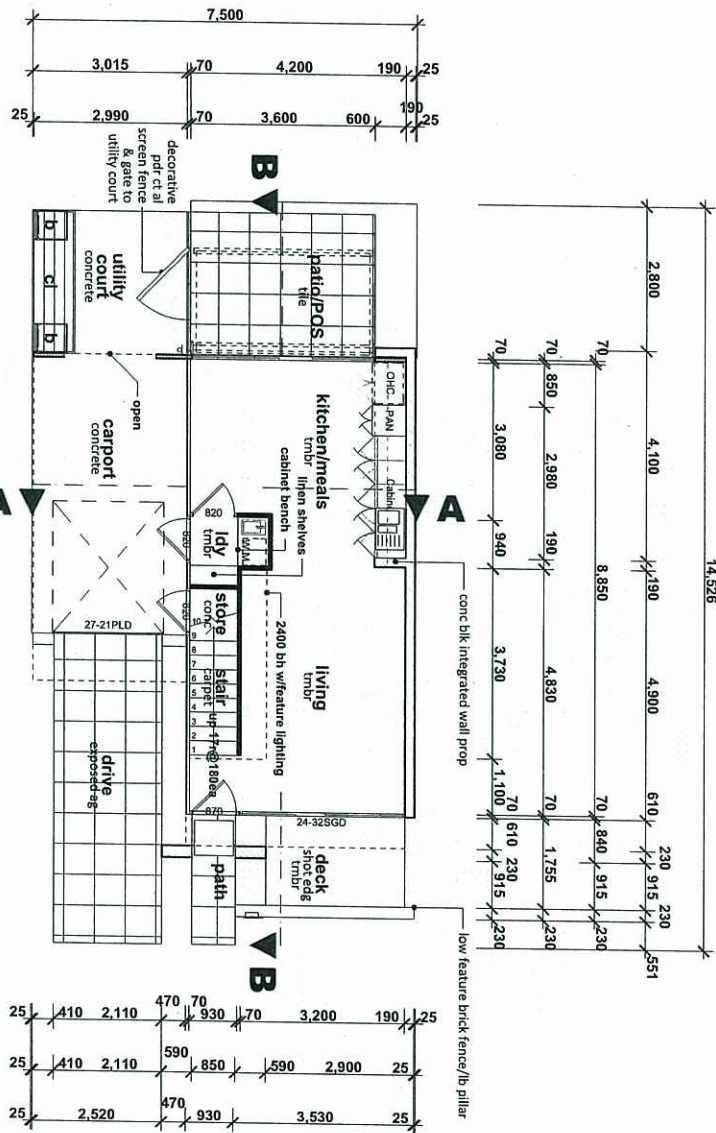
Status: DD Date: 16/09/11

Scale: 1:100 @ A3 Drawn by: ad

Drawing Title:
Site & Location Plan

Project No: ULD009 Drawing No.:
112-06 A DD 01.01

degenhart
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Carpet and other items are shown on the drawing from those derived from a combination of sub-contractors drawings obtained in digital format.

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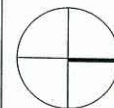
This Builder is responsible for the site verification of all dimensions. Figure dimensions take precedence over stated values.

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AMMENDMENTS				
A	16/09/11	Issued for Builder's Pricing	ad	AD

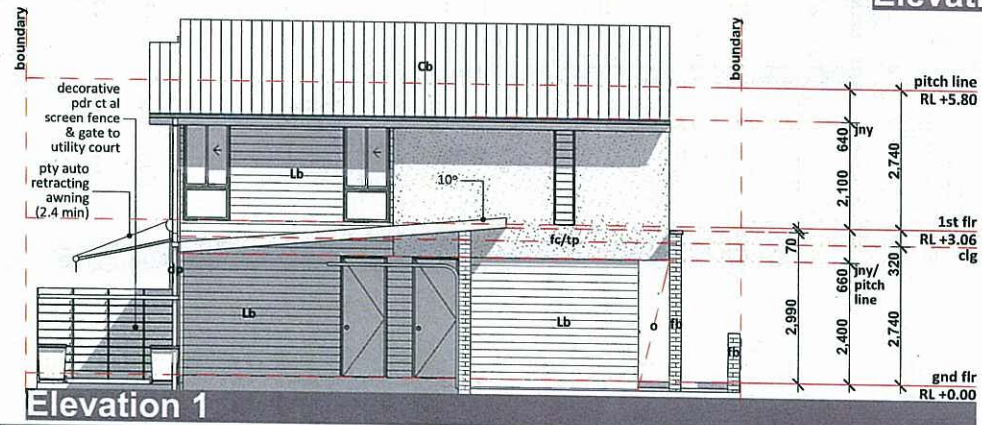
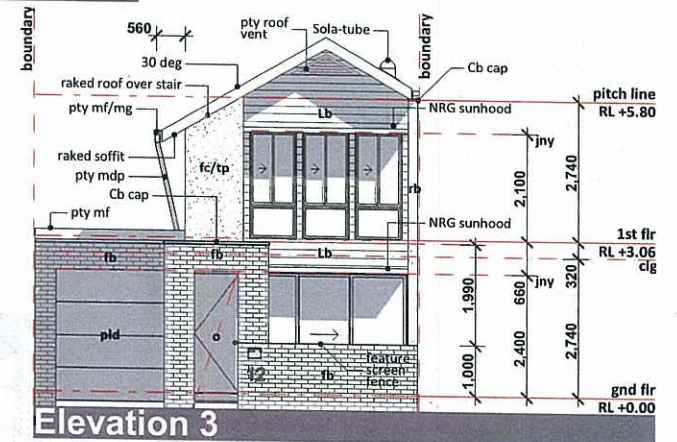
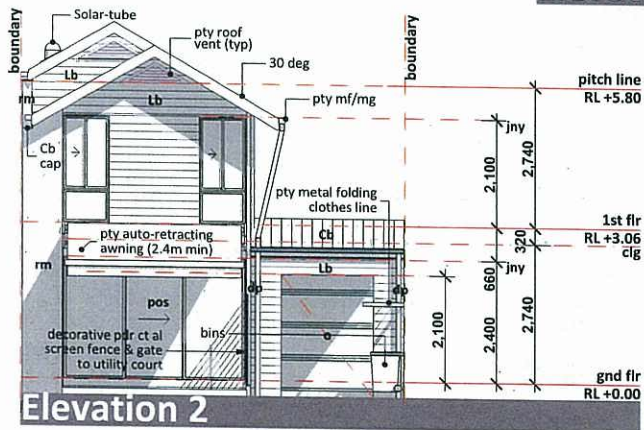
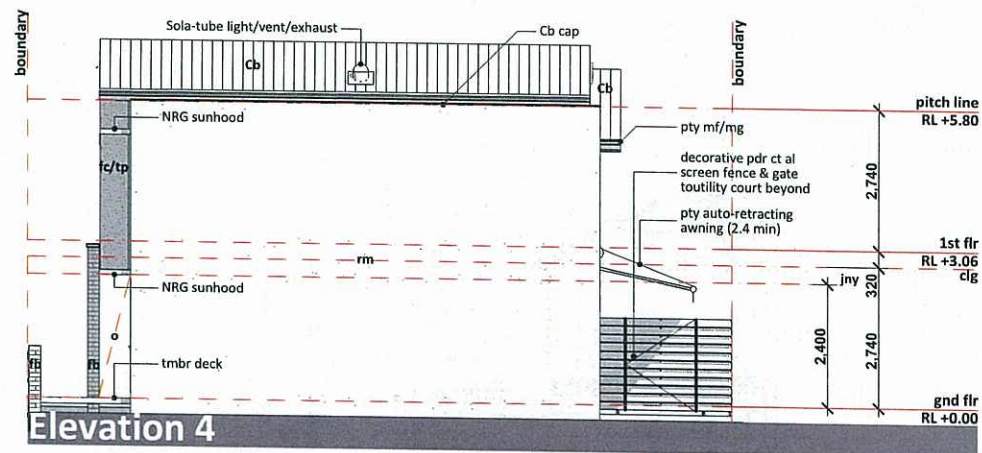


Ground Floor		First Floor	
internal area	40.1 m ²	internal area	40.7 m ²
carport	17.0 m ²	balcony	sub-total
pos	13.2 m ²		40.7 m ²
sub-total	57.1 m ²		
GFA			80.7 m ²
cover area			57.1 m ²



Homegrown Design Collection		Status: DD	Date: 16/09/11
Client		Scale: 1:100 @ A3	Drawn by: ad
Urban Land Development Authority		Drawing Title:	
Project Name		Floor Plans	
Lot 06 - Sprout Garden Terrace (E1)		Project No: ULDD09	Drawing No.: DD 02.01





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AMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD



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Client
Urban Land Development Authority

Project Name
Lot 06 - Sprout Garden Terrace (E1)

Status: DD Date: 16/09/11

Scale: 1:100 @ A3 Drawn by: ad

Drawing Title:
Elevations

Project No: ULD009 Drawing No.:
112-06 A DD 03.01

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Drawing Schedule

Drawing No:	Drawing Name	Rev	Description	Date
DD 00.01	Cover Sheet	A	Issued for Builder's Pricing	16/09/11
DD 01.01	Site & Location Plan	A	Issued for Builder's Pricing	16/09/11
DD 02.01	Floor Plans	A	Issued for Builder's Pricing	16/09/11
DD 02.02	Roof Plan & Legend	A	Issued for Builder's Pricing	16/09/11
DD 03.01	Elevations	A	Issued for Builder's Pricing	16/09/11
DD 04.01	Sections	A	Issued for Builder's Pricing	16/09/11

AMENDED IN RED
7 DEC 2011

By: Matt Teo (name)
of the ULDA

House plans for proposed
lots 3096 to 3100

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 9 /12/11



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AMMENDMENTS

A	16/09/11	Issued for Builder's Pricing	ad	AD
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Client
Urban Land Development Authority

Project Name
Lot 07 - Sprout Garden Terrace (E2)

Status: DD

Scale: N/A

Drawing Title:

Cover Sheet

Project No: ULD009

112-07 A

Date: 16/09/11

Drawn by: ad

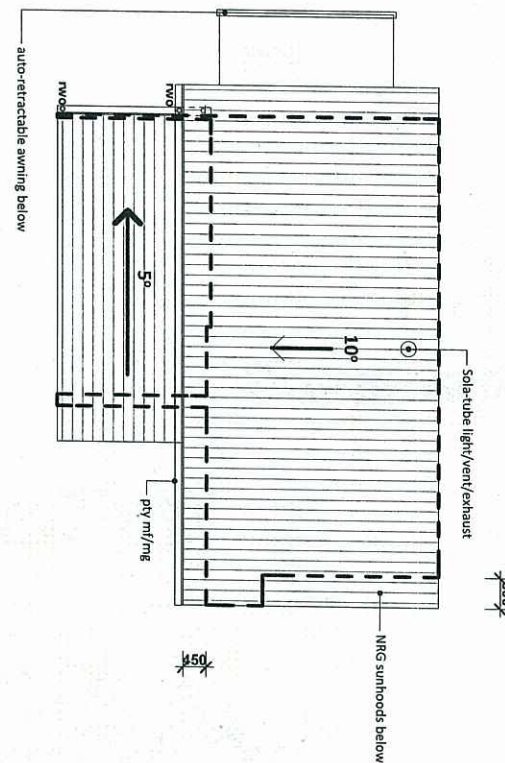
Drawing No.:

DD 00.01

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ac	air conditioner	mb	meter box
adcm	aust'n domestic constr'n manual	mf	selected pty metal fascia
ag	agricultural drain	mg	selected pty metal gutter
aj	articulated joint	mpr	multi-purpose room
al	selected finish aluminium	mw	microwave
as	australian standards	n	nominal
aw	top hung awning window	n	north
b	basin	nom	nominal
ba	building approval assessment	nrg	pty greenboard cladding
bb	brick band	ns	natural surface
bdy	boundary	nsf	natural surface level
bfd	bi-fold door	o	open
bh	bulkhead	obs	obscure glazing
blk	blockwork	oh	overhead and/or overhang
bm	basin mixer	omp	outer most projection
brk	brickwork	pb	painted brick
bs	bar sink	pc	parapet capping
bs	basin spout	pdr	powder room
bt	bath tub	pf	painted finish
bv	brick veneer	pfc	parallel flange channel
cb	Colorbond finished metal	ph	pitching height
ch	ceiling height	pld	auto panel lift door
chs	circular hollow section	pos	private open space
cl	centreline	ps	plumbing stack
clg	ceiling	pty	pantry
cp	control panel	pty	proprietary
cpd	cupboard	r	robe
csl	cavity sliding door	ra	return air vent
ct	concrete tile roof	rb	rubbish bin
d	dryer	rd	roller door
dc	drying court	ref	refrigerator
dn	down	rh	rangehood
dp	down pipe	rl	relative level
dw	dishwasher	rm	rendered masonry
dwr	drawer	rsr	riser
ej	expansion joint	rwo + s	rain water outlet
ens	ensuite	rwt	rain water tank
ent	entry	s	south
ep	Energex pillar	sa	smoke detector alarm
eq	equal	sc	self closing
fb	face brick	sd	soap dish
fbl	face block	se	sewer
fc	fibre cement	sf	stone finish
fc/p	fibre cement painted	sgd	sliding glass door
fcu	fan coil unit	shr	shower
fg	fixed glazing	shs	square hollow section
fir	floor	sl	self locking
fm	face masonry	sm	shower mixer
fri	fire resistance level	smd	smoke detector
fsl	floor surface level	sp	survey plan
fw	floor waste	sr	shower rose
gar	garage	st	solar tube skylight/vent
gl	glass louvre window	stc	sound transmission class
gnd	ground	sv	stone veneer
gnf	good neighbour style tmbr fence	sw	sliding window or storm water
gp	gully pit yard drain	t	laundry tub
gpd	glass panel door	tc	texture coating
hc	hose cock	tmbr	timber
hmp	square arch hamper	tp	treated pine
hp	hotplates	tr	towel rail / ring
ht	height	trh	toilet roll holder
hw	hard wood	tv	timber veneer
hws	hot water service	typ	typical
hwu	hot water unit	ubo	under bench oven
kd	kiln dried	uno	unless noted otherwise
ks	kitchen sink	upvc	unplasticised poly vinyl chloride
lb	letterbox	wb	weatherboard
ld	leaf diverter	wc	water closet/toilet
ldng	landing	wir	walk in robe
ldy	laundry	wm	washing machine
lin	linen	wo	wall oven

Legend



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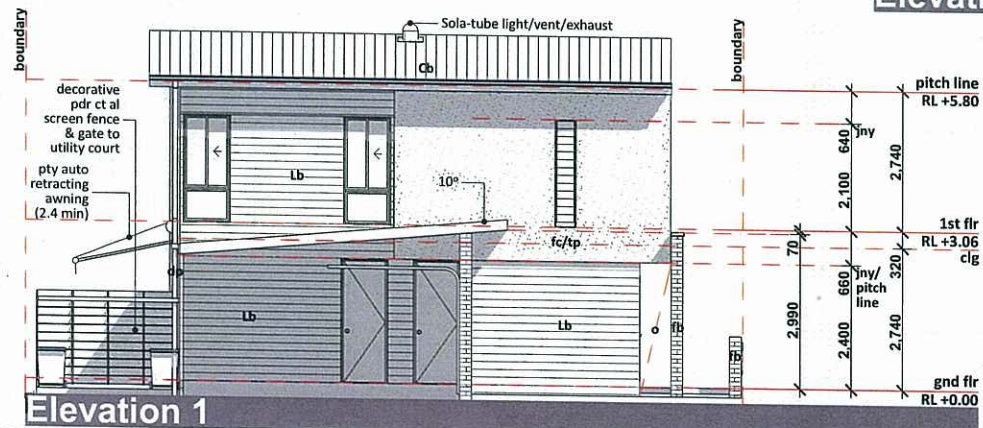
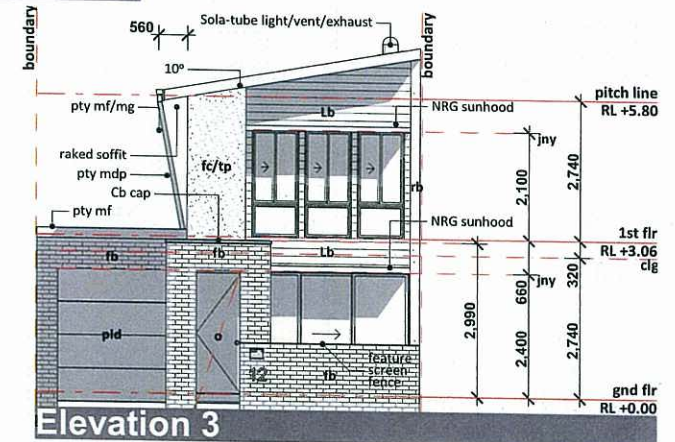
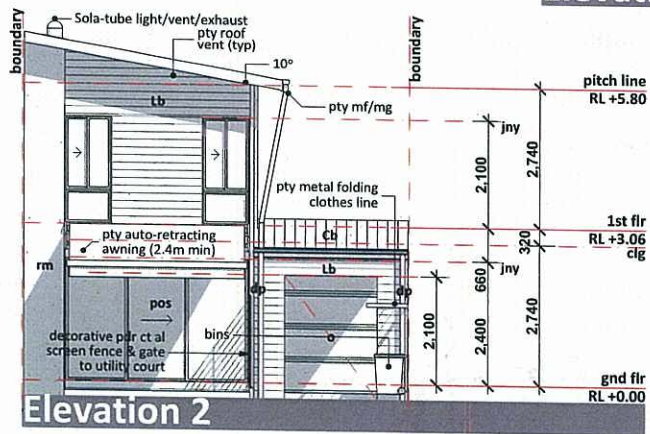
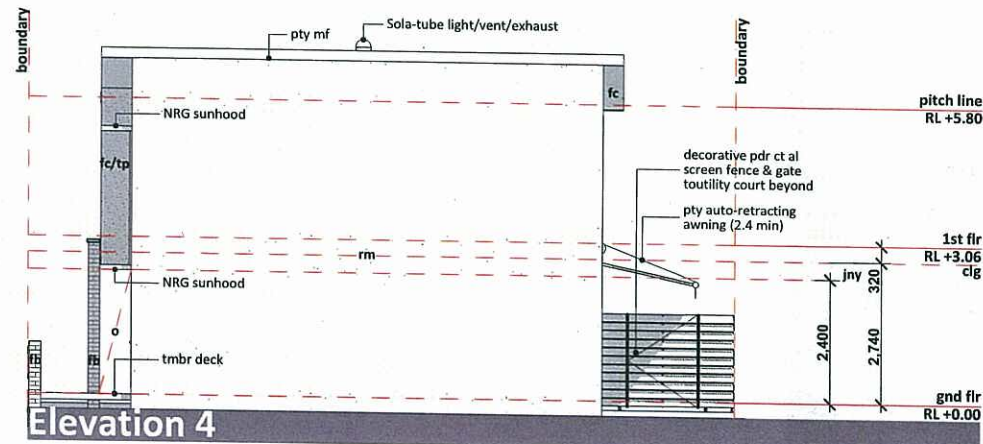
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AMMENDMENTS			
A	16/09/11	Issued for Builder's Pricing	ad AD



<i>Homegrown Design Collection</i>			
Client	Urban Land Development Authority		
Project Name	Lot 07 - Sprout Garden Terrace (E2)		
Status: DD	Date: 16/09/11	Scale: 1:100 @ A3	Drawn by: ad
Drawing Title:	Roof Plan & Legend		
Project No: ULD009	Drawing No.: 112-07 A	DD 02.02	

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AMMENDMENTS				
A	16/09/11	Issued for Builder's Pricing	ad	AD



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Client
Urban Land Development Authority

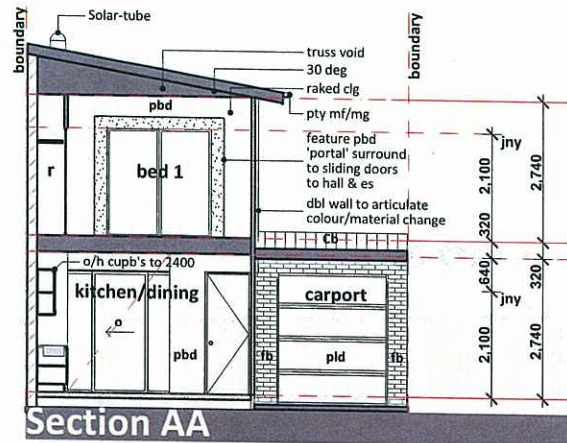
Project Name
Lot 07 - Sprout Garden Terrace (E2)

Status: DD
Date: 16/09/11

Scale: 1:100 @ A3
Drawing Title:
Elevations

Project No.: ULD009
Drawing No.:
112-07 A DD 03.01

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AMMENDMENTS

A 16/09/11 Issued for Builder's Pricing ad AD



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Client
Urban Land Development Authority

Project Name
Lot 07 - Sprout Garden Terrace (E2)

Status: DD Date: 16/09/11

Scale: 1:100 @ A3 Drawn by: ad

Drawing Title:
Sections

Project No: ULD009 Drawing No.:
112-07 A DD 04.01

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lot 113

lot 112-10

lot 112-08

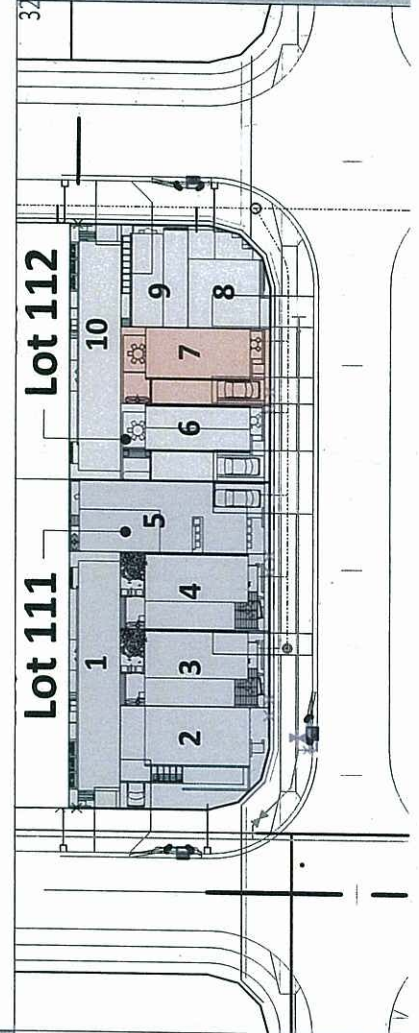
lot 112-07
108.9m²

lot 111-06

shared driveway

Hinchinbrook Avenue

Lot 112
Lot 111



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AMMENDMENTS

A	16/09/11	Issued for Builder's Pricing	ad	AD
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Ground Floor

internal area	40.1 m ²
carport	17.0 m ²
pos	13.2 m ²
sub-total	57.1 m ²

GFA	80.7 m ²
cover area	57.1 m ²

First Floor

internal area	40.7 m ²
balcony	40.7 m ²
sub-total	40.7 m ²



Homegrown Design Collection

Client
Urban Land Development Authority

Project Name
Lot 07 - Sprout Garden Terrace (E2)

Status: DD Date: 16/09/11

Scale: 1:100 @ A3 Drawn by: ad

Drawing Title:
Site & Location Plan

Project No:	ULD009	Drawing No.:	DD 01.01
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Drawing Schedule

Drawing No:	Drawing Name	Rev	Description	Date
DD 00.01	Cover Sheet	A	Issued for Builder's Pricing	14.10.11
DD 01.01	Site & Location Plan	A	Issued for Builder's Pricing	14.10.11
DD 02.01	Floor Plans	A	Issued for Builder's Pricing	14.10.11
DD 02.02	Roof Plan & Legend	A	Issued for Builder's Pricing	14.10.11
DD 03.01	Elevations	A	Issued for Builder's Pricing	14.10.11
DD 04.01	Sections	A	Issued for Builder's Pricing	14.10.11

AMENDED IN RED
7 DEC 2011

By: Math Teva (name)
of the ULDA

House plans for proposed
lots 3096 to 3100.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 9/12/11



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AMMENDMENTS

A	14.10.11	Builder's Pricing	IB	AD
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Client
Urban Land Development Authority

Project Name
Seedling Garden Villa

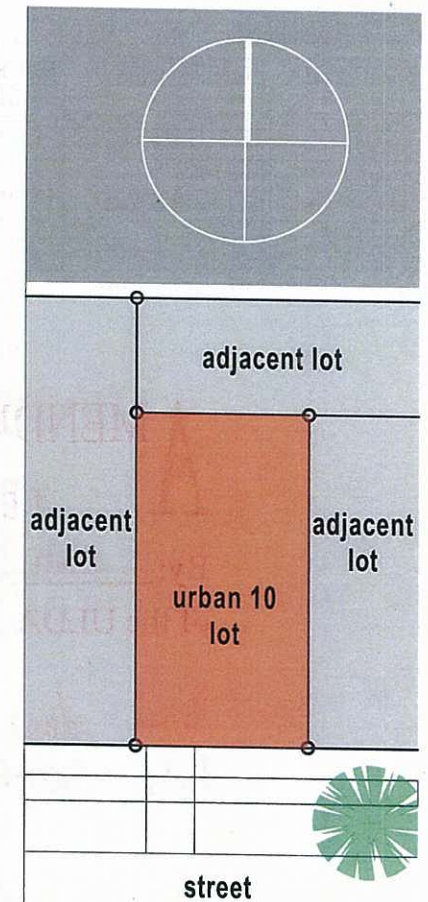
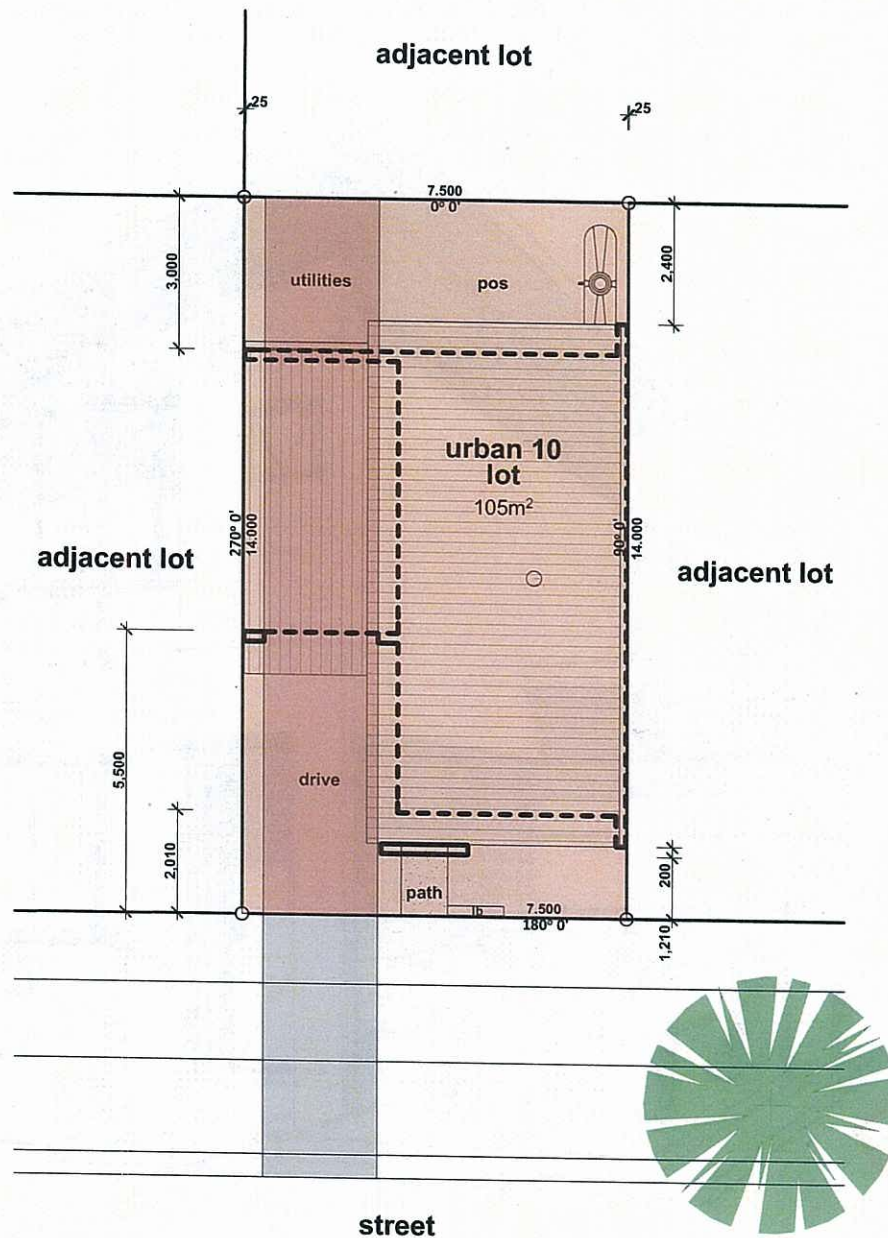
Status: DD Date: 14.10.11

Scale: NA @ A3 Drawn by: tb

Drawing Title:
Cover Sheet

Project No: ULD009 Drawing No.:
T2 - C A DD 00.01

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AMMENDMENTS				
A	14.10.11	Builder's Pricing	lb	AD



Ground Floor		First Floor	
internal area	40.0 m²	internal area	44.5 m²
carport	16.9 m²	balcony	0.0 m²
pos	10.4 m²	sub-total	44.5 m²
porch	0.7 m²		
sub-total	57.6 m²		
site cover area			57.6 m²
cover cover based on lot size 105m²			55.0%



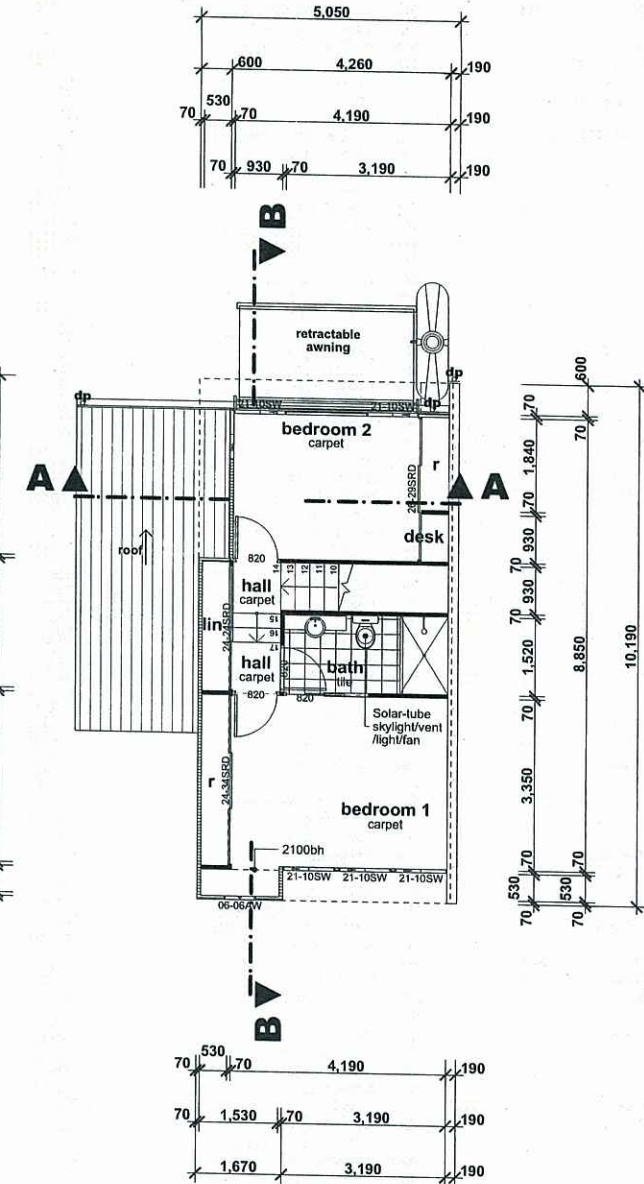
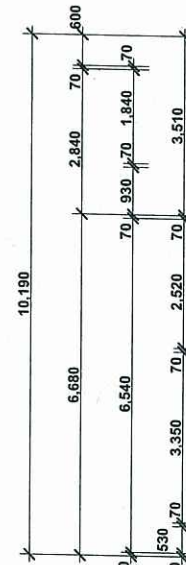
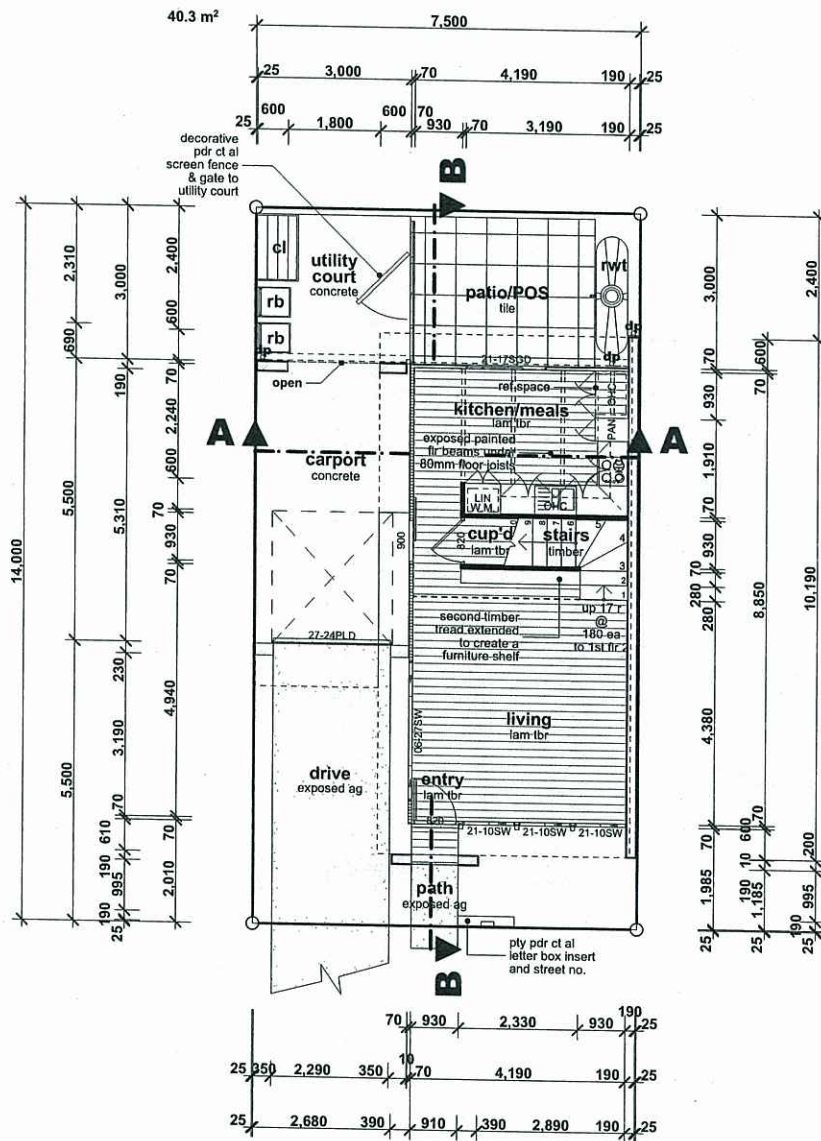
Homegrown Design Collection

Client
Urban Land Development Authority

Project Name
Seedling Garden Villa

Status: DD	Date: 14.10.11
Scale: 1:100 @ A3	Drawn by: tb
Drawing Title:	
Site & Location Plan	
Project No: ULD009	Drawing No.: DD 01.01
T2 - C	A





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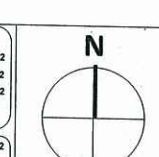
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AMMENDMENTS			
A	14.10.11	Builder's Pricing	lb AD



Ground Floor		First Floor	
internal area	40.0 m²	internal area	44.5 m²
carport	17.1 m²	balcony	0.0 m²
pos	10.0 m²	sub-total	44.5 m²
porch	0.7 m²		
sub-total	57.8 m²		
site cover area			57.8 m²
cover cover based on lot size 105m²			55.0%



Homegrown Design Collection

Client: Urban Land Development Authority

Project Name: Seedling Garden Villa

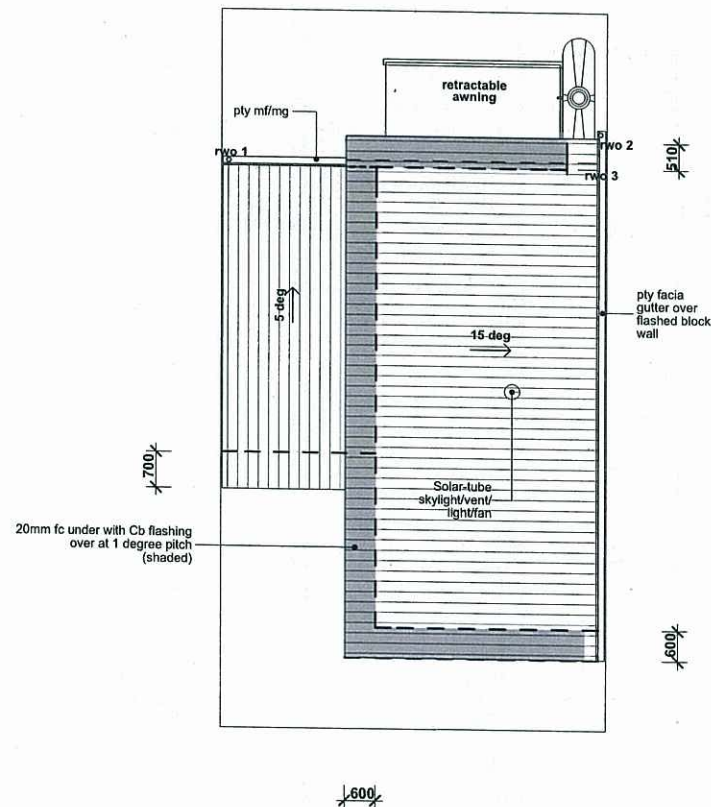
Status: DD	Date: 14.10.11
Scale: 1:100 @ A3	Drawn by: lb
Drawing Title: Floor Plans	
Project No: ULD009	Drawing No.: A DD 02.01



ac air conditioner
adcm aust'n domestic constr'n manual
ag agricultural drain
aj articulated joint
al selected finish aluminium
as australian standards
aw top hung awning window
b basin
ba building approval assessment
bb brick band
bdy boundary
bfd bi-fold door
bh bulkhead
blk blockwork
bm basin mixer
brk brickwork
bs bar sink
bs basin spout
bt bath tub
bv brick veneer
cb Colorbond finished metal
ch ceiling height
chs circular hollow section
cl centreline
clg ceiling
cp control panel
cpd cupboard
csd cavity sliding door
ct concrete tile roof
d dryer
dc drying court
dn down
dp down pipe
dw dishwasher
dwr drawer
ej expansion joint
ens ensuite
ent entry
ep Energex pillar
eq equal
fb face brick
fbl face block
fc fibre cement
fc/p fibre cement painted
fcu fan coil unit
fg fixed glazing
flr floor
fm face masonry
frl fire resistance level
fsl floor surface level
fw floor waste
gar garage
gl glass louvre window
gnd ground
gnf good neighbour style tmbr fence
gp gully pit yard drain
gpd glass panel door
hc hose cock
hmp square arch hamper
hp hotplates
ht height
hw hard wood
hws hot water service
hwu hot water unit
kd kiln dried
ks kitchen sink
lb letterbox
ld leaf diverter
ldng landing
ldy laundry
lin linen

mb meter box
mf selected ply metal fascia
mg selected ply metal gutter
mpr multi-purpose room
mw microwave
n nominal
n north
nom nominal
nrg ply greenboard cladding
ns natural surface
nsl natural surface level
o open
obs obscure glazing
oh overhead and/or overhang
omp outer most projection
pb painted brick
pc parapet capping
pdr powder room
pf painted finish
pfc parallel flange channel
ph pitching height
pld auto panel lift door
pos private open space
ps plumbing slack
ptry pantry
pty proprietary
r robe
ra return air vent
rb rubbish bin
rd roller door
ref refrigerator
rh rangehood
rl relative level
rm rendered masonry
rsr riser
rwo + s rain water outlet
rwt rain water tank
s south
sa smoke detector alarm
sc self closing
sd soap dish
se sewer
sf stone finish
sgd sliding glass door
shr shower
shs square hollow section
sl self locking
sm shower mixer
smd smoke detector
sp survey plan
sr shower rose
st solar tube skylight/vent
stc sound transmission class
sv stone veneer
sw sliding window or storm water
t laundry tub
tc texture coating
tmbr timber
tp treated pine
tr towel rail / ring
trh toilet roll holder
tv timber veneer
typ typical
ubo under bench oven
uno unless noted otherwise
upvc unplasticised poly vinyl chloride
wb weatherboard
wc water closet/toilet
wir walk in robe
wm washing machine
wo wall oven

Legend



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AMMENDMENTS				
A	14.10.11	Builder's Pricing	tb	AD

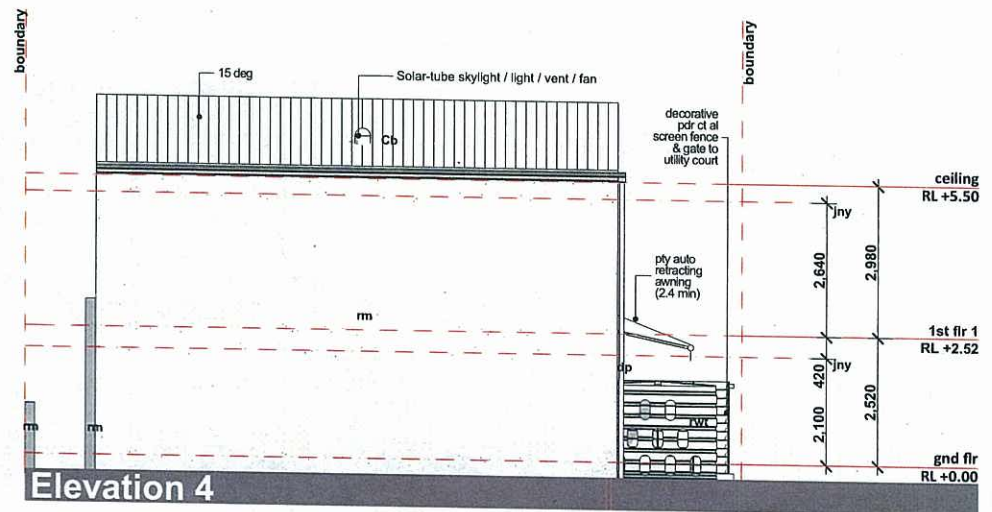
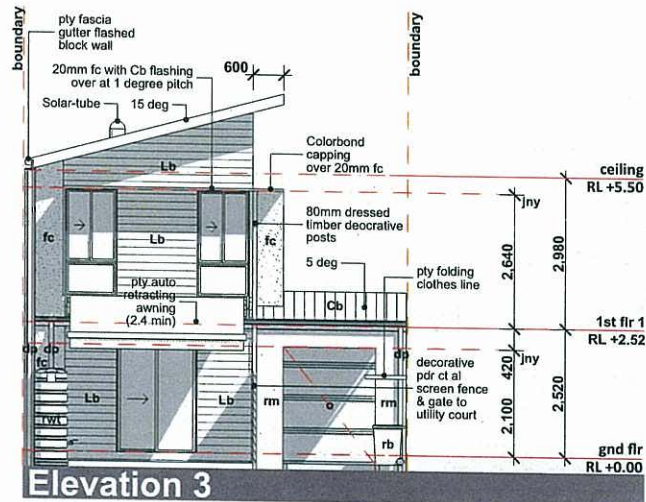
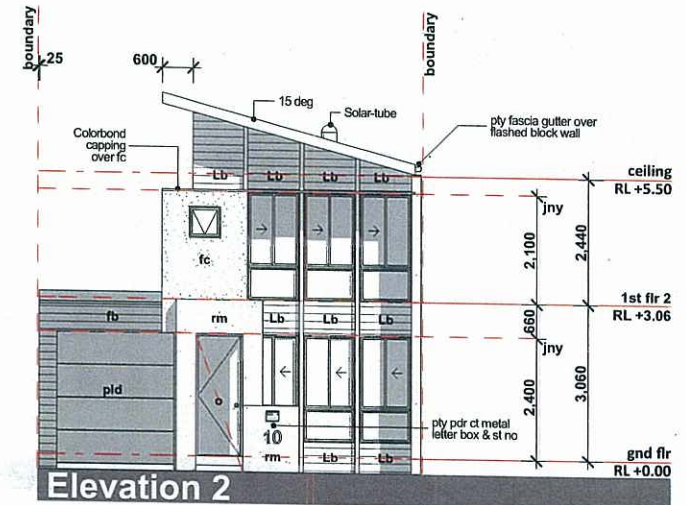
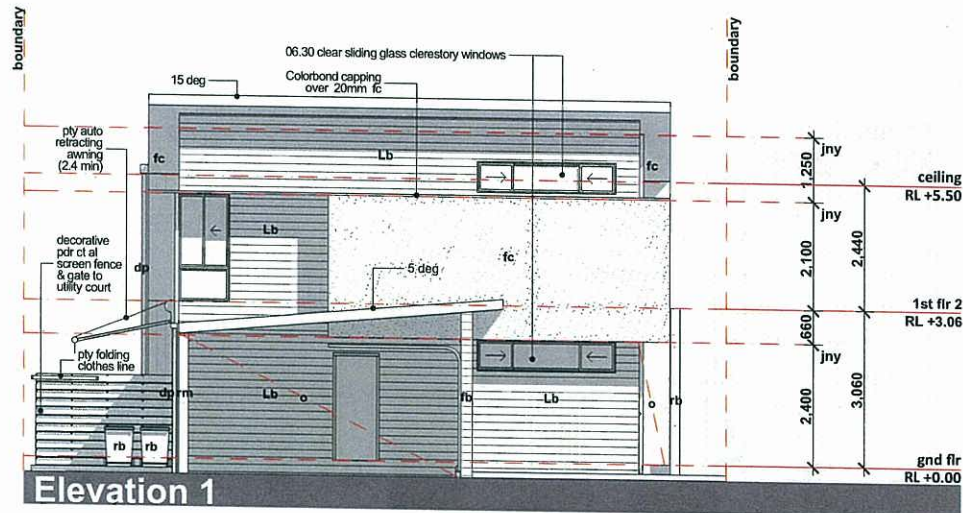


Homegrown Design Collection

Client
Urban Land Development Authority
Project Name
Seedling Garden Villa

Status: DD
Scale: 1:100 @ A3
Drawing Title:
Roof Plan & Legend
Project No: ULD009
Drawing No.: DD 02.02

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AMMENDMENTS			
A	14.10.11	Builder's Pricing	tb AD



Homegrown Design Collection

Client
Urban Land Development Authority

Project Name
Seedling Garden Villa

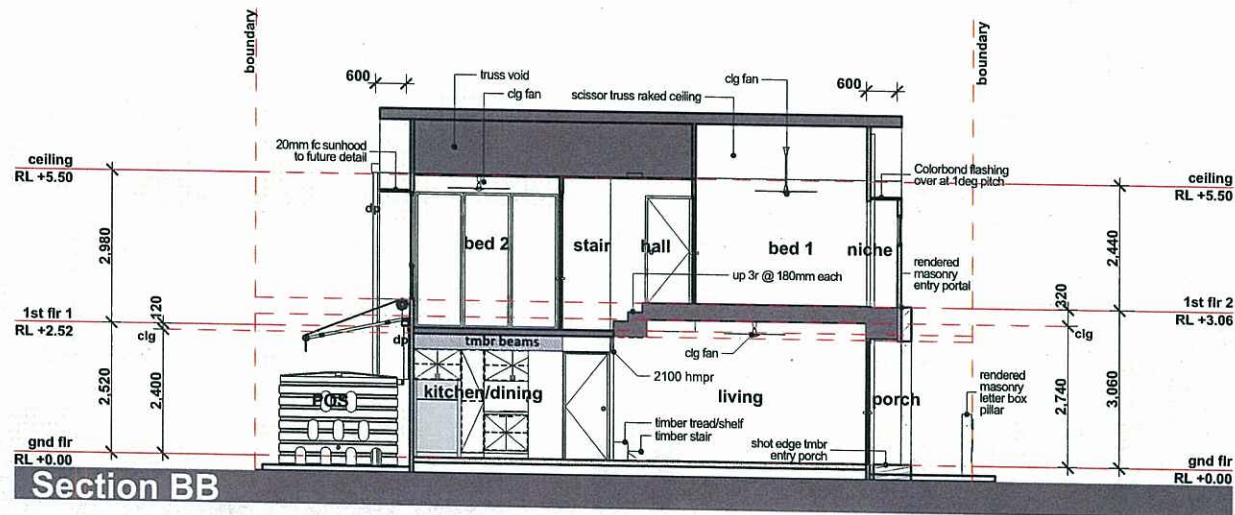
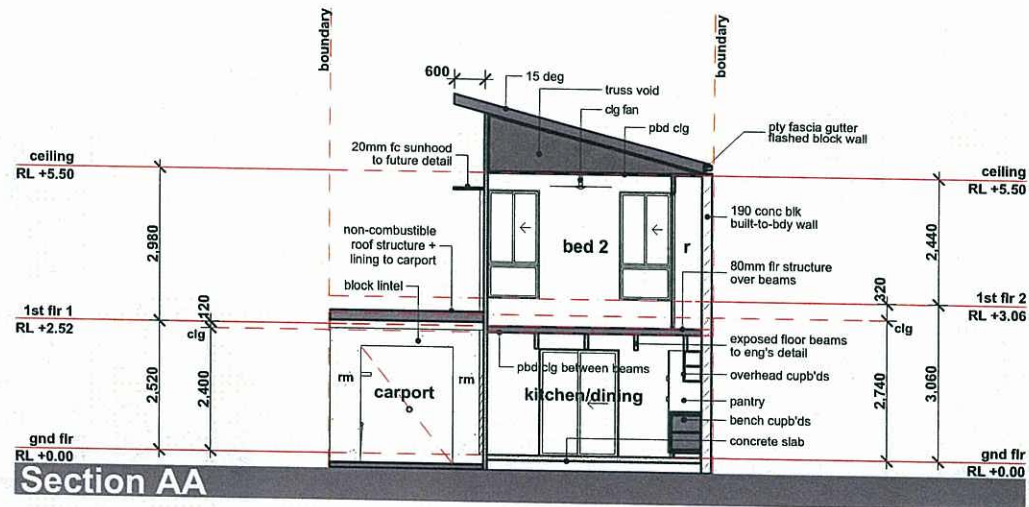
Status: DD Date: 14.10.11

Scale: 1:100 @ A3 Drawn by: tb

Drawing Title:
Elevations

Project No: ULD009 Drawing No.:
T2 - C A DD 03.01

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AMMENDMENTS			
A	14.10.11	Builder's Pricing	ib AD



Homegrown Design Collection

Client
Urban Land Development Authority

Project Name
Seedling Garden Villa

Status: DD Date: 14.10.11

Scale: 1:100 @ A3

Drawing Title:

Sections

Project No: ULD009 Drawing No.:
T2 - C A DD 04.01

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Drawing Schedule

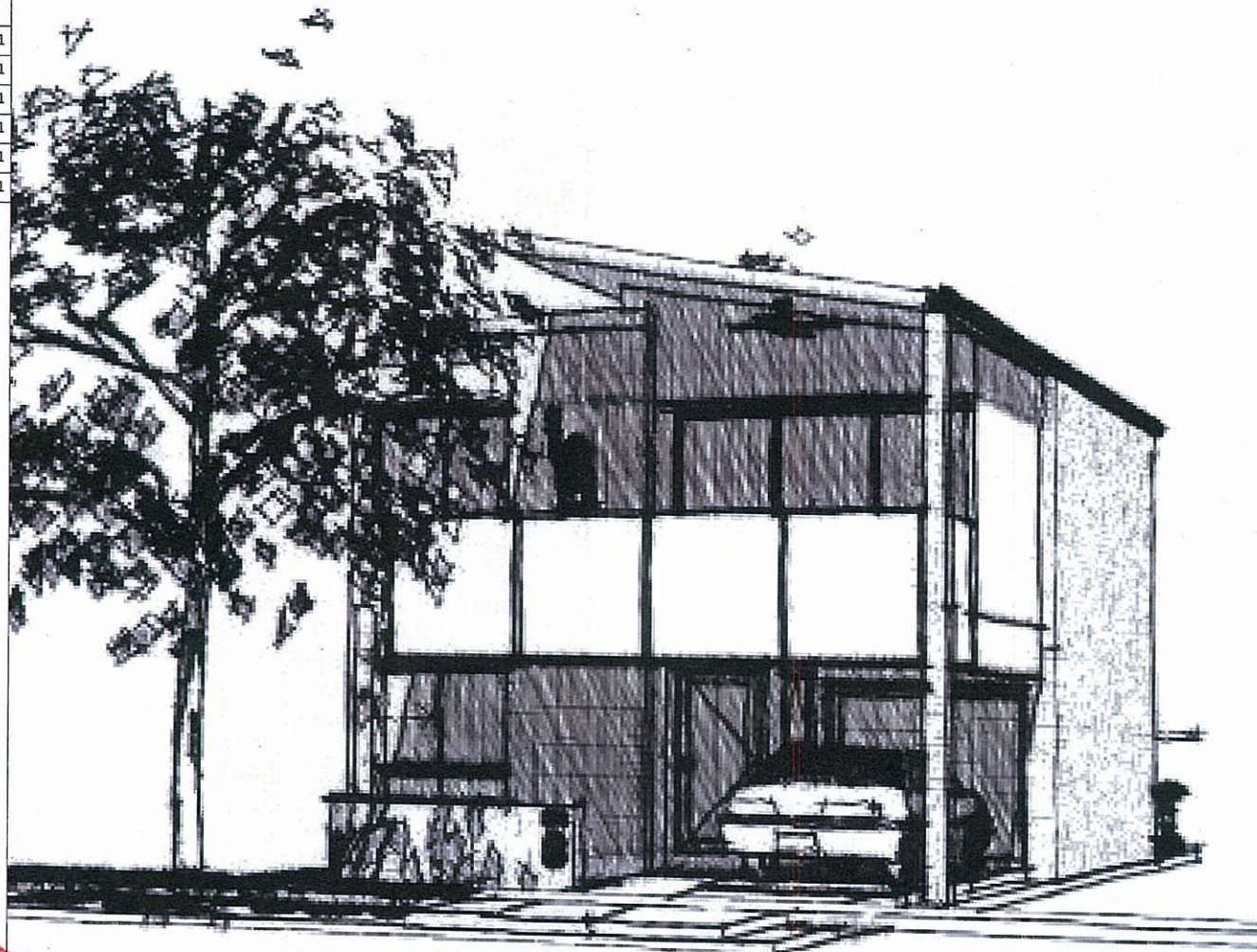
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DD 00.01	Cover Sheet	A	Issued for Client Review/Approval	12/09/2011
DD 01.01	Site & Location Plan	A	Issued for Client Review/Approval	12/09/2011
DD 02.01	Floor Plans	A	Issued for Client Review/Approval	12/09/2011
DD 02.02	Roof Plan & Legend	A	Issued for Client Review/Approval	12/09/2011
DD 03.01	Elevations	A	Issued for Client Review/Approval	12/09/2011
DD 04.01	Sections	A	Issued for Client Review/Approval	12/09/2011

A MENDED IN RED D
7 DEC 2011

By: Matt Toon (name)
of the ULDA

House plans for proposed
lots 3096 to 3100.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 9 / 12 / 11



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AMENDMENTS			
A	12.09.11	Client Review/Approval	ap AD



HOMEGROWN DESIGN COLLECTION

Client:
Urban Land Development Authority

Project Name
Lot 3 - Stem Outlook Terrace (C)

Status: DD

Scale: N/A

Drawing Title:

Cover Sheet

Project No: ULD009

111-03 A

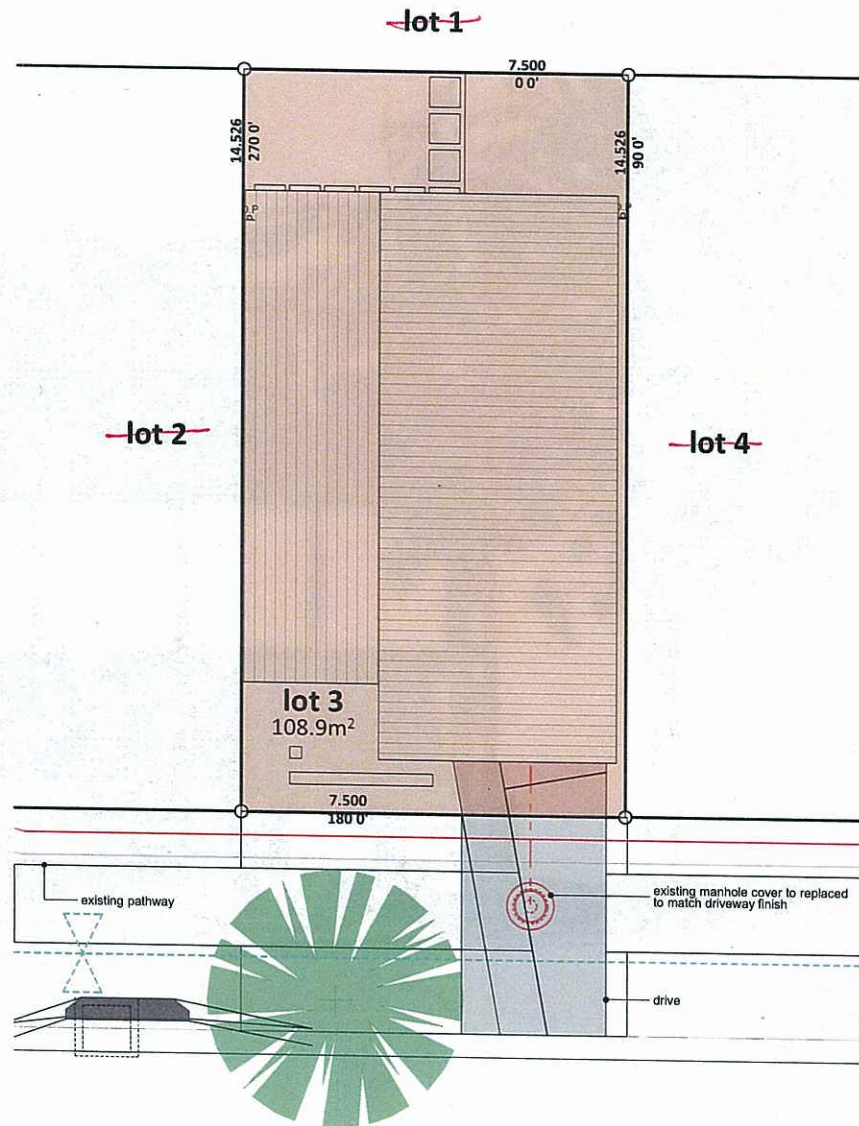
Date: 20 Aug 2011

Drawn by: ad

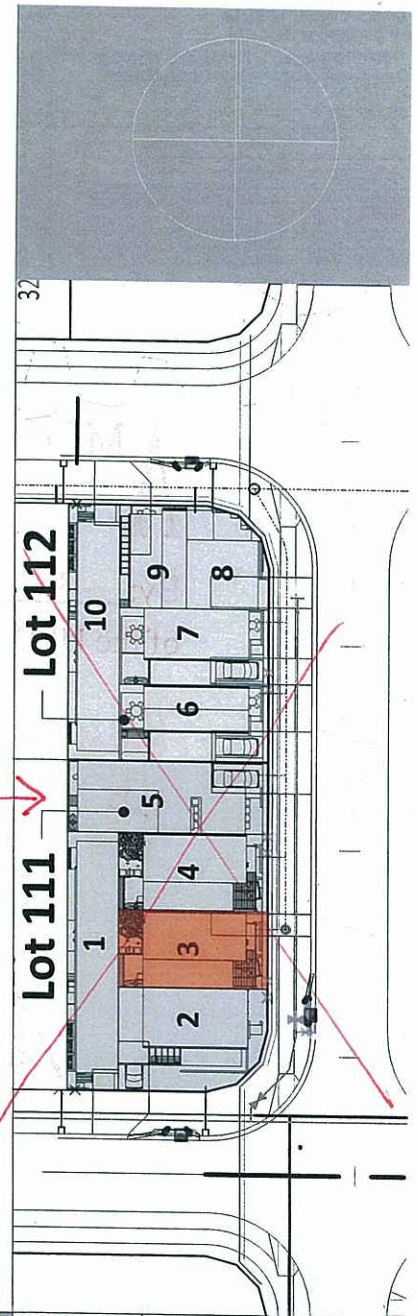
Drawing No.:

DD 00.01





Not part of this approval



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Continued and other base site data shown on this drawing have been derived from a combination of site consulting drawings obtained in digital format.

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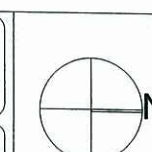
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AMMENDMENTS				
A	12.09.11	Client Review/Approval	ap	AD



Ground Floor		First Floor	
internal area	35.8 m ²	internal area	63.7 m ²
garage	20.8 m ²	balcony	11.8 m ²
pos	11.8 m ²	sub-total	75.5 m ²
sub-total	56.6 m ²		
GFA			99.7 m ²
cover area			68.6 m ²



HOMEGROWN DESIGN COLLECTION	
Client	Urban Land Development Authority
Project Name	Lot 3 - Stem Outlook Terrace (C)

Status: DD	Date: 20 Aug 2011
Scale: 1:100 @ A3	Drawn by: ad
Drawing Title:	Site & Location Plan
Project No: ULD009	Drawing No.: 111-03 A DD 01.01

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