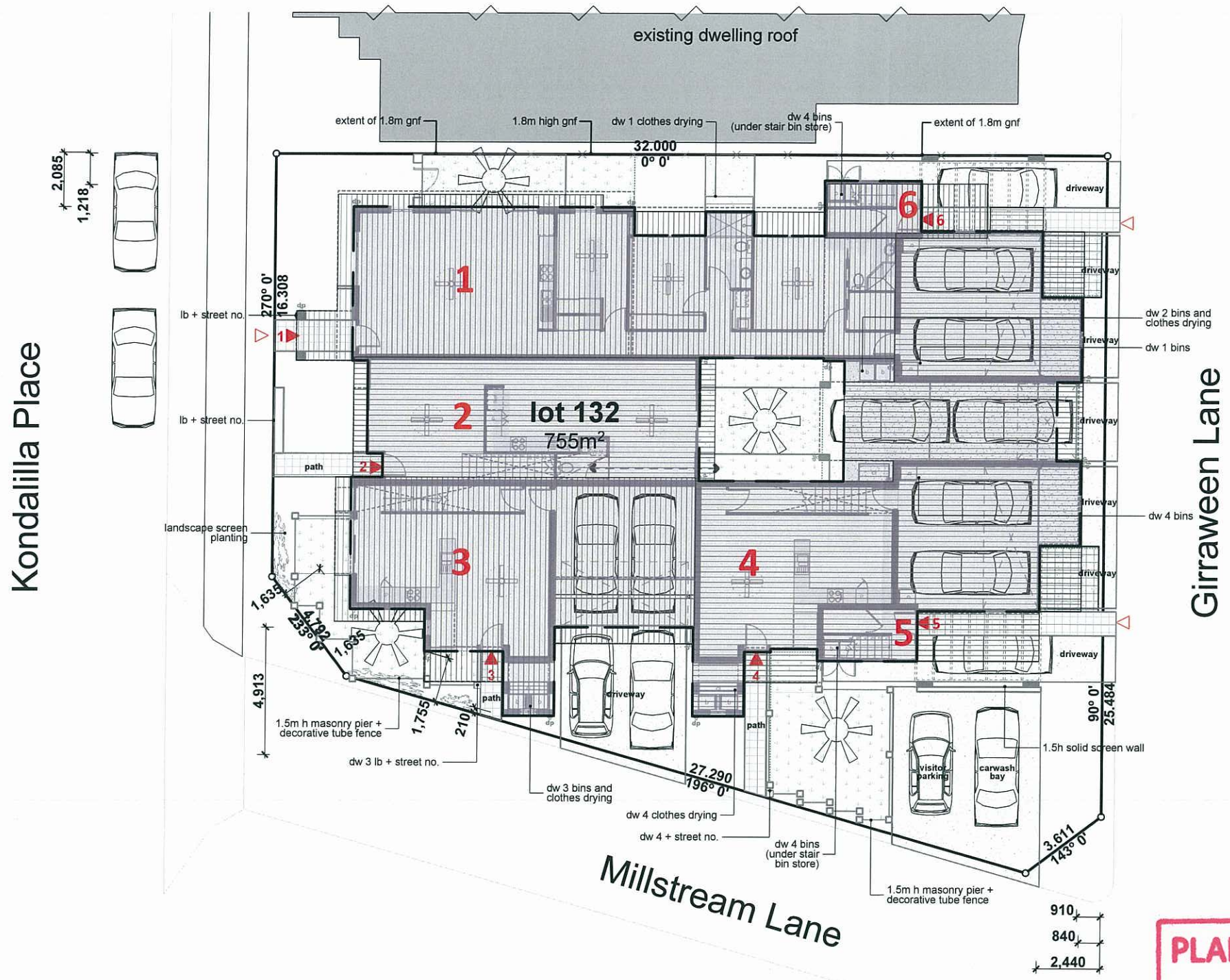

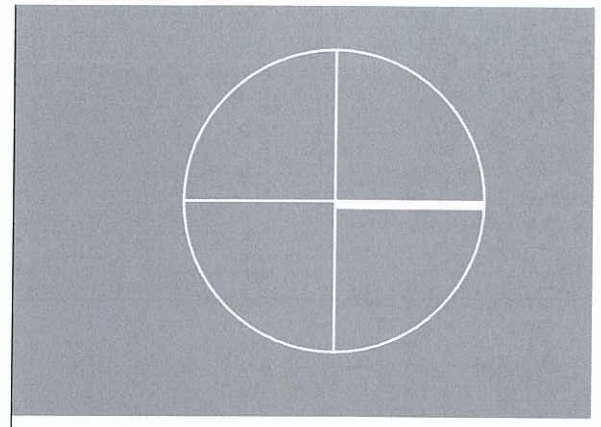

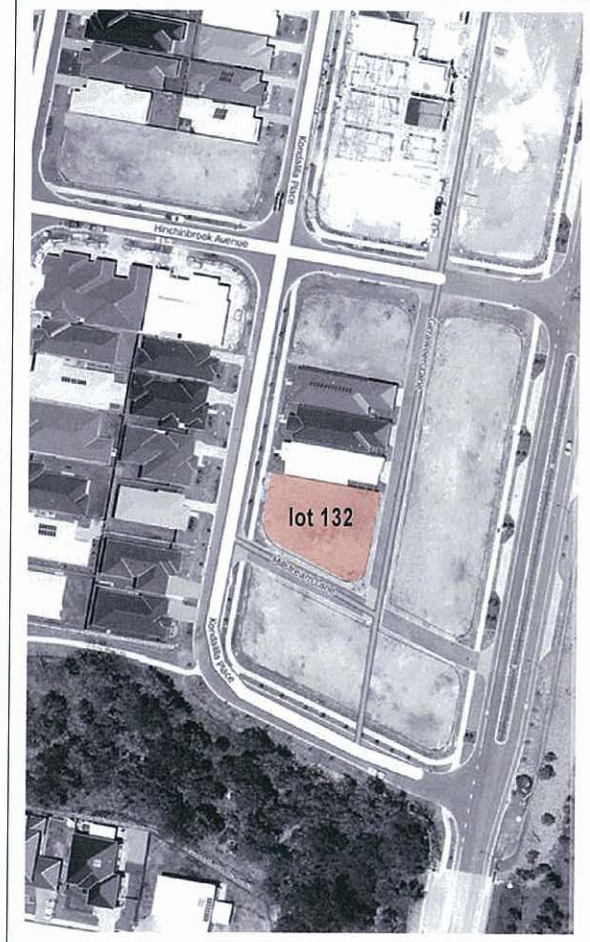

Notes:
1. Lighting will be designed to light up the buildings and vegetated areas only, without overspill to other buildings or the sky.
2. Detailed landscape plans will be designed to reflect the character of the location.
3. Provide hose cocks to all carports and/or one garage bay for car washing.

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AMMENDMENTS

A	20.02.12	For Builders Pricing	tb	AD
B	17.04.12	For Valuation	ad	AD
C	26.04.12	Development Application	ap	AD

Dwelling 1	Dwelling 2	Dwelling 3	Dwelling 4	Dwelling 5	Dwelling 6
gfa 112.4 m²	gfa 122.6 m²	gfa 96.4 m²	gfa 93.2 m²	gfa 65.0 m²	gfa 65.0 m²
pos 17.3 m²	pos 22.8 m²	pos 19.1 m²	pos 23.4 m²	pos 8.2 m²	pos 8.2 m²

combined cover area 503.0m2
cover based on lot size 755m² 66%

N

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA | Date: 26.04.12
Scale: 1:200 @ A3 | Drawn by: ap
Drawing Title:
Site & Location Plan
Project No: 132 CR0128 C | Drawing No.: BA 01.01

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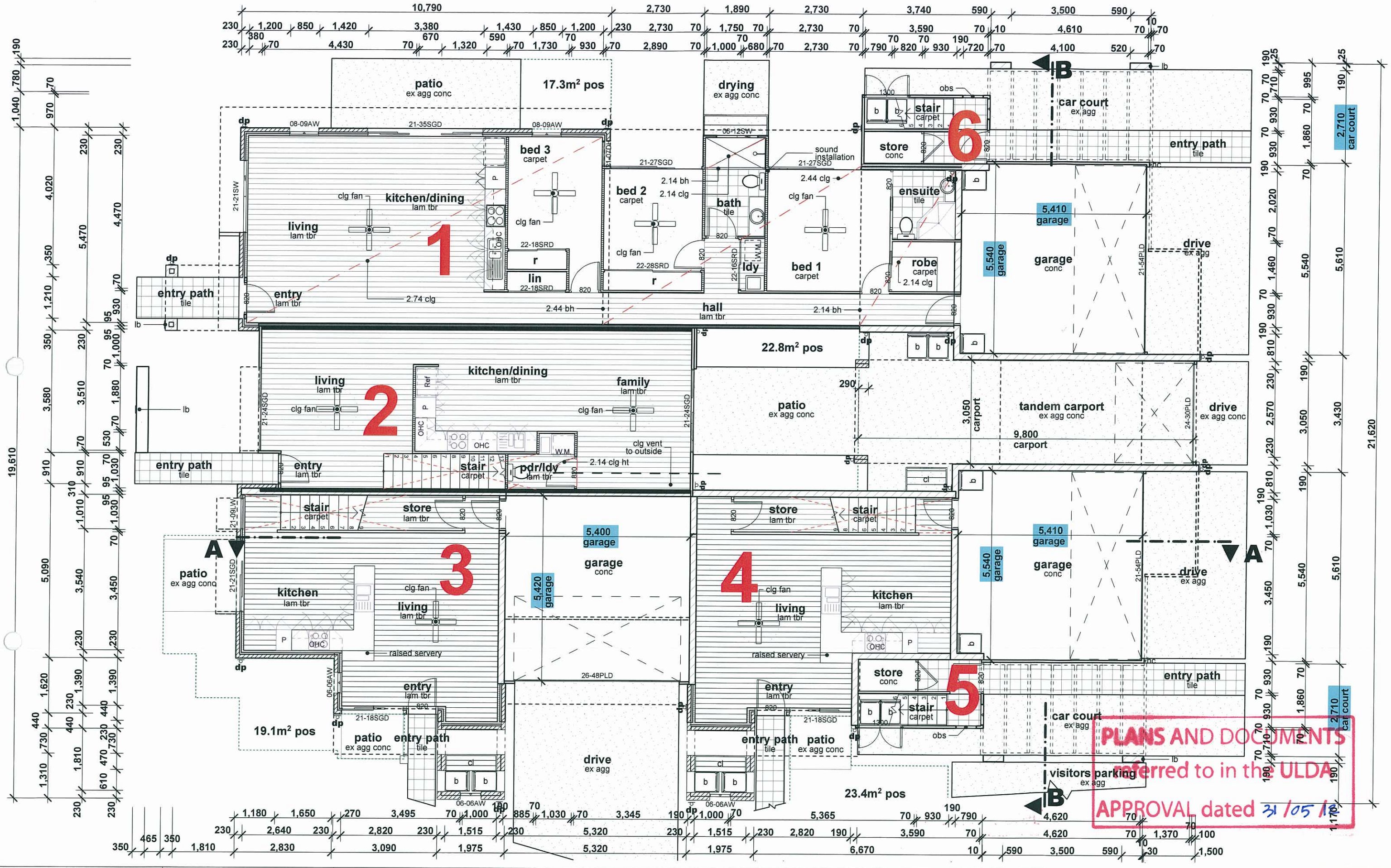

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AMMENDMENTS

A	20.02.12	For Builders Pricing	tb	AD
B	17.04.12	For Valuations	ad	AD
C	26.04.12	Development Application	ap	AD

	Dwelling 1	Dwelling 2	Dwelling 3	Dwelling 4	Dwelling 5	Dwelling 6
int	grd 112.4 m²	grd 61.0 m²	grd 47.5 m²	grd 45.4 m²	grd 7.9 m²	grd 7.9 m²
	1st N/A	1st 61.6 m²	1st 48.9 m²	1st 47.8 m²	1st 57.1 m²	1st 57.1 m²
	garage 32.3 m²		garage 30.7 m²	garage 31.7 m²		
	total int'l 144.7 m²	total int'l 122.6 m²	total int'l 127.1 m²	total int'l 124.9 m²	total int'l 65.0 m²	total int'l 65.0 m²
ext	porch 4.1 m²	porch 0.5 m²	porch 1.1 m²	porch 1.0 m²	car crt/porch 12.9 m²	car crt/porch 12.9 m²
		carport 36.5 m²	utility court	utility court 4.0 m²	balcony 10.0 m²	balcony 10.0 m²
	total ext'l 4.1 m²	total ext'l 36.5 m²	total ext'l 5.1 m²	total ext'l 5.0 m²	total ext'l 22.9 m²	total ext'l 22.9 m²
all	total 148.8m2	total 159.1m2	total 132.2m2	total 129.9m2	total 77.9m2	total 77.9m2

N

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA | Date: 26.04.12
Scale: 1:100 @ A3 | Drawn by: ap
Drawing Title:
Floor Plan
Project No: 132 | CR0128 | C
Drawing No.: **BA 02.01**

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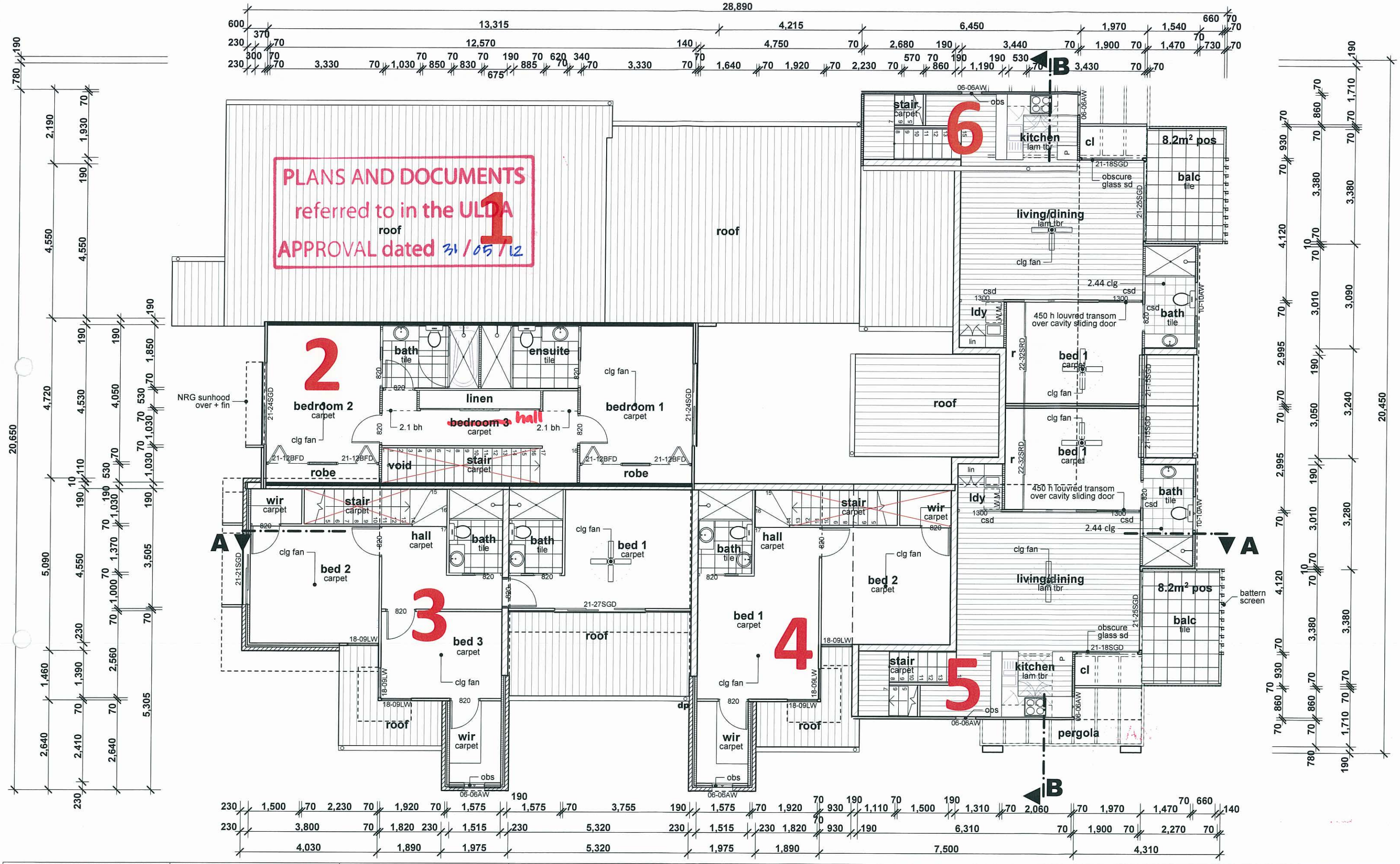

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AMMENDMENTS

A	20.02.12	For Builders Pricing	tb	AD
B	17.04.12	For Valuation	ad	AD
C	26.04.12	Development Application	ap	AD

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA | Date: 26.04.12
Scale: 1:100 @ A3 | Drawn by: ap
Drawing Title:
First Floor Plan
Project No: 132 | CR0128 C | Drawing No.: BA 02.02

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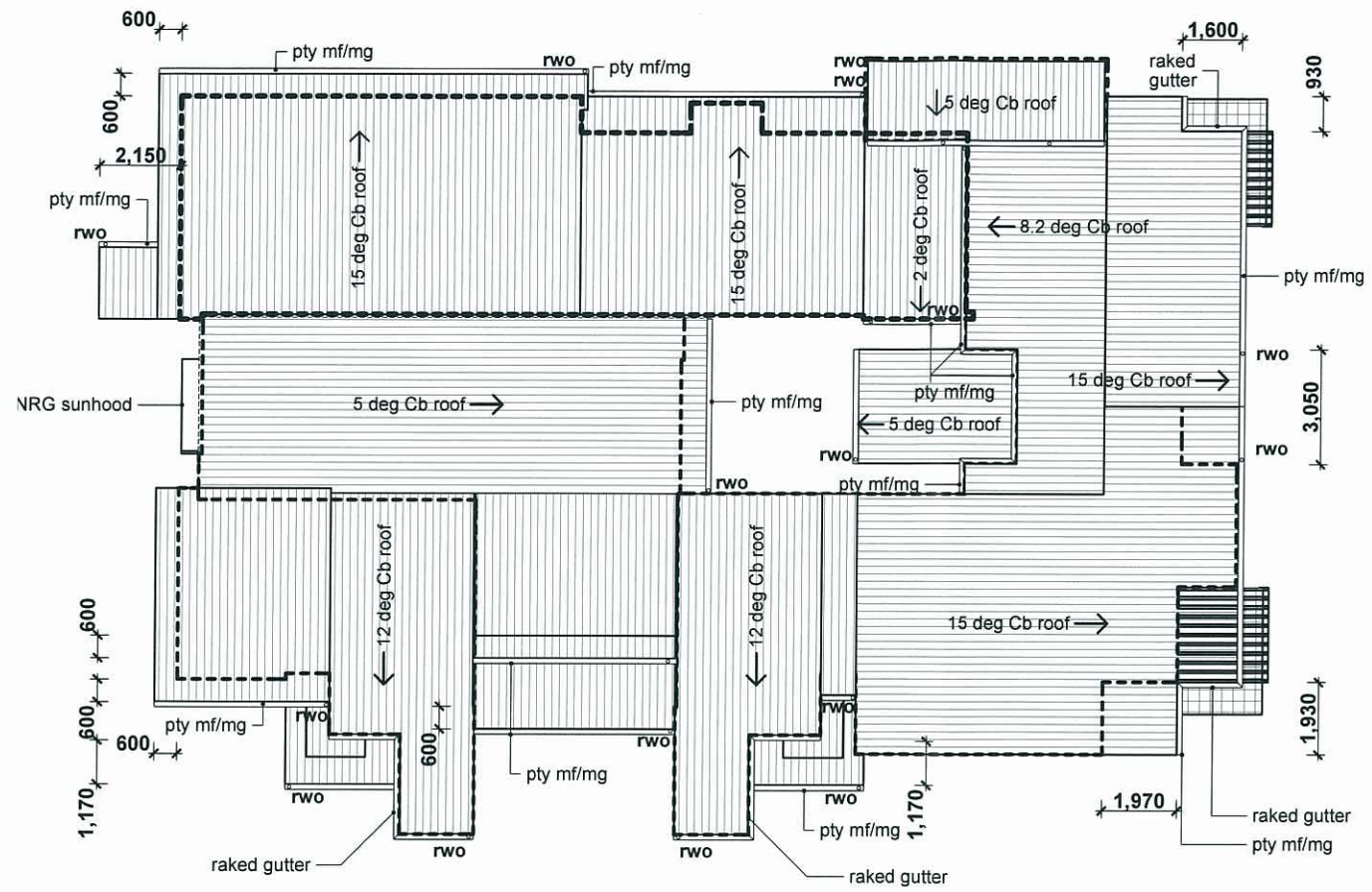
Legend

ac	air conditioner
Adcm	Aust'n domestic constr'n manual
ag	agricultural drain
agg	aggregate
aj	articulated joint
al	selected finish aluminium
AS	Australian Standards
aw	top hung awning window
b	rubbish bin
ba	building approval assessment
bb	brick band
bdy	boundary
bfd	bi-fold door
bh	bulkhead
blk	blockwork
bm	basin mixer
brk	brickwork
bs	basin spout
bt	bath tub
bv	brick veneer
Cb	Colorbond finished metal
ch	ceiling height
chs	circular hollow section
cl	centreline or clothes line
clg	ceiling
cp	control panel
cpd	cupboard
csd	cavity sliding door
ct	coated
ctr	concrete tile roof
d	dryer
dc	drying court
dec	decorative
°	degrees
dn	down
dp	down pipe
dw	dishwasher
dwr	drawer
ej	expansion joint
ens	ensuite
ent	entry
ep	electrical pillar
eq	equal
exp	exposed
fb	face brick
fblk	face block
fc	fibre cement
fc/p	fibre cement painted
fcu	fan coil unit
fg	fixed glazing
flr	floor
fm	face masonry
frl	fire resistance level
fsl	floor surface level
fw	floor waste
galv	galvanised
gar	garage
g	glass louvre window
gd	ground
gnf	good neighbour style tmbr fence
gp	gully pit yard drain
gpd	glass panel door
hc	hose cock
hmpr	square arch hamper
hp	hotplates
h	high
ht	height
hw	hard wood
hws	hot water service
hwu	hot water unit
jny	joinery
kd	kiln dried
ks	kitchen sink
lam	laminated
lb	letterbox
Lb	Linea board
ld	leaf diverter
ldg	stair landing
ldy	laundry
lin	linen
m	masonry
mb	meter box
mf	selected pty metal fascia
mg	selected pty metal gutter
mpr	multi-purpose room
mw	microwave
n	nominal
N	North
NRG	pty greenboard cladding
ns	natural surface
nsl	natural surface level
o	open
obs	obscure glazing
oh	overhead and/or overhang
ohc	overhead cupboard
omp	outer most projection
pb	painted brick
pc	parapet capping
pdr	powder
pf	painted finish
pfc	parallel flange channel
ph	pitching height
pld	auto panel lift door
pos	private open space
ps	plumbing stack
ptry	pantry
pty	proprietary
r	robe
ra	return air vent
rb	rendered brick
rd	roller door
ref	refrigerator
rh	rangehood
rl	relative level
rsr	riser
rwo	rain water outlet
rwt	rain water tank
S	South
sa	smoke alarm
sc	self-closing
sd	sliding door
se	sewer
sf	stone finish
sgd	sliding glass door
shr	shower
shs	square hollow section
sl	self-locking
sm	shower mixer
SMD	smoke detector
sp	survey plan
spd	soap dish
sr	shower rose
sst	stainless steel
st	steel, street or store
St	Solartube skylight/light/vent/fan
stc	sound transmission class
sv	stone veneer
sw	sliding window or storm water
t	laundry tub
tbr	timber
tc	texture coating
tp	treated pine
trg	towel ring
trh	toilet roll holder
trl	towel rail
tv	timber veneer
typ	typical
ubo	under bench oven
uno	unless noted otherwise
upvc	unplasticised poly vinyl chloride
vb	vanity basin
wb	weatherboard
wc	water closet (toilet)
wir	walk in robe
wm	washing machine
wo	wall oven



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AMMENDMENTS

A	20.02.12	For Builders Pricing	tb	AD
B	17.04.12	For Valuation	ad	AD
C	26.04.12	Development Application	ap	AD

N

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA | Date: 26.04.12
Scale: 1:200 @ A3 | Drawn by: ap
Drawing Title:
Roof Plan & Legend
Project No: 132 | CR0128 | C
Drawing No.: **BA 02.03**

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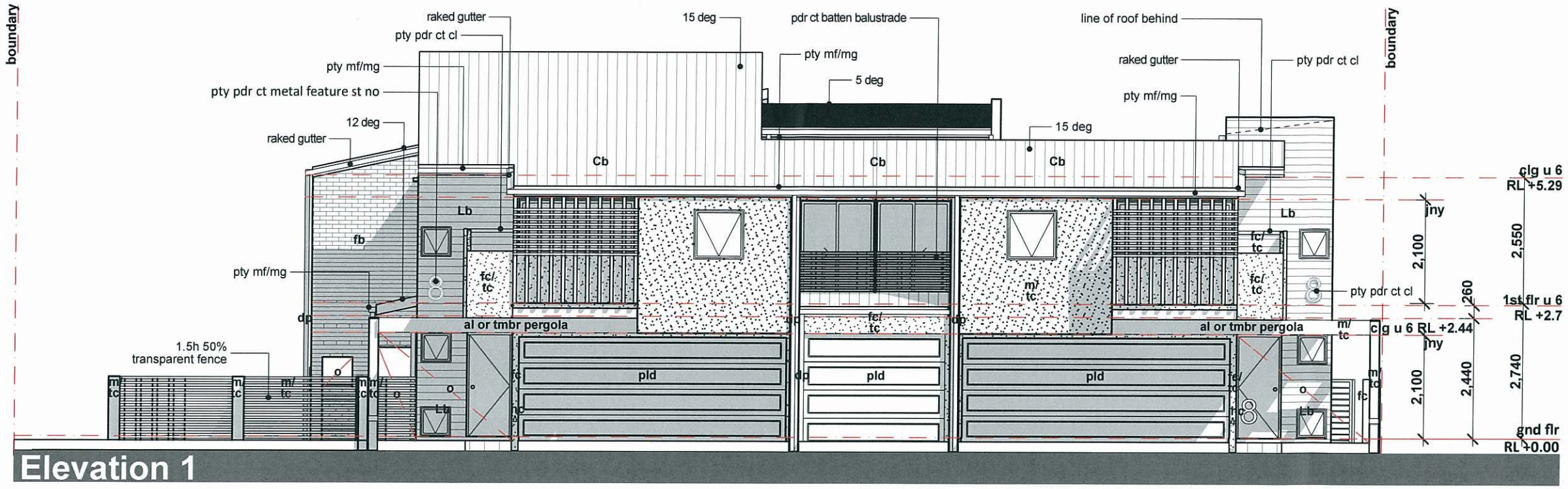
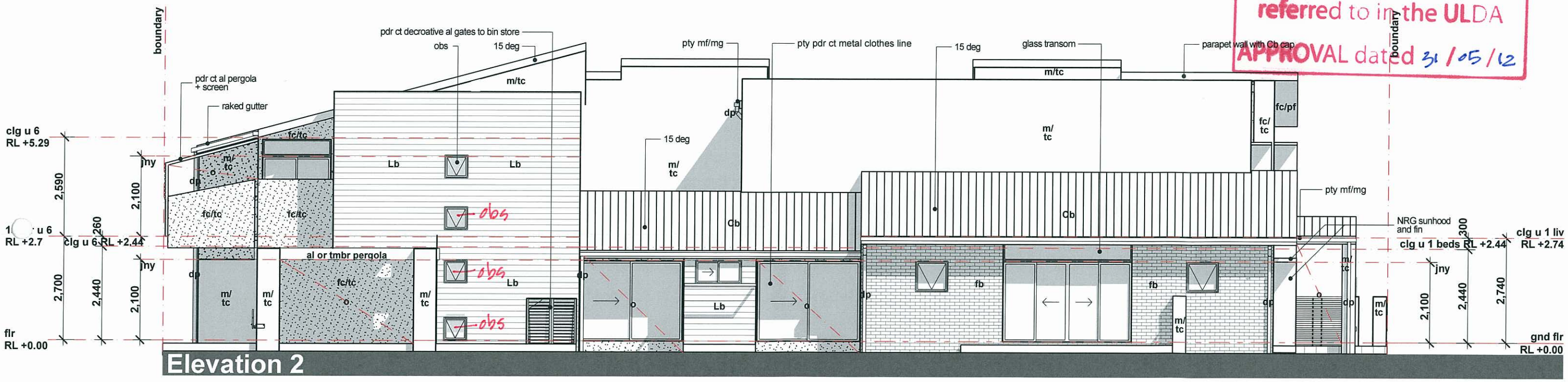


Elevation 1



Elevation 2

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 31/05/12

AMENDED IN RED
31 MAY 2012
By: Don Ribn (name)
of the ULDA

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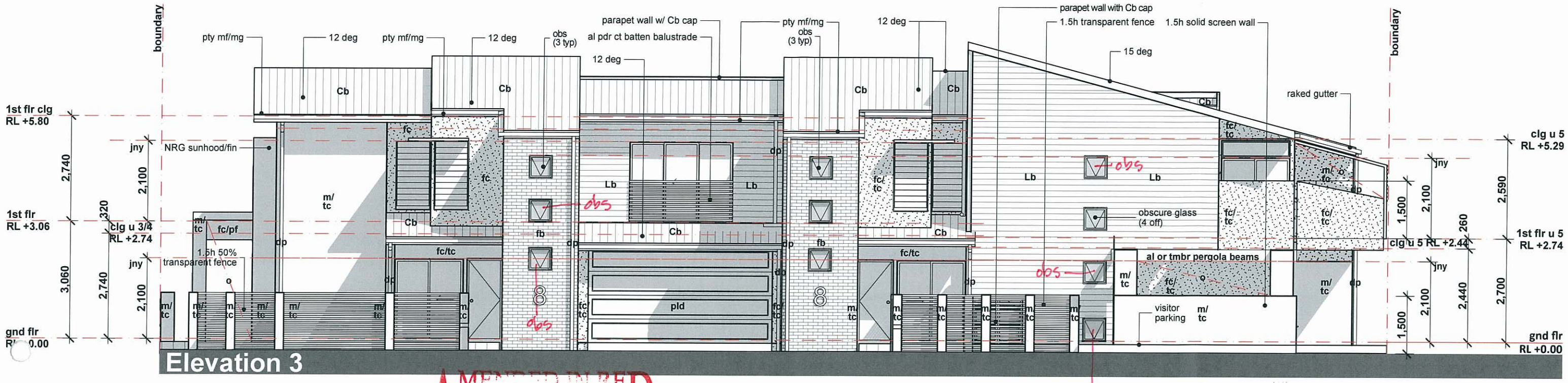
AMMENDMENTS				
A	20.02.12	For Builders Pricing	tb	AD
B	17.04.12	For Valuation	ad	AD
C	26.04.12	Development Application	ap	AD

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA
Date: 26.04.12
Scale: 1:100 @ A3
Drawn by: ap
Drawing Title:
Elevations 1 & 2
Project No: 132 CR0128
C
Drawing No.: BA 03.01

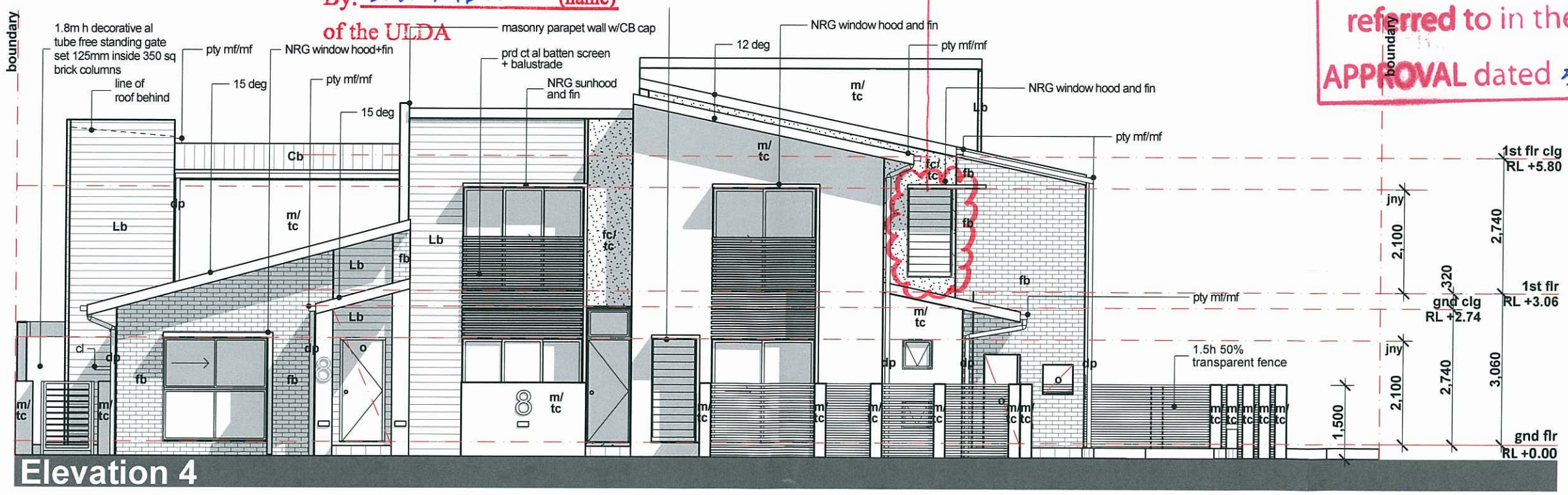
degenhart SHEDD



Elevation 3

AMENDED IN RED
31 MAY 2012
By: Don Ribu (name)
of the ULDA

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 31/05/12



Elevation 4

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AMMENDMENTS

A	20.02.12	For Builders Pricing	tb	AD
B	17.04.12	For Valuation	ad	AD
C	26.04.12	Development Application	ap	AD

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA | Date: 26.04.12
Scale: 1:100 @ A3 | Drawn by: ap
Drawing Title: **Elevations 3 & 4**
Project No: 132 | CR0128 C | Drawing No.: BA 03.02

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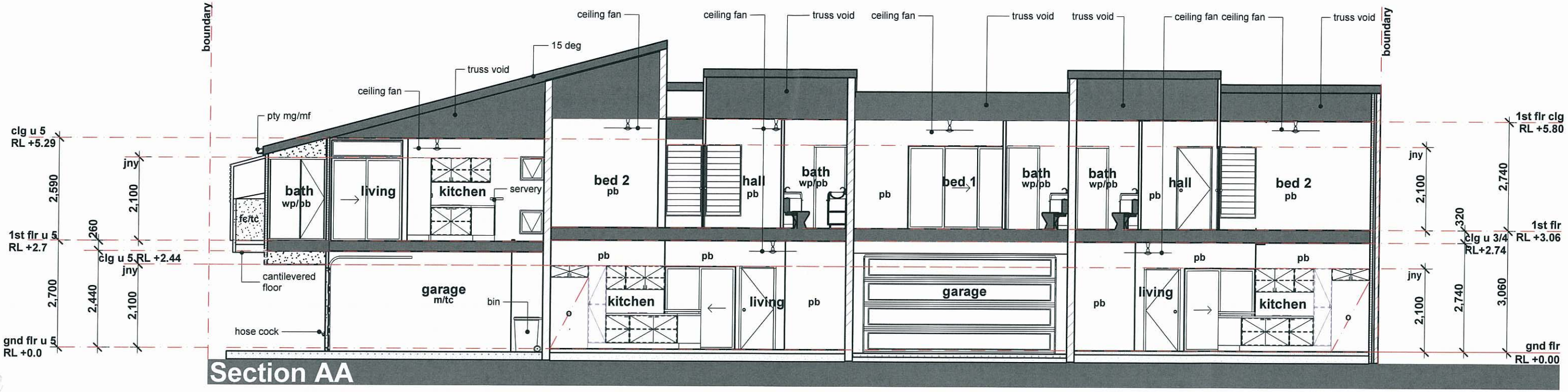
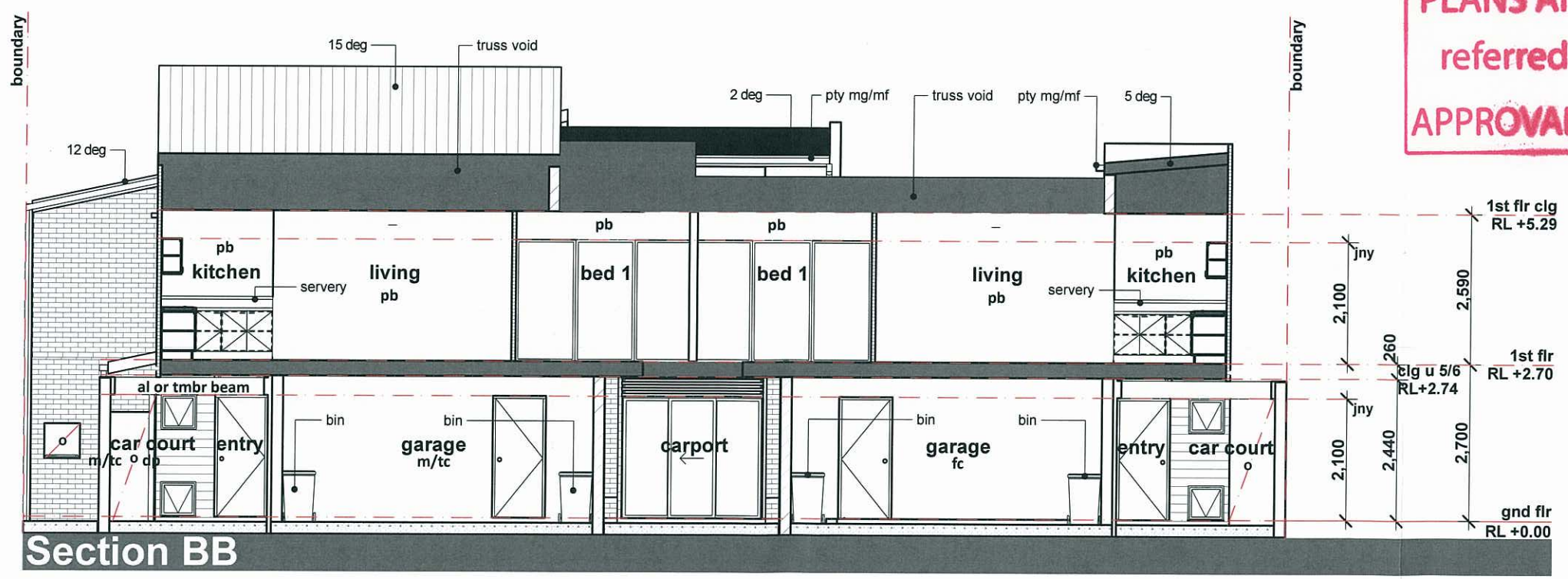


Section AA



Section BB

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B	17.04.12	For Valuation	ad	AD
C	26.04.12	Development Application	ap	AD

Client
Crown Property Pty Ltd

Project Name
MFD Dwellings, Fitzgibbon Chase

Status: DA | Date: 26.04.12
Scale: 1:100 @ A3 | Drawn by: ap
Drawing Title:
Sections

Project No: 132 | CR0128 | C
Drawing No.: **BA 04.01**

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