



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916

Date: 26 April 2018

Illustration of Design



HAYMAN HOMES (AUSTRALIA) PTY LTD
72 SMITH ST, SOUTHPORT QLD 415
t 07 5591 9111
f 07 5591 9111
admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS:
**LOT 253
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:

**PROPOSED
TERRACE 160m -
FACADE 2**

DATE: 18.04.18 DRAWN: NV CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	ADM	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	08.01.18	MEU ALFRESCO 2, INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE: _____

CLIENTS SIGNATURE: _____

JOB NO:
17 00383

SCALE:

DWG NO:
002

ISSUE:

D

PROPERTY DETAILS
S.P:
290283

PARISH:

COUNTY:

LAND AREA:
281m²

STAGED PLAN:
WORKING DWG

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

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NOTE: STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS. ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS AS/NZS3500

NOTE : FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY.

AMENDED IN RED

By: Vicki Andre

Date: 24 April 2018



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Date: 26 April 2018



ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT FOR REQUIREMENTS

AREA SCHEDULE

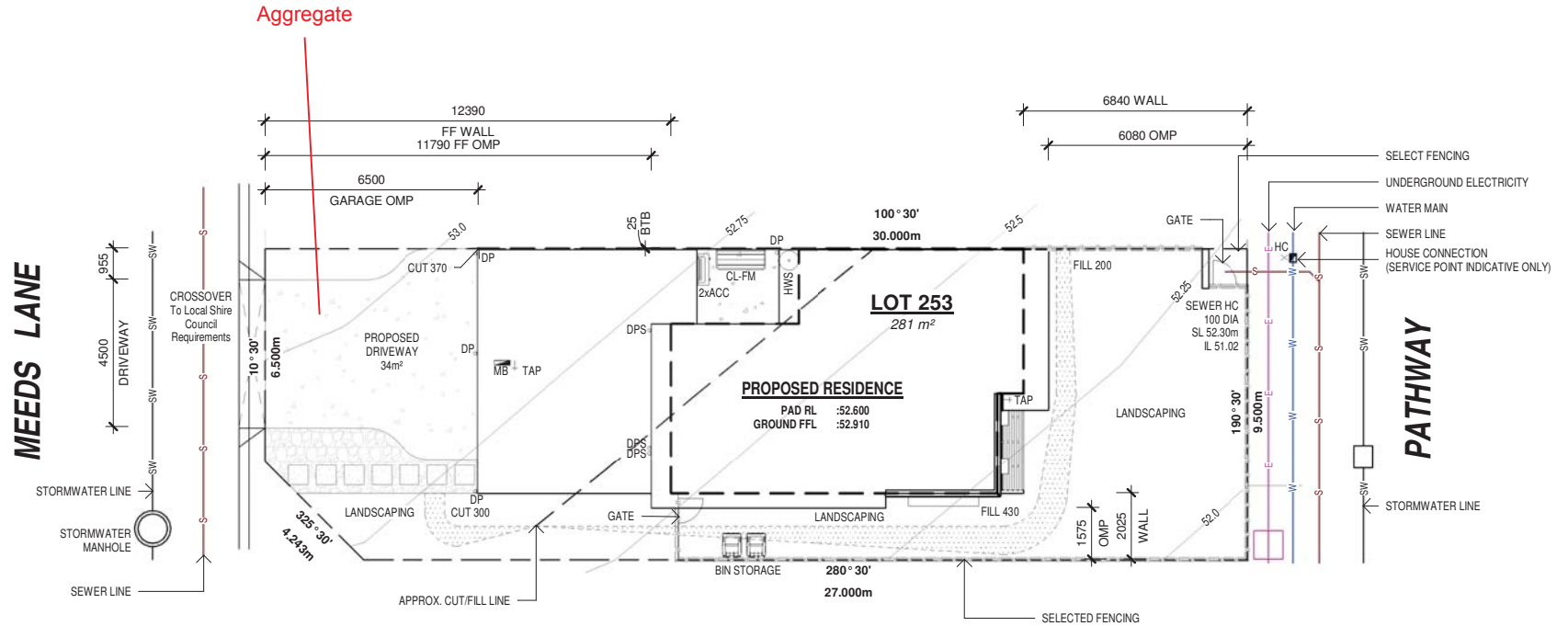
ALFRESCO	12.29 m²
ALFRESCO 2	24.14 m²
COURT	7.35 m²
FIRST FLOOR LIVING	68.99 m²
GARAGE	21.41 m²
GROUND FLOOR LIVING	58.87 m²
Grand total	193.05 m²

LEGEND

2xACC	2x AIR-CONDITIONER CONDENSERS
CL-FM	FENCE MOUNTED CLOTHES LINE
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
HWS	HOT WATER SYSTEM
MB	METER BOX
TAP	12mm HOSE COCK - EXTERNAL

PROPOSED RESIDENCE
LOT 253
SITE AREA = 281m²
SITE COVERAGE = 44%
LANDSCAPE AREA = 125m²

NOTE: CONTOURS OBTAINED FROM DISCLOSURE PLAN.



Site Plan



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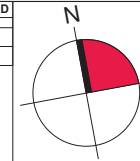
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CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00383
SCALE:
1 : 150
DWG NO:
100

ISSUE:
D

PROPERTY DETAILS
S.P.: 290283
PARISH:
COUNTY:
LAND AREA:
281m²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

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AREA SCHEDULE	
ALFRESCO	12.29 m²
ALFRESCO 2	24.14 m²
COURT	7.35 m²
FIRST FLOOR LIVING	68.99 m²
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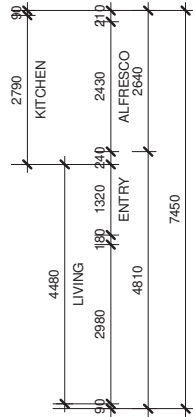
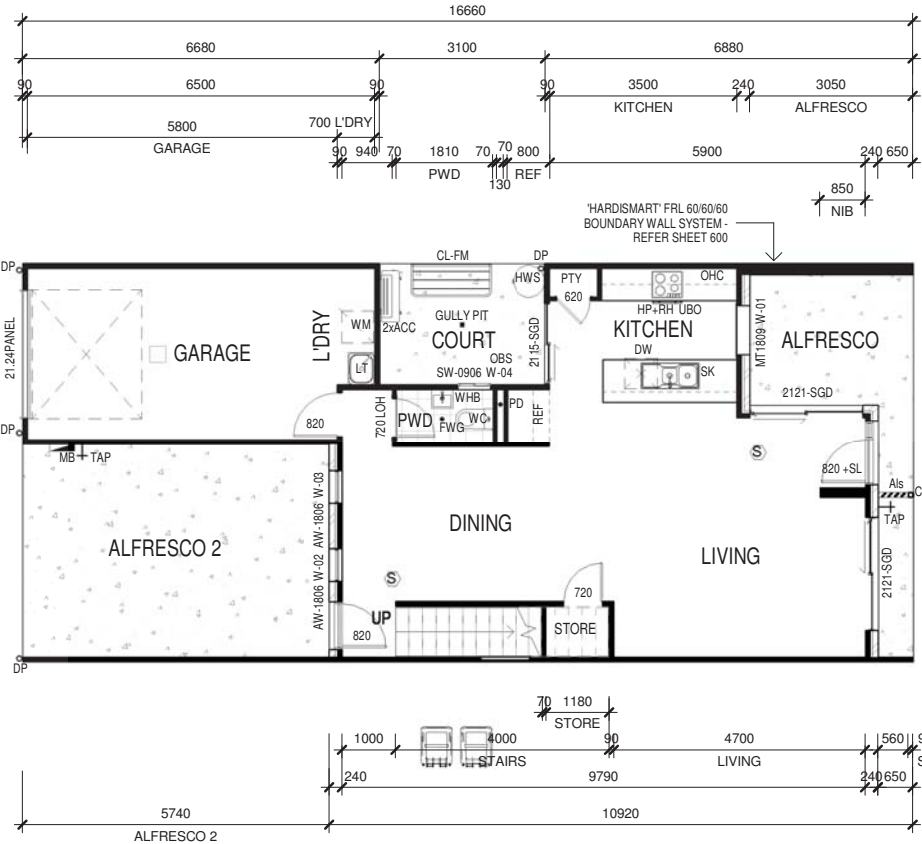
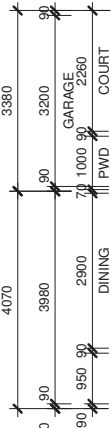
LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
Als	Aluminium Louvre Screen
CL-FM	FENCE MOUNTED CLOTHES LINE
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
DP	DOWNPIPE
DW	DISHWASHER SPACE
FWG	FLOOR WASTE GULLY
HP+RH	HOT PLATE AND RANGEHOOD
HWS	HOT WATER SYSTEM
LT	LAUNDRY TUB
MB	METER BOX
OBS	OBSCURE GLAZING
OHC	CUPBOARD - OVERHEAD
PD	PLUMBING DUCT
PTY	PANTRY FITOUT
REF	REFRIGERATOR SPACE
SK	SINK
TAP	12mm HOSE COCK - EXTERNAL
UBO	OVEN - UNDER BENCH
WC	WATER CLOSET
WHB	WALL HUNG BASIN
WM	WASHING MACHINE SPACE

- NOTES:
- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
 - THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWGS.
 - FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
 - UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
 - ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
- NOTES :
- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
 - LIFT OFF HINGES TO WC DOOR.
 - SARKING TO ROOF.
 - R2.5 INSULATION TO CEILINGS.
 - R1.5 INSULATION TO WALLS.
 - ALL SHOWER ROSES TO BE AAA RATED.
 - WATER PRESSURE LIMITED TO 500 KPA AT THE METER
 - ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
 - PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
 - WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	MT1809	1800	910	Awning Window 2 Transom - XOO
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	SW-1827	1800	2710	Sliding Window - XOX-OOO
06	AW-1845	1800	450	Awning Window X-O
07	AW-1845	1800	450	Awning Window X-O
08	AW-0621	600	2110	Awning Window XX
09	AW-1809	1800	910	Awning Window X-O
10	SW-1218	1200	1810	Sliding Window - XO
11	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS



Floor Plan - GF



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JOB ADDRESS: LOT 253 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 2		REV/ DATE DESCRIPTION DRAWN/ CHECKED		CLIENT: HAYMAN HOMES		DATE: 18.04.18 DRAWN: NV CHECKED: BJC		N		JOB NO: 17 00383		PROPERTY DETAILS S.P.: 290283 PARISH: COUNTY: LAND AREA: 281m²		STAGED PLAN: WORKING DWG USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	
				A 30.11.17 WORKING DRAWINGS ISSUED ADM NV B 07.12.17 SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL GL NV C 08.01.18 MECU ALFRESCO 2, INSULATION AND ELECTRICAL GL NV								SCALE: 1 : 100 DWG NO: 200		ISSUE: D			

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Grand total	193.05 m²

LEGEND	
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
900 VAN	VANITY UNIT - 900 LONG
BT	BATHTUB
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
FW	FLOOR WASTE
FWG	FLOOR WASTE GULLY
OBS	OBSCURE GLAZING
SHR	SHOWER
TR	TOWEL RAIL
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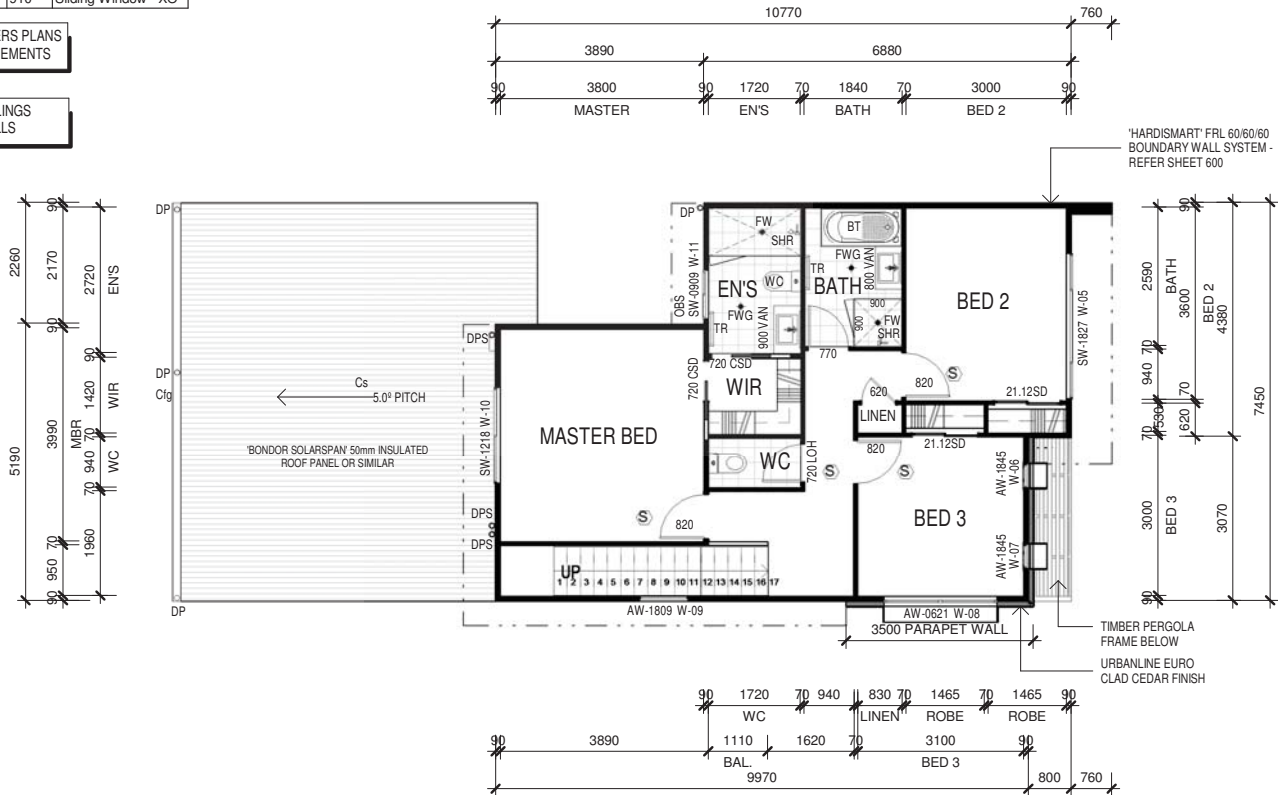
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- R2.5 INSULATION TO CEILINGS
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Floor Plan - FF



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		SCALE: 1 : 100		ISSUE: D		PARISH:																										
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NOTES:

DOWNPIPES ARE TO SERVICE **12m** MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN (NCC VOL 2, TABLE 3.5.2.2)

GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ2179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273

ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZS4200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY (NCC VOL 2, P3.5.1(F)) & HAVE A MAXIMUM 5 FLAMMABILITY INEDX (NCC VOL 2, P3.7.1.9(A))

ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES

DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE, BE INSTALLED NO LESS THAN **100mm** FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN **50mm** FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY

CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3

OVERFLOW MEASURERS IN ACCORDANCE WITH (NCC2016 VOL. 2 TABLE 3.5.2.4)

ROOF PLAN PROVIDED IS A GUIDE ONLY. TO BE READ IN CONJUNCTION WITH ENGINEER'S STORMWATER DRAINAGE PLAN.

NOTE:

SOLARSPAN DOMESTIC PATIO APPLICATION - **SINGE SPAN**
WIND CATEGORY (**N3 W41N**)
PANEL THICKNESS **50mm**
CASE B (2 SIDES OPEN) **MAX SPAN 3600mm**
 MAX OVERHANG 900mm

A WALL IS CLASSSED AS CLOSED IN 'IF 70% OF CROSS SECTION AREA IS COVERED'

SOLARSPAN BY BONDOR TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTUIONS,

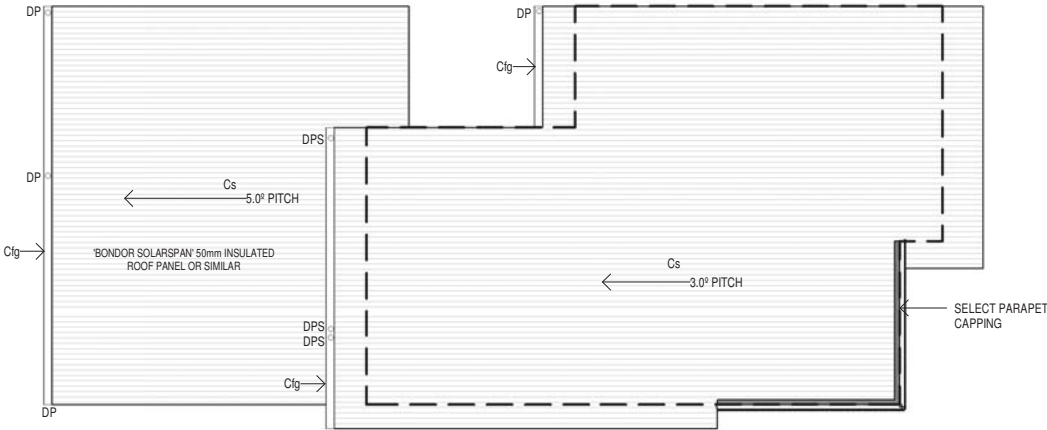
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LEGEND	
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof

Roof Plan



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					DWG NO: 210		COUNTY:																									
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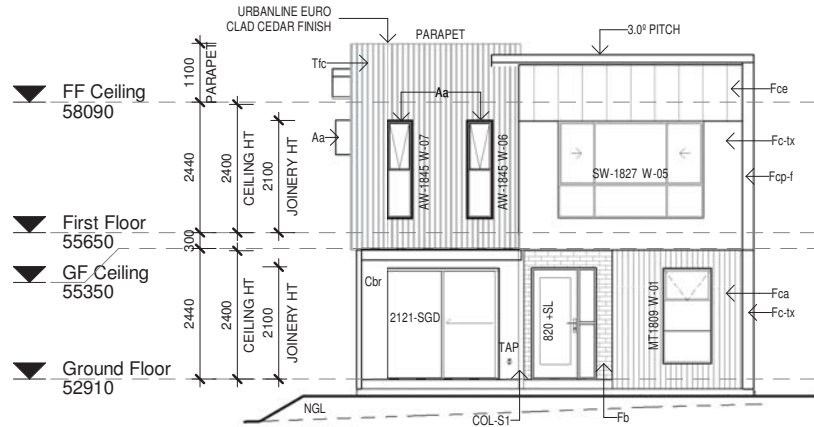
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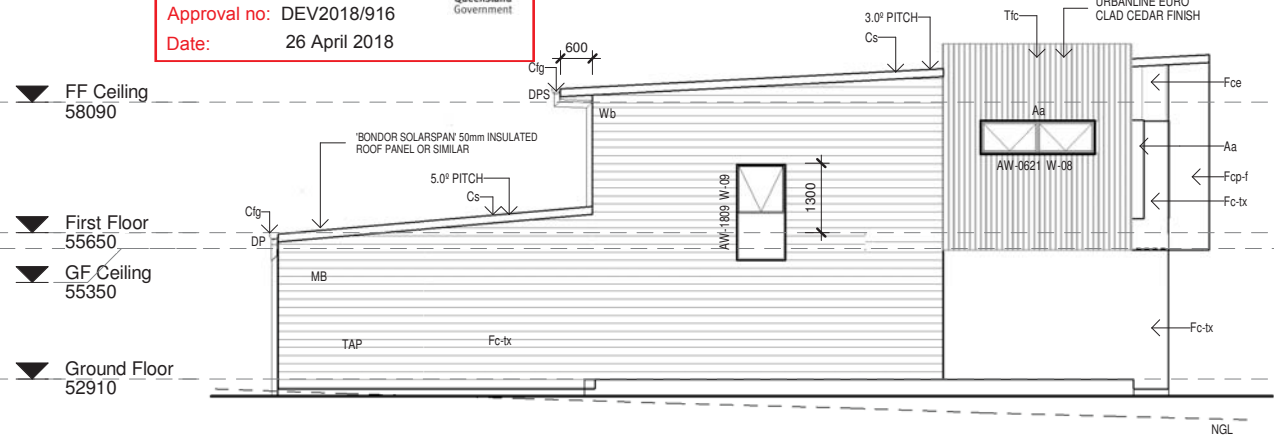
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2 FRONT ELEVATION
1 : 100

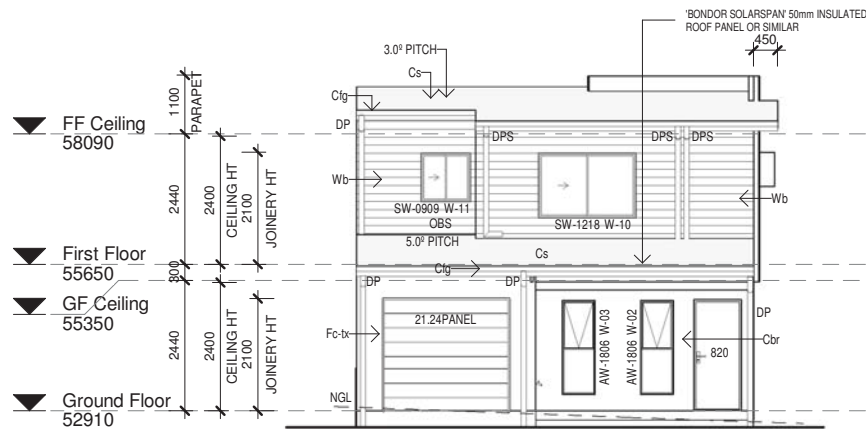


3 LEFT ELEVATION
1 : 100

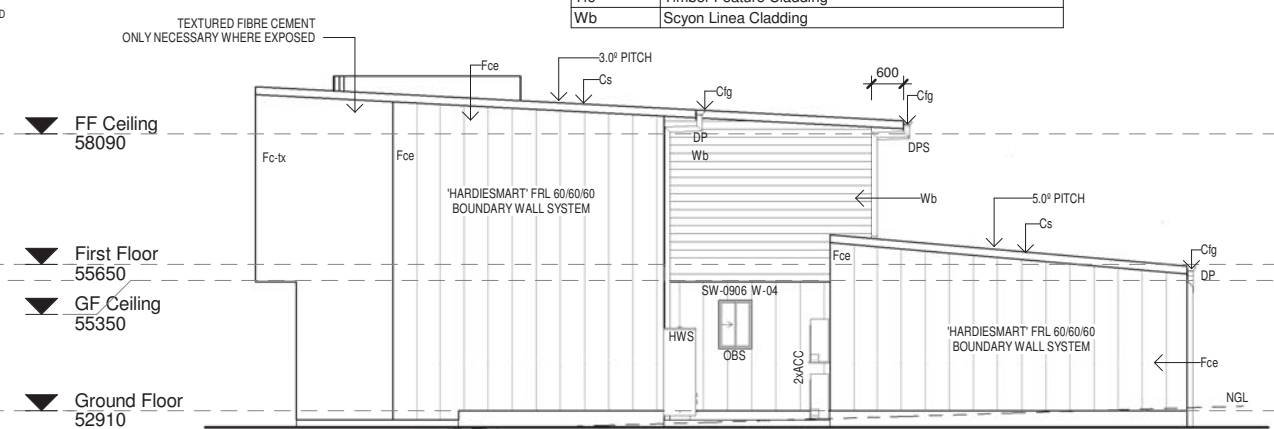
LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
Aa	Aluminium Framed Awning - Powder Coat Finish
Cbr	Common Brick, Render Finish

LEGEND	
Cfg	Colorbond Fascia & Gutter
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
Fb	Face Brick
Fc-tx	Fibre-Cement, Textured Finish

LEGEND	
Fca	Scyon Axon Cladding
Fce	James Hardie EasyLap Cladding
Fcp-f	Fibre-Cement, Paint Finish, Feature Colour
HWS	HOT WATER SYSTEM
MB	METER BOX
OBS	OBSCURE GLAZING
TAP	12mm HOSE COCK - EXTERNAL
Tfc	Timber Feature Cladding
Wb	Scyon Linea Cladding



1 REAR ELEVATION
1 : 100



4 RIGHT ELEVATION
1 : 100

Elevations



HAYMAN HOMES (AUSTRALIA) PTY LTD
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f 07 5591 9111
admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS:
**LOT 253
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 2**

DATE: 18.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	ADM	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	08.01.18	MEU, ALFRESCO 2, INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:

JOB NO:
17 00383

SCALE:
1 : 100
DWG NO:
300

PROPERTY DETAILS
S.P:
290283

PARISH:
COUNTY:
LAND AREA:
281m²

STAGED PLAN:
WORKING DWG

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916

Date: 26 April 2018

Illustration of Design



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JOB ADDRESS: LOT 254 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 1		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>28.11.17</td><td>WORKING DRAWINGS ISSUED</td><td>JMW</td><td>NV</td></tr><tr><td>B</td><td>07.12.17</td><td>SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL</td><td>GL</td><td>NV</td></tr><tr><td>C</td><td>12.01.18</td><td>ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL</td><td>GL</td><td>NV</td></tr></table>		REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	28.11.17	WORKING DRAWINGS ISSUED	JMW	NV	B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV	C	12.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV	<table><tr><td colspan="2">JOB NO: 17 00385</td><td colspan="2">PROPERTY DETAILS</td><td rowspan="4">STAGED PLAN: WORKING DWG</td></tr><tr><td colspan="2">SCALE:</td><td colspan="2">S.P: 290283</td></tr><tr><td colspan="2">ISSUE:</td><td colspan="2">PARISH:</td></tr><tr><td colspan="2">DWG NO: 002</td><td colspan="2">COUNTY:</td></tr><tr><td colspan="2"></td><td colspan="2">LAND AREA: 225m²</td><td>USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.</td></tr></table>		JOB NO: 17 00385		PROPERTY DETAILS		STAGED PLAN: WORKING DWG	SCALE:		S.P: 290283		ISSUE:		PARISH:		DWG NO: 002		COUNTY:				LAND AREA: 225m²		USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.
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CLIENT: HAYMAN HOMES		DATE: 17.04.18	DRAWN: NV	CHECKED: BJC																																													

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NOTE:
STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR
PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT
BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.
ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 &
3.5.2 AS WELL AS ASNZS3500

NOTE : FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU,
WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY
DIFFER TO PLAN DUE TO SITE CONDITIONS.

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE
TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY.

AREA SCHEDULE

ALFRESCO	12.29 m²
ALFRESCO 2	24.14 m²
COURT	7.35 m²
FIRST FLOOR LIVING	68.99 m²
GARAGE	21.41 m²
GROUND FLOOR LIVING	58.87 m²
Grand total	193.05 m²

LEGEND

2xACC	2x AIR-CONDITIONER CONDENSERS
CBW	200 SERIES CONCRETE BLOCK WALL
CL-FM	FENCE MOUNTED CLOTHES LINE
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
HWS	HOT WATER SYSTEM
MB	METER BOX
T.O.B	TOP OF BANK
TAP	12mm HOSE COCK - EXTERNAL

PROPOSED RESIDENCE
LOT 254
SITE AREA = 225m²
SITE COVERAGE = 51.2%
LANDSCAPE AREA = 66m²

AMENDED IN RED

By: Vicki Andre

Date: 24 April 2018



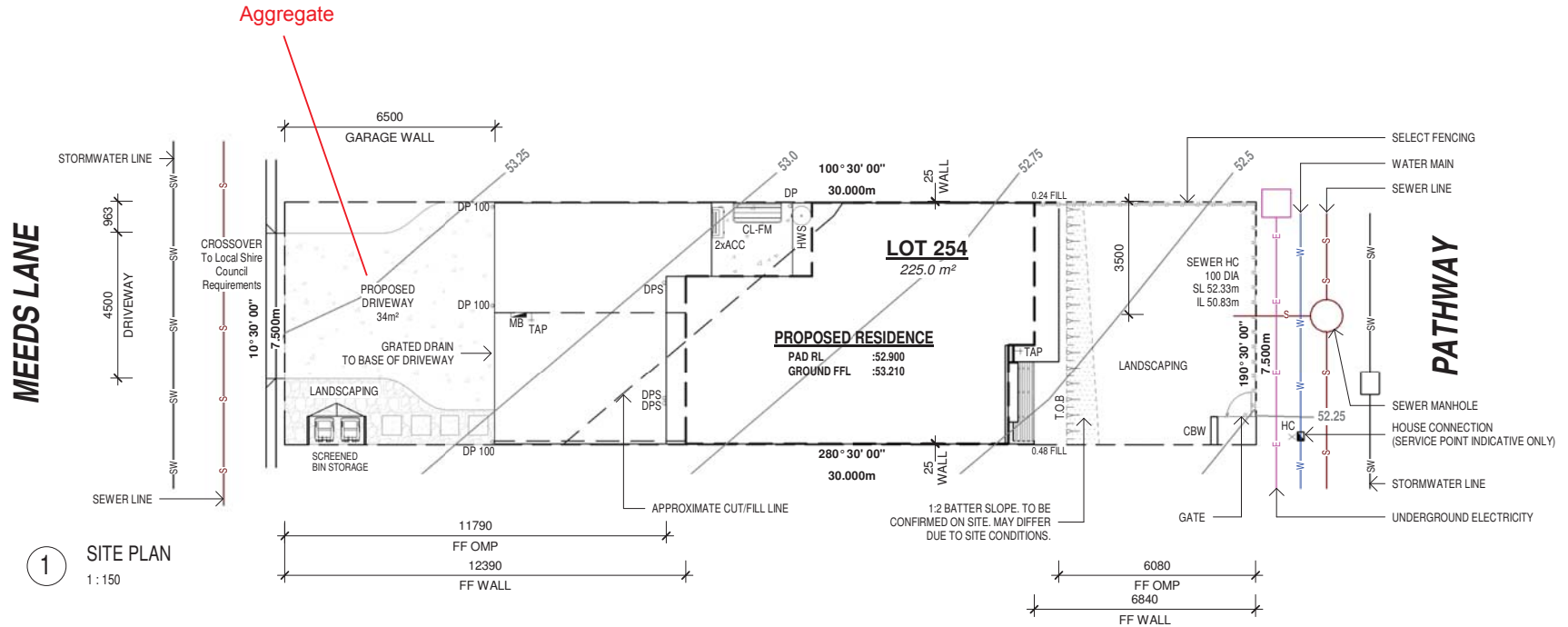
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



**ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE
NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT
FOR REQUIREMENTS**



Site Plan



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ABN 83 150 533 378

JOB ADDRESS: LOT 254 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 1		REV/ DATE DESCRIPTION DRAWN CHECKED		CLIENTS SIGNATURE:		CLIENTS SIGNATURE:		STAGED PLAN: WORKING DWG	
CLIENT: HAYMAN HOMES		DATE: 17.04.18		DRAWN: NV		CHECKED: BJC		JOB NO: 17 00385		PROPERTY DETAILS	
								SCALE: 1 : 150		S.P: 290283	
								DWG NO: 100		PARISH:	
								ISSUE: D		COUNTY:	
										LAND AREA: 225m²	
										USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	

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AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
Als	Aluminium Louvre Screen
CL-FM	FENCE MOUNTED CLOTHES LINE
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
DP 100	DOWNPIPE - 100mm DIAMETER
DW	DISHWASHER SPACE
FWG	FLOOR WASTE GULLY
HP+RH	HOT PLATE AND RANGEHOOD
HWS	HOT WATER SYSTEM
LT	LAUNDRY TUB
MB	METER BOX
OBS	OBSCURE GLAZING
OHC	CUPBOARD - OVERHEAD
PD	PLUMBING DUCT
PTY	PANTRY FITOUT
REF	REFRIGERATOR SPACE
SK	SINK
TAP	12mm HOSE COCK - EXTERNAL
UBO	OVEN - UNDER BENCH
WC	WATER CLOSET
WHB	WALL HUNG BASIN
WM	WASHING MACHINE SPACE

NOTES:

- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWG'S.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.

NOTES :

- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
- LIFT OFF HINGES TO WC DOOR.
- SARKING TO ROOF.
- R2.5 INSULATION TO CEILINGS.
- R1.5 INSULATION TO WALLS.
- ALL SHOWER ROSES TO BE AAA RATED.
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	AW-1806	1800	610	Awning Window X-O
06	AW-1806	1800	610	Awning Window X-O
07	AW-0918	900	1810	Awning Window XX
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

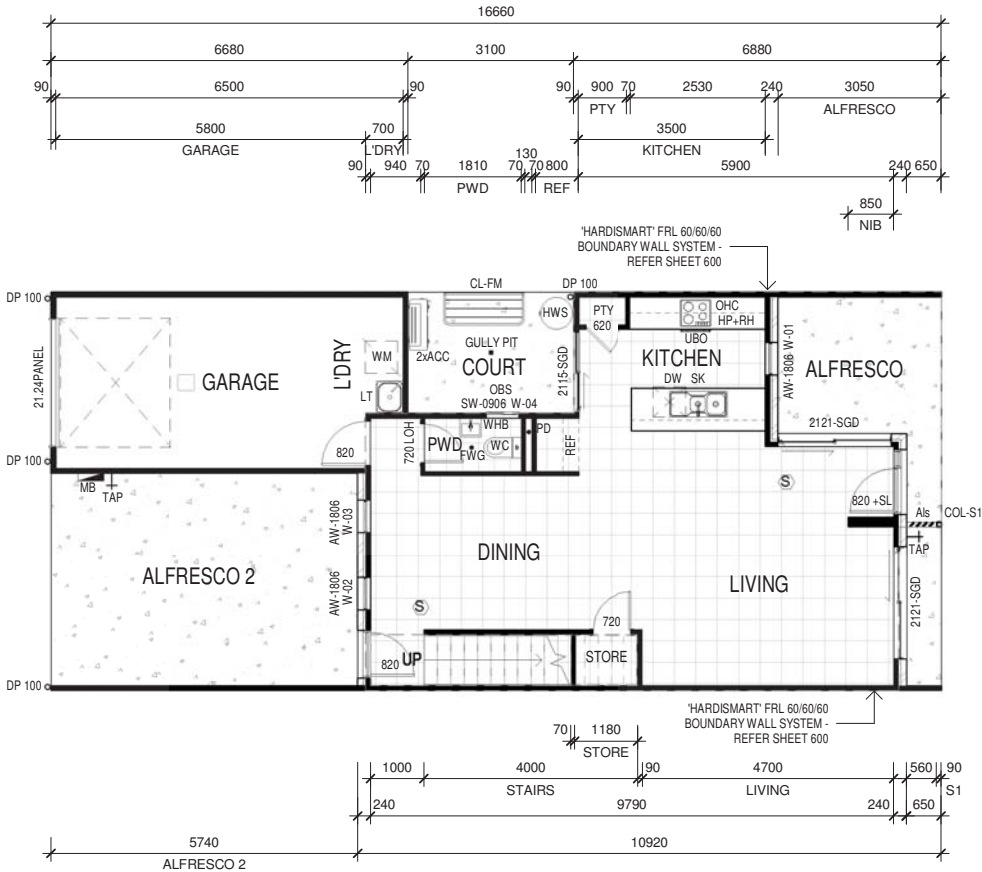
- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

1 GROUND FLOOR PLAN
1 : 100

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



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Floor Plan - GF



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ABN 83 150 533 378

JOB ADDRESS:
**LOT 254
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

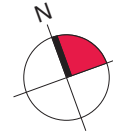
DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 1**

DATE: 17.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	28.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	12.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00385
SCALE:
1 : 100
DWG NO:
200

PROPERTY DETAILS	
S.P:	290283
PARISH:	
COUNTY:	
LAND AREA:	225m ²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
900 VAN	VANITY UNIT - 900 LONG
BT	BATHTUB
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
FW	FLOOR WASTE
FWG	FLOOR WASTE GULLY
OBS	OBSCURE GLAZING
SHR	SHOWER
TR	TOWEL RAIL
WC	WATER CLOSET

NOTES:

- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWGS.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
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NOTES :

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- LIFT OFF HINGES TO WC DOOR.
- SARKING TO ROOF.
- R2.5 INSULATION TO CEILINGS.
- R1.5 INSULATION TO WALLS.
- ALL SHOWER ROSES TO BE AAA RATED.
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
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06	AW-1806	1800	610	Awning Window X-O
07	AW-0918	900	1810	Awning Window XX
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

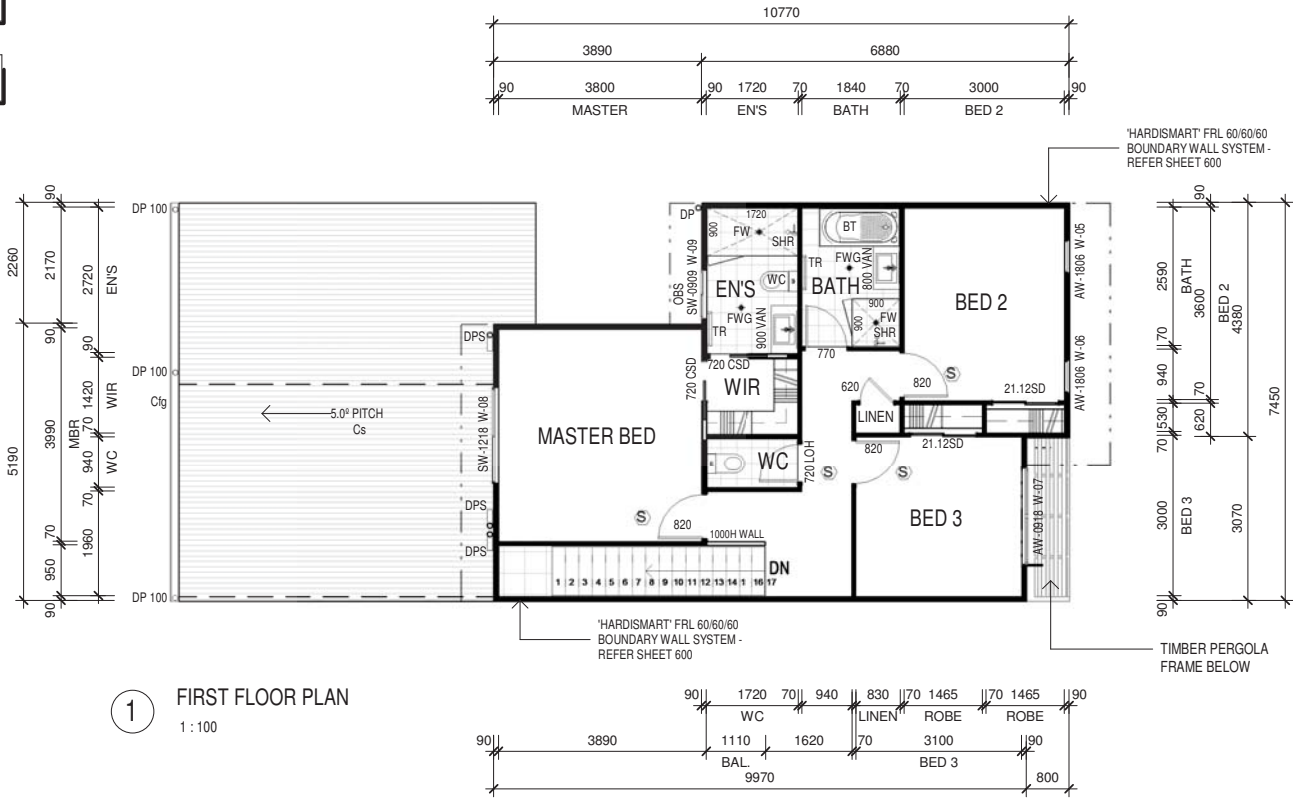
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



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1 FIRST FLOOR PLAN
1 : 100

Floor Plan - FF



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ABN 83 150 533 378

JOB ADDRESS: LOT 254 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 1		REV/ DATE DESCRIPTION DRAWN CHECKED		CLIENT: HAYMAN HOMES		DATE: 17.04.18 DRAWN: NV CHECKED: BJC		JOB NO: 17 00385		PROPERTY DETAILS S.P: 290283 PARISH: COUNTY: LAND AREA: 225m ²		STAGED PLAN: WORKING DWG USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	
				A 28.11.17 WORKING DRAWINGS ISSUED JMW NV B 07.12.17 SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL GL NV C 12.01.18 ALFRESCO 2 FIRE RATED WALL, ROOF, INSULATION AND ELECTRICAL GL NV						SCALE: 1 : 100 DWG NO: 201		ISSUE: D			

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NOTES:

DOWNPIPES ARE TO SERVICE 12m MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN (NCC VOL 2. TABLE 3.5.2.2)

GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ2179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273

ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZS4200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY (NCC VOL 2. P3.5.1(F)) & HAVE A MAXIMUM 5 FLAMMABILITY INEDX (NCC VOL 2. P3.7.1.9(A))

ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES

DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE, BE INSTALLED NO LESS THAN 100mm FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN 50mm FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY

CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3

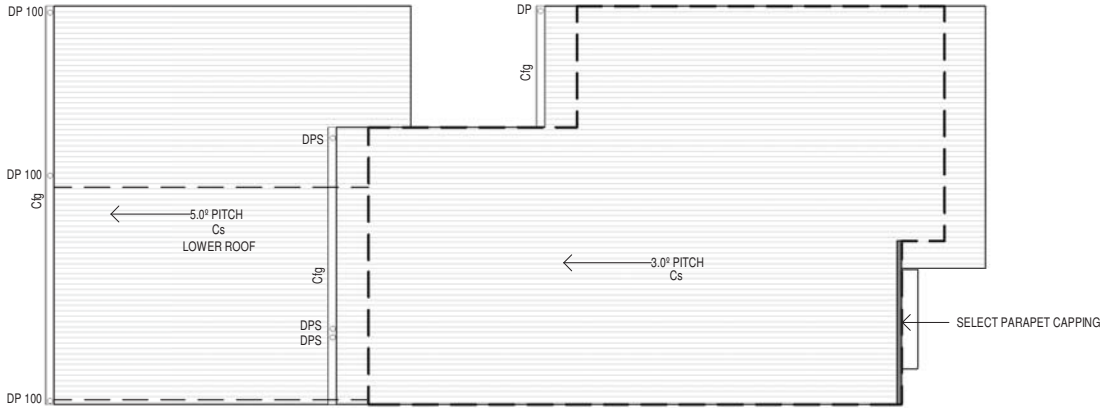
OVERFLOW MEASURERS IN ACCORDANCE WITH (NCC2016 VOL. 2 TABLE 3.5.2.4)

ROOF PLAN PROVIDED IS A GUIDE ONLY. TO BE READ IN CONJUNCTION WITH ENGINEER'S STORMWATER DRAINAGE PLAN.

LEGEND	
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



1 ROOF PLAN
1 : 100

Roof Plan



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ABN 83 150 533 378

JOB ADDRESS: LOT 254 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 1		REV/ DATE		DESCRIPTION		DRAWN/ CHECKED		CLIENTS SIGNATURE:		CLIENTS SIGNATURE:	
				A	28.11.17	WORKING DRAWINGS ISSUED		JMW	NV				
				B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL		GL	NV				
				C	12.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL		GL	NV				
CLIENT: HAYMAN HOMES		DATE: 17.04.18	DRAWN: NV	CHECKED: BJC				JOB NO: 17 00385		PROPERTY DETAILS		STAGED PLAN: WORKING DWG	
								SCALE: 1 : 100	ISSUE: D	S.P: 290283	PARISH:	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	
								DWG NO: 210		COUNTY:	LAND AREA: 225m²		

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1 FRONT ELEVATION
1 : 100

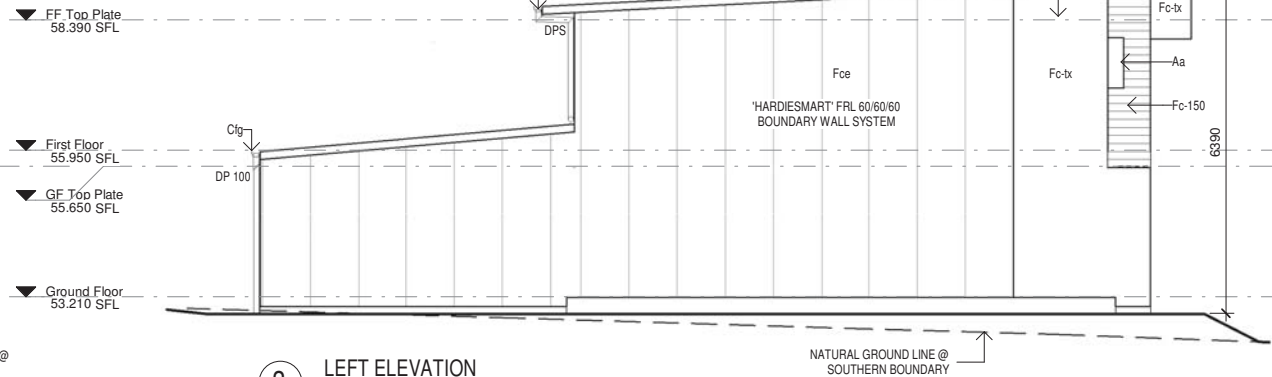
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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Date: 26 April 2018



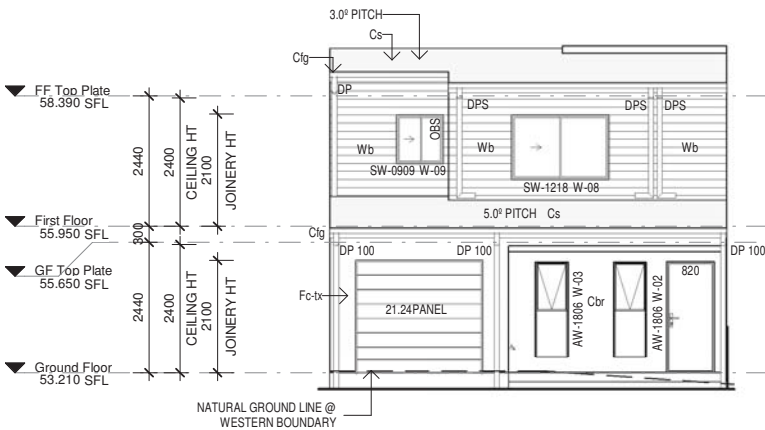
LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
Aa	Aluminium Framed Awning - Powder Coat Finish
Cbr	Common Brick, Render Finish



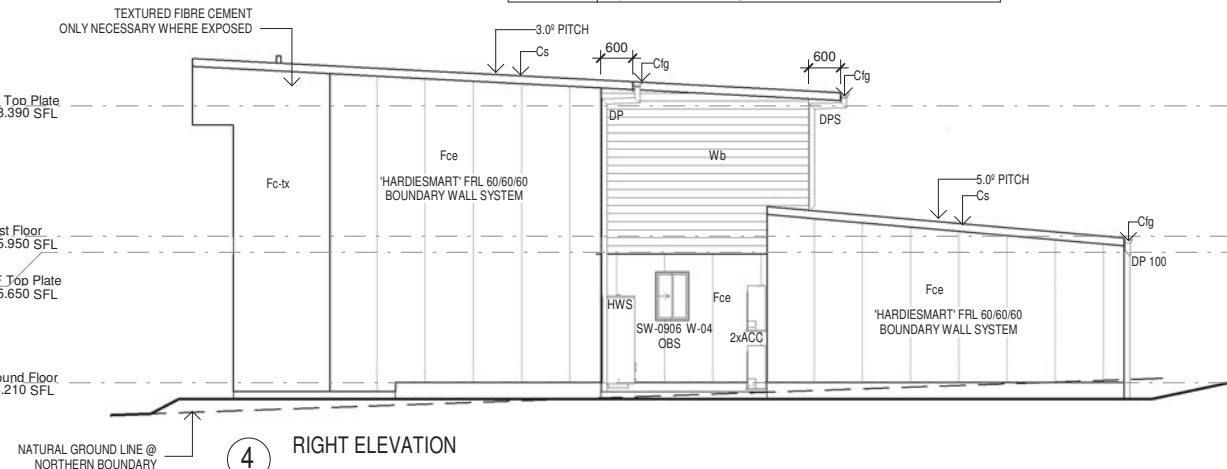
3 LEFT ELEVATION
1 : 100

LEGEND	
Clg	Colorbond Fascia & Gutter
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
Fb	Face Brick

LEGEND	
Fc-150	James Hardie 150mm Horizontal Cladding - Smooth Finish
Fc-300	James Hardie 300mm Horizontal Cladding - Timber Finish
Fc-tx	Fibre-Cement, Textured Finish
Fce	James Hardie EasyLap Cladding
HWS	HOT WATER SYSTEM
OBS	OBSCURE GLAZING
TAP	12mm HOSE COCK - EXTERNAL
Wb	Scyon Linea Cladding



2 REAR ELEVATION
1 : 100



4 RIGHT ELEVATION
1 : 100

Elevations



HAYMAN HOMES (AUSTRALIA) PTY LTD
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t 07 5591 9111
f 07 5591 9111
admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS:
**LOT 254
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 1**

DATE: 17.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	28.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	12.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:

JOB NO:
17 00385
SCALE:
1 : 100
DWG NO:
300

PROPERTY DETAILS
S.P.:
290283
PARISH:
COUNTY:
LAND AREA:
225m²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916

Date: 26 April 2018

Illustration of Design



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admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS: LOT 255 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 3		REV/ DATE		DESCRIPTION		DRAWN/ CHECKED		CLIENTS SIGNATURE:		CLIENTS SIGNATURE:		JOB NO: 17 00382		PROPERTY DETAILS		STAGED PLAN: WORKING DWG	
CLIENT: HAYMAN HOMES		DATE: 18.04.18		DRAWN: NV		CHECKED: BJC		A 29.11.17 WORKING DRAWINGS ISSUED		JMW NV		S.P:		SCALE:		290283		USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	
								B 07.12.17 SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL		GL NV		PARISH:		ISSUE:		E			
								C 08.01.18 ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL		GL NV		COUNTY:		DWG NO:		002			
								D 12.01.18 ALFRESCO 2 ROOF		GL NV		LAND AREA:							

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You hereby agree and undertake that you will not in any way reproduce, copy, modify, use or take advantage of the drawing to build a house based on this plan (whether in whole or in part) without the prior written consent of Hayman Homes (Australia) Pty Ltd.

NOTE:
STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR
PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT
BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.
ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 &
3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU,
WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY
DIFFER TO PLAN DUE TO SITE CONDITIONS.

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE
TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY.

AREA SCHEDULE

ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND

2xACC	2x AIR-CONDITIONER CONDENSERS
CBW	200 SERIES CONCRETE BLOCK WALL
CL-FM	FENCE MOUNTED CLOTHES LINE
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
HWS	HOT WATER SYSTEM
MB	METER BOX
T.O.B	TOP OF BANK
TAP	12mm HOSE COCK - EXTERNAL

PROPOSED RESIDENCE
LOT 255
SITE AREA = 225m²
SITE COVERAGE = 51.0%
LANDSCAPE AREA = 66m²

AMENDED IN RED

By: Vicki Andre
Date: 24 April 2018

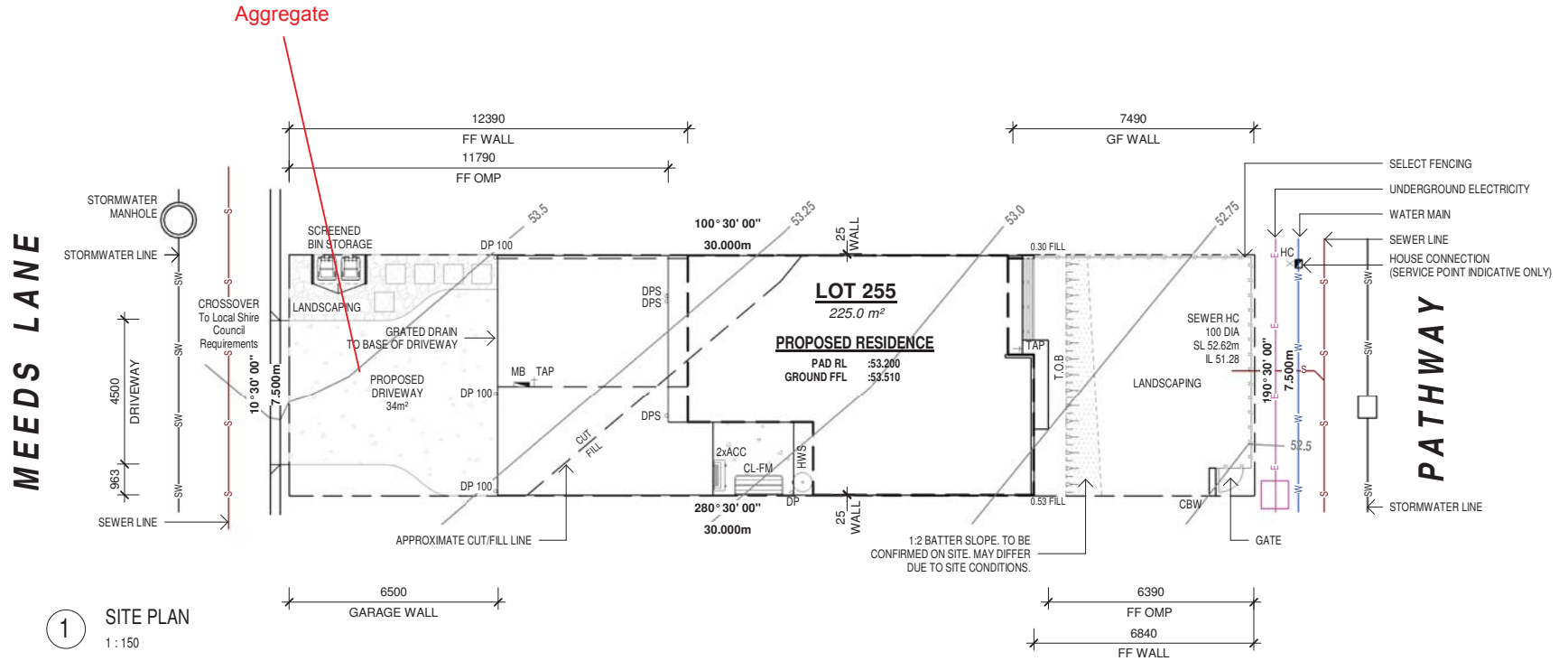


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916
Date: 26 April 2018

ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE
NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT
FOR REQUIREMENTS



1 SITE PLAN
1 : 150

Site Plan



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ABN 83 150 533 378

JOB ADDRESS:
**LOT 255
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

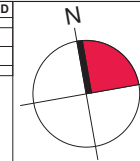
DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 3**

DATE: 18.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	29.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	08.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV
D	12.01.18	ALFRESCO 2 ROOF	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00382
SCALE:
1 : 150
DWG NO:
100

ISSUE:
E
PROPERTY DETAILS
S.P.: 290283
PARISH:
COUNTY:
LAND AREA:
225m²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL
TIMES. REFER ANY ENQUIRES TO
BUILDING CONTRACTOR. ALL
DIMENSIONS TO BE VERIFIED ON SITE
PRIOR TO CONSTRUCTION. ALL WORK
TO COMPLY WITH LOCAL AUTHORITY
REGULATIONS AND BCA.

AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
Als	Aluminium Louvre Screen
CL-FM	FENCE MOUNTED CLOTHES LINE
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DW	DISHWASHER SPACE
FWG	FLOOR WASTE GULLY
HP+RH	HOT PLATE AND RANGEHOOD
HWS	HOT WATER SYSTEM
LT	LAUNDRY TUB
MB	METER BOX
OBS	OBSCURE GLAZING
OHC	CUPBOARD - OVERHEAD
PD	PLUMBING DUCT
PTY	PANTRY FITOUT
REF	REFRIGERATOR SPACE
SK	SINK
TAP	12mm HOSE COCK - EXTERNAL
UBO	OVEN - UNDER BENCH
WC	WATER CLOSET
WHB	WALL HUNG BASIN
WM	WASHING MACHINE SPACE

- NOTES:**
- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
 - THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWG'S.
 - FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
 - UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED.
 - ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
- NOTES :**
- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
 - LIFT OFF HINGES TO WC DOOR.
 - SARKING TO ROOF.
 - R2.5 INSULATION TO CEILINGS.
 - R1.5 INSULATION TO WALLS.
 - ALL SHOWER ROSES TO BE AAA RATED.
 - WATER PRESSURE LIMITED TO 500 KPA AT THE METER
 - ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
 - PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
 - WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

Floor Plan - Ground Floor

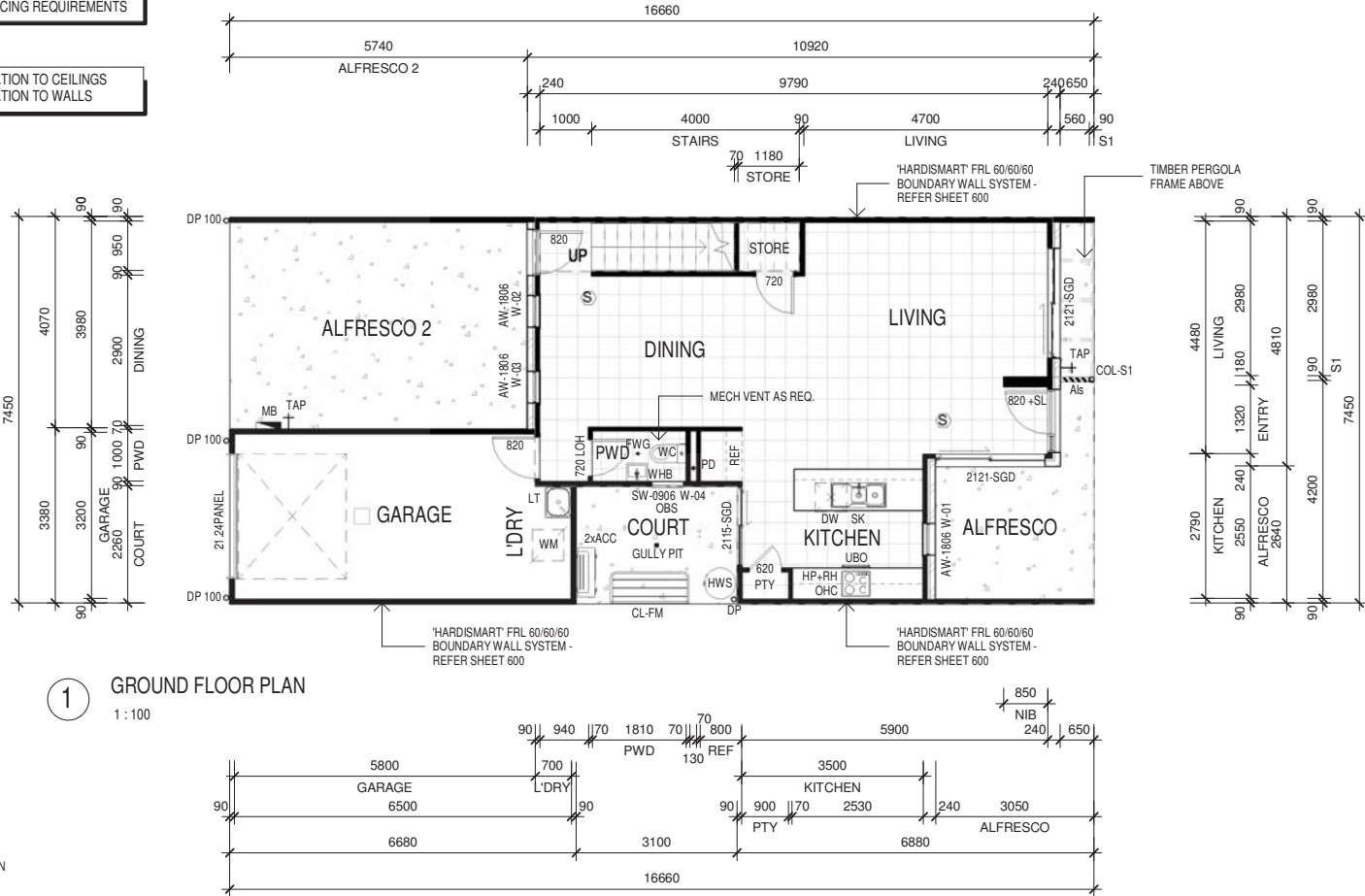


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f 07 5591 9111
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ABN 83 150 533 378

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	AW-1806	1800	610	Awning Window X-O
06	AW-1806	1800	610	Awning Window X-O
07	AW-1812	1800	1210	Awning Window 2 Transom - XO
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS



1 GROUND FLOOR PLAN
1 : 100

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916
Date: 26 April 2018

ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT FOR REQUIREMENTS

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:

JOB ADDRESS: LOT 255 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 3		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>29.11.17</td><td>WORKING DRAWINGS ISSUED</td><td>JMW</td><td>NV</td></tr><tr><td>B</td><td>07.12.17</td><td>SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL</td><td>GL</td><td>NV</td></tr><tr><td>C</td><td>08.01.18</td><td>ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL</td><td>GL</td><td>NV</td></tr><tr><td>D</td><td>12.01.18</td><td>ALFRESCO 2 ROOF</td><td>GL</td><td>NV</td></tr></table>		REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	29.11.17	WORKING DRAWINGS ISSUED	JMW	NV	B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV	C	08.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV	D	12.01.18	ALFRESCO 2 ROOF	GL	NV		JOB NO: 17 00382		PROPERTY DETAILS		STAGED PLAN: WORKING DWG	
REV	DATE	DESCRIPTION	DRAWN	CHECKED																																	
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C	08.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV																																	
D	12.01.18	ALFRESCO 2 ROOF	GL	NV																																	
CLIENT: HAYMAN HOMES		DATE: 18.04.18	DRAWN: NV	CHECKED: BJC	SCALE: 1 : 100	ISSUE: E	DWG NO: 200	S.P: 290283	PARISH:	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.																											
								COUNTY:	LAND AREA: 225m²																												

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AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
900 VAN	VANITY UNIT - 900 LONG
Bal-PW	1000mm High Plastered Balustrade Wall - (BCA Compliant)
BT	BATHTUB
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
FW	FLOOR WASTE
FWG	FLOOR WASTE GULLY
OBS	OBSCURE GLAZING
SHR	SHOWER
TR	TOWEL RAIL
WC	WATER CLOSET

NOTES:

- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWGS.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.

NOTES :

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- LIFT OFF HINGES TO WC DOOR.
- SARKING TO ROOF.
- R2.5 INSULATION TO CEILINGS.
- R1.5 INSULATION TO WALLS.
- ALL SHOWER ROSES TO BE AAA RATED.
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

Floor Plan - First Floor



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ABN 83 150 533 378

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	AW-1806	1800	610	Awning Window X-O
06	AW-1806	1800	610	Awning Window X-O
07	AW-1812	1800	1210	Awning Window 2 Transom - XO
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

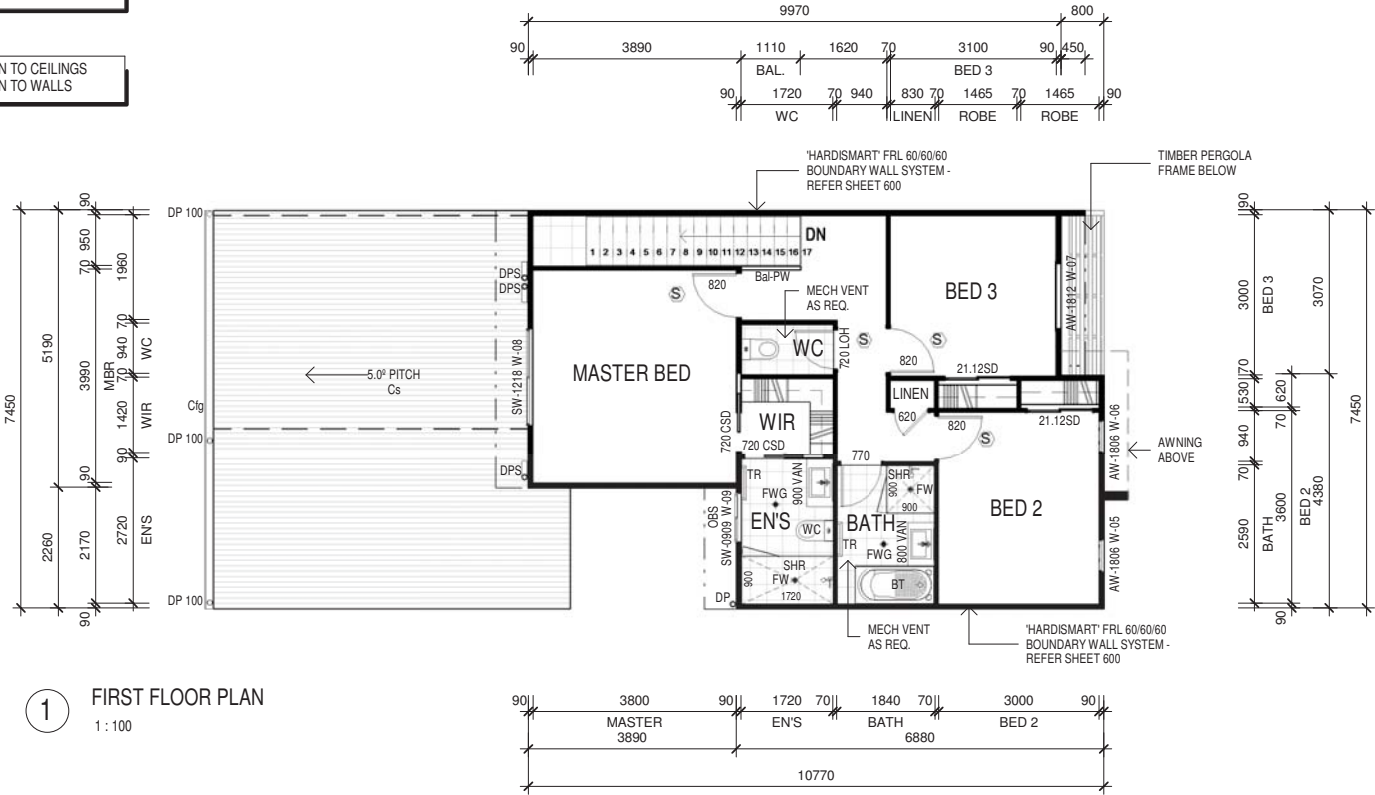
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT FOR REQUIREMENTS



1 FIRST FLOOR PLAN
1 : 100

JOB ADDRESS:
**LOT 255
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

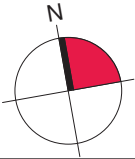
DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 3**

DATE: 18.04.18
DRAWN: NV
CHECKED: BJC

REV/	DATE	DESCRIPTION	DRAWN	CHECKED
A	29.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	08.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV
D	12.01.18	ALFRESCO 2 ROOF	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00382
SCALE:
1 : 100
DWG NO:
201

PROPERTY DETAILS	
S.P:	290283
PARISH:	
COUNTY:	
LAND AREA:	225m ²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

NOTES:
DOWNPIPES ARE TO SERVICE 12m MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN (NCC VOL 2: TABLE 3.5.2.2)

GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273

ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZS4200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY (NCC VOL 2: P3.5.1(F)) & HAVE A MAXIMUM 5 FLAMMABILITY INEDX (NCC VOL 2: P3.7.1.9(A))

ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES

DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE. BE INSTALLED NO LESS THAN 100mm FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN 50mm FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY

CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3

OVERFLOW MEASURERS IN ACCORDANCE WITH (NCC2016 VOL. 2 TABLE 3.5.2.4)

ROOF PLAN PROVIDED IS A GUIDE ONLY. TO BE READ IN CONJUNCTION WITH ENGINEER'S STORMWATER DRAINAGE PLAN.

LEGEND	
3.0° PITCH	TRUSSES @ 900CENTERS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CENTERS MAX, To Manufacturers Specifications
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof

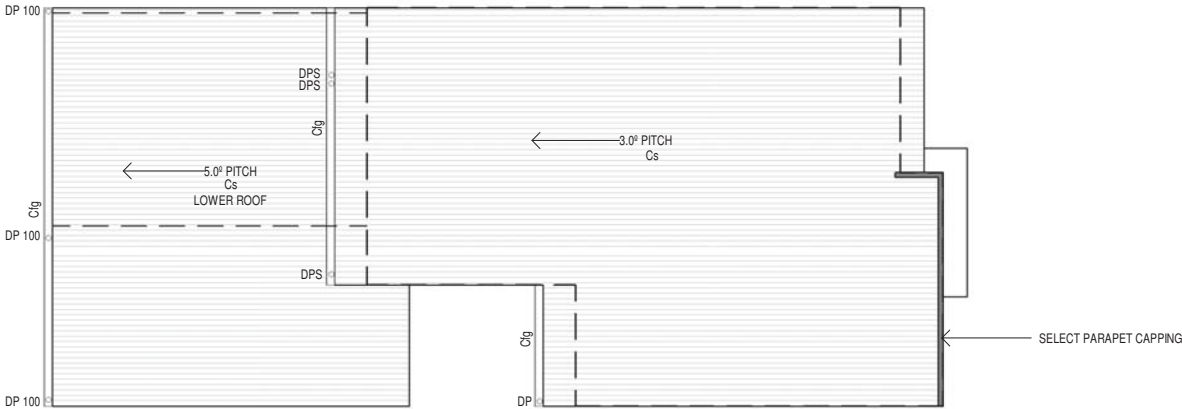
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



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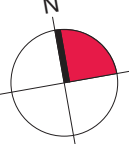


1 ROOF PLAN
1 : 100

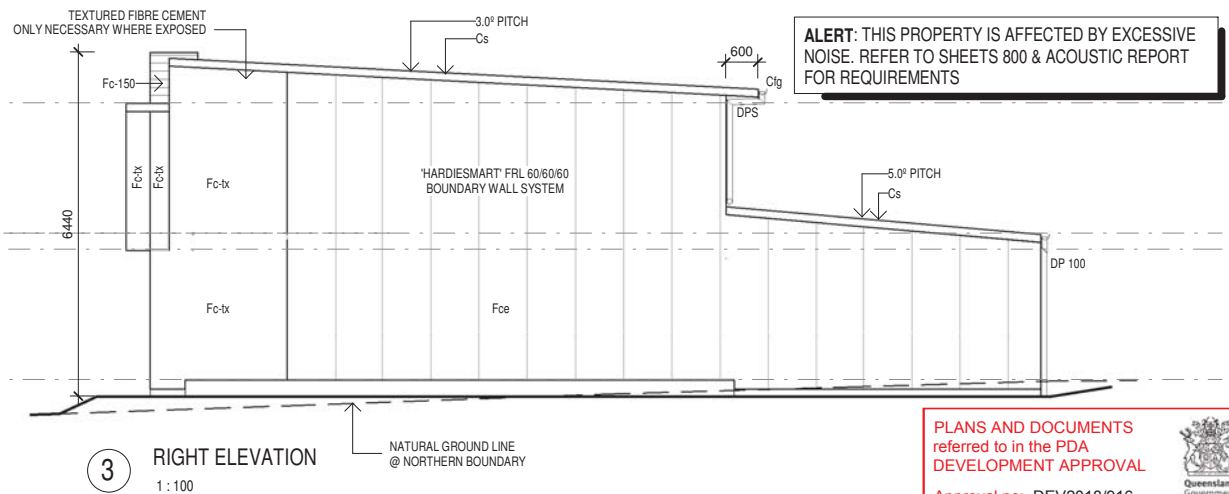
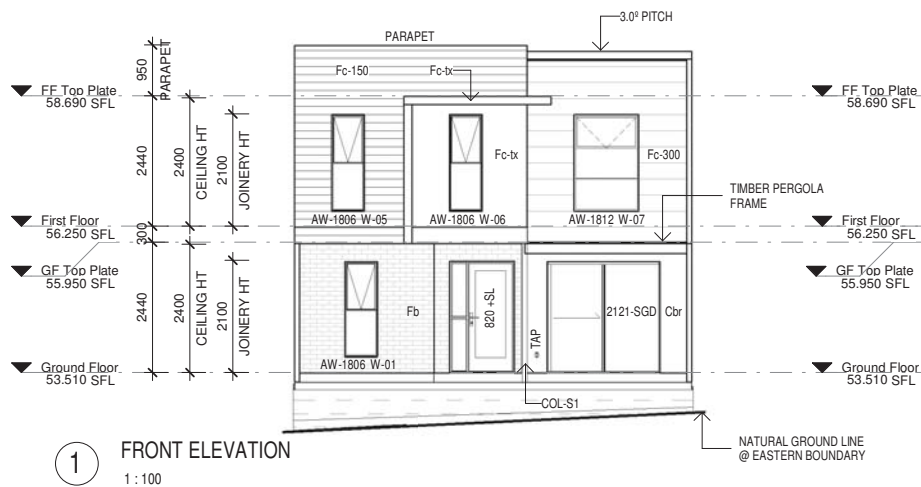
Roof Plan



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admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS: LOT 255 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 3		REV/ DATE DESCRIPTION DRAWN/ CHECKED		CLIENTS SIGNATURE: _____		CLIENTS SIGNATURE: _____	
CLIENT: HAYMAN HOMES		DATE: 18.04.18	DRAWN: NV	CHECKED: BJC				PROPERTY DETAILS	
								S.P: 290283	STAGED PLAN: WORKING DWG
						SCALE: 1 : 100	ISSUE: E	PARISH:	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.
						DWG NO: 210		COUNTY:	
								LAND AREA: 225m²	

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PLANS AND DOCUMENTS
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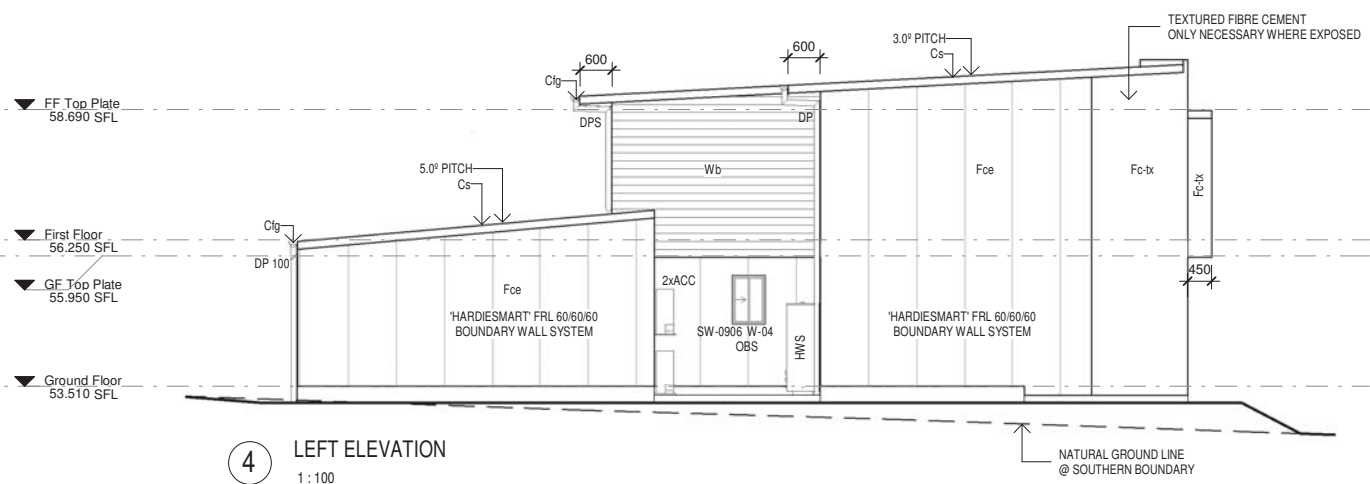
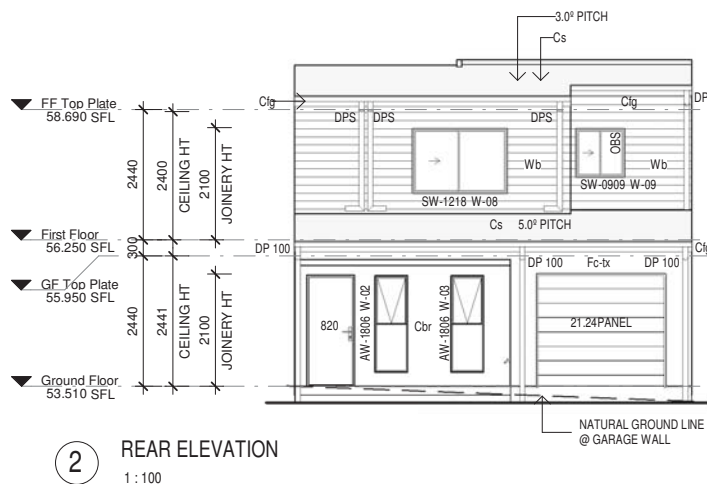
Approval no: DEV2018/916
Date: 26 April 2018



LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
Cbr	Common Brick, Render Finish
Cfg	Colorbond Fascia & Gutter
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S

LEGEND	
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
Fb	Face Brick
Fc-150	James Hardie 150mm Horizontal Cladding - Smooth Finish
Fc-300	James Hardie 300mm Horizontal Cladding - Timber Finish
Fc-tx	Fibre-Cement, Textured Finish

LEGEND	
Fce	James Hardie EasyLap Cladding
HWS	HOT WATER SYSTEM
OBS	OBSCURE GLAZING
TAP	12mm HOSE COCK - EXTERNAL
Wb	Scyon Linea Cladding



Elevations



HAYMAN HOMES (AUSTRALIA) PTY LTD
72 SMITH ST, SOUTHPORT QLD 415
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f 07 5591 9111
admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS:
**LOT 255
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 3**

DATE: 18.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	29.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	08.01.18	ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV
D	12.01.18	ALFRESCO 2 ROOF	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:

JOB NO:
17 00382

SCALE:
1 : 100

DWG NO:
300

PROPERTY DETAILS
S.P:
290283

ISSUE:
E

PARISH:
COUNTY:
LAND AREA:
225m²

STAGED PLAN:
WORKING DWG

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916

Date: 26 April 2018

Illustration of Design



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admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS: LOT 256 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 1		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>20.11.17</td><td>WORKING DRAWINGS ISSUED</td><td>JMW</td><td>NV</td></tr><tr><td>B</td><td>07.12.17</td><td>WORKING DRAWINGS AMENDMENTS</td><td>LP</td><td>NV</td></tr><tr><td>C</td><td>12.01.18</td><td>ALFRESCO FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL</td><td>GL</td><td>NV</td></tr></table>		REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	20.11.17	WORKING DRAWINGS ISSUED	JMW	NV	B	07.12.17	WORKING DRAWINGS AMENDMENTS	LP	NV	C	12.01.18	ALFRESCO FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL	GL	NV	<table><tr><td colspan="2">JOB NO: 17 00384</td><td colspan="2">PROPERTY DETAILS</td><td colspan="2">STAGED PLAN: WORKING DWG</td></tr><tr><td colspan="2">SCALE:</td><td colspan="2">ISSUE:</td><td colspan="2">USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.</td></tr><tr><td colspan="2">DWG NO: 002</td><td colspan="2">D</td><td colspan="2"></td></tr></table>		JOB NO: 17 00384		PROPERTY DETAILS		STAGED PLAN: WORKING DWG		SCALE:		ISSUE:		USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.		DWG NO: 002		D			
REV	DATE	DESCRIPTION	DRAWN	CHECKED																																									
A	20.11.17	WORKING DRAWINGS ISSUED	JMW	NV																																									
B	07.12.17	WORKING DRAWINGS AMENDMENTS	LP	NV																																									
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DWG NO: 002		D																																											
CLIENT: HAYMAN HOMES		DATE: 18.04.18	DRAWN: NV	CHECKED: BJC	S.P: 290283																																								
					PARISH:																																								
					COUNTY:																																								
					LAND AREA: 225m ²																																								

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NOTE:

STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.

ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS ASNZS3500

NOTE : FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY.

AREA SCHEDULE

ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND

2xACC	2x AIR-CONDITIONER CONDENSERS
CBW	200 SERIES CONCRETE BLOCK WALL
CL-FM	FENCE MOUNTED CLOTHES LINE
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
HWS	HOT WATER SYSTEM
MB	METER BOX
T.O.B	TOP OF BANK
TAP	12mm HOSE COCK - EXTERNAL

PROPOSED RESIDENCE
LOT 256 ON SP290283
SITE AREA = 225m²
SITE COVERAGE = 51.2%
LANDSCAPE AREA = 66m²

AMENDED IN RED

By: Vicki Andre

Date: 24 April 2018

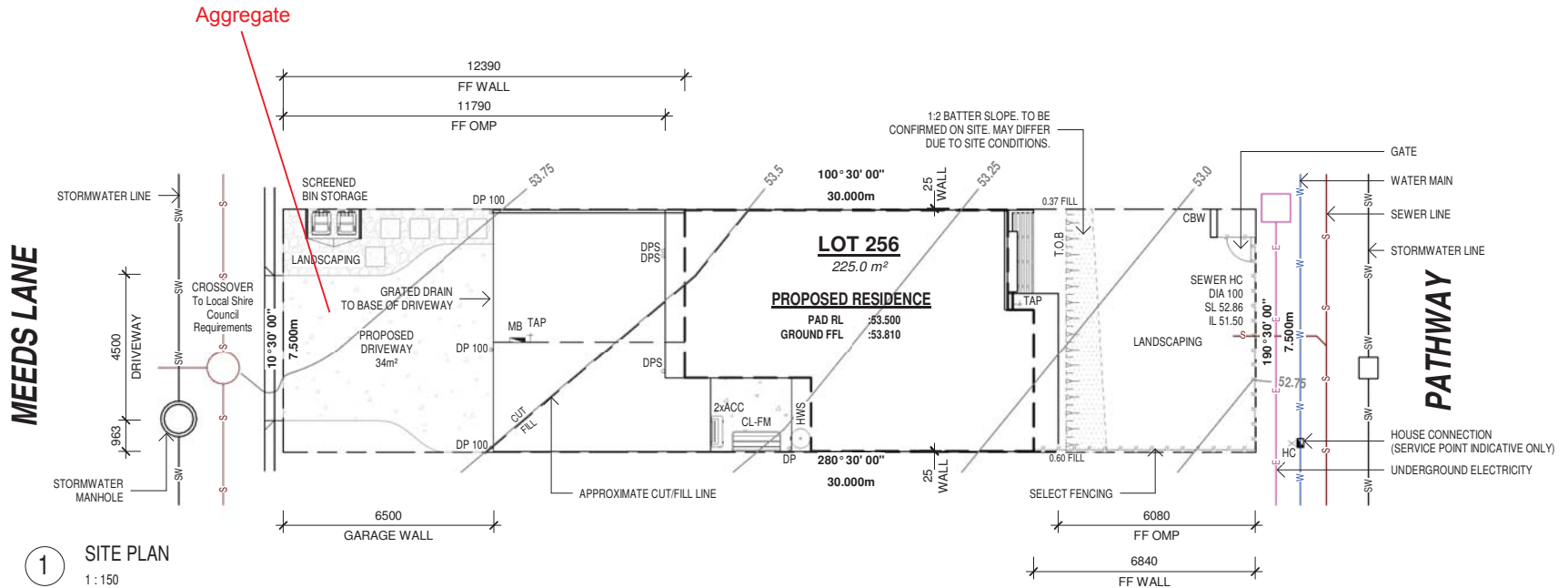
**PLANS AND DOCUMENTS**
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT FOR REQUIREMENTS



1 SITE PLAN
1 : 150

Site Plan

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ABN 83 150 533 378

JOB ADDRESS:
**LOT 256
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

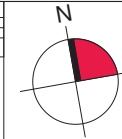
DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 1**

DATE: 18.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	WORKING DRAWINGS AMENDMENTS	LP	NV
C	12.01.18	ALFRESCO 2 FIRE RATED WALL ROOF INSULATION AND ELECTRICAL	QL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00384
SCALE:
1 : 150
DWG NO:
100

ISSUE:
D

PROPERTY DETAILS
S.P.: 290283
PARISH:
COUNTY:
LAND AREA:
225m²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
Als	Aluminium Louvre Screen
CL-FM	FENCE MOUNTED CLOTHES LINE
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
DP 100	DOWNPIPE - 100mm DIAMETER
DW	DISHWASHER SPACE
FWG	FLOOR WASTE GULLY
HP+RH	HOT PLATE AND RANGEHOOD
HWS	HOT WATER SYSTEM
LT	LAUNDRY TUB
MB	METER BOX
OBS	OBSCURE GLAZING
OHC	CUPBOARD - OVERHEAD
PD	PLUMBING DUCT
PTY	PANTRY FITOUT
REF	REFRIGERATOR SPACE
SK	SINK
TAP	12mm HOSE COCK - EXTERNAL
UBO	OVEN - UNDER BENCH
WC	WATER CLOSET
WHB	WALL HUNG BASIN
WM	WASHING MACHINE SPACE

NOTES:
- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWG'S
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.

NOTES :
- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
- LIFT OFF HINGES TO WC DOOR.
- SARKING TO ROOF.
- R2.5 INSULATION TO CEILINGS.
- R1.5 INSULATION TO WALLS.
- ALL SHOWER ROSES TO BE AAA RATED.
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	AW-1806	1800	610	Awning Window X-O
06	AW-1806	1800	610	Awning Window X-O
07	AW-0918	900	1810	Awning Window XX
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

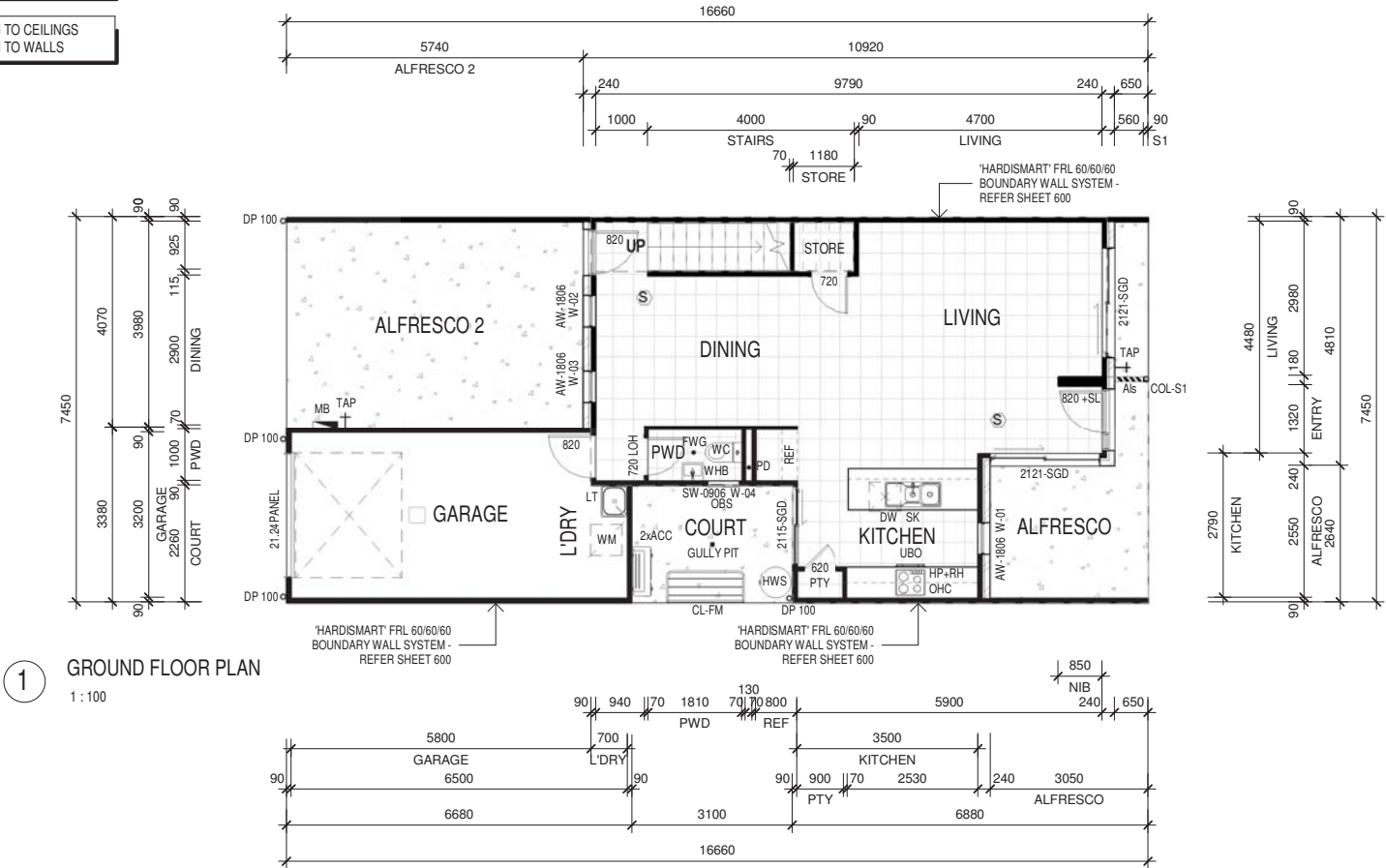
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/916

Date: 26 April 2018



ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT FOR REQUIREMENTS



Floor Plan - GF



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ABN 83 150 533 378

JOB ADDRESS:
**LOT 256
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:

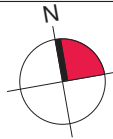
**PROPOSED
TERRACE 160m -
FACADE 1**

DATE:
18.04.18

DRAWN:
NV

CHECKED:
BJC

REV/	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	WORKING DRAWINGS AMENDMENTS	LP	NV
C	12.01.18	ALFRESCO FIRE RATED WALL/ROOF INSULATION AND ELECTRICAL	GL	NV



JOB NO:
17 00384

SCALE:
1 : 100

DWG NO:
200

ISSUE:
D

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:

PROPERTY DETAILS

S.P:
290283

PARISH:

COUNTY:

LAND AREA:
225m²

STAGED PLAN:

WORKING DWG

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

AREA SCHEDULE	
ALFRESCO	12.29 m²
ALFRESCO 2	24.14 m²
COURT	7.35 m²
FIRST FLOOR LIVING	68.99 m²
GARAGE	21.41 m²
GROUND FLOOR LIVING	58.87 m²
Grand total	193.05 m²

LEGEND	
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
900 VAN	VANITY UNIT - 900 LONG
BT	BATHTUB
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
FW	FLOOR WASTE
FWG	FLOOR WASTE GULLY
OBS	OBSCURE GLAZING
SHR	SHOWER
TR	TOWEL RAIL
WC	WATER CLOSET

- NOTES:**
- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
 - THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWGS.
 - FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
 - UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
 - ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
- NOTES :**
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 - LIFT OFF HINGES TO WC DOOR.
 - SARKING TO ROOF.
 - R2.5 INSULATION TO CEILINGS.
 - R1.5 INSULATION TO WALLS.
 - ALL SHOWER ROSES TO BE AAA RATED.
 - WATER PRESSURE LIMITED TO 500 KPA AT THE METER
 - ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
 - PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
 - WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
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03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
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06	AW-1806	1800	610	Awning Window X-O
07	AW-0918	900	1810	Awning Window XX
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

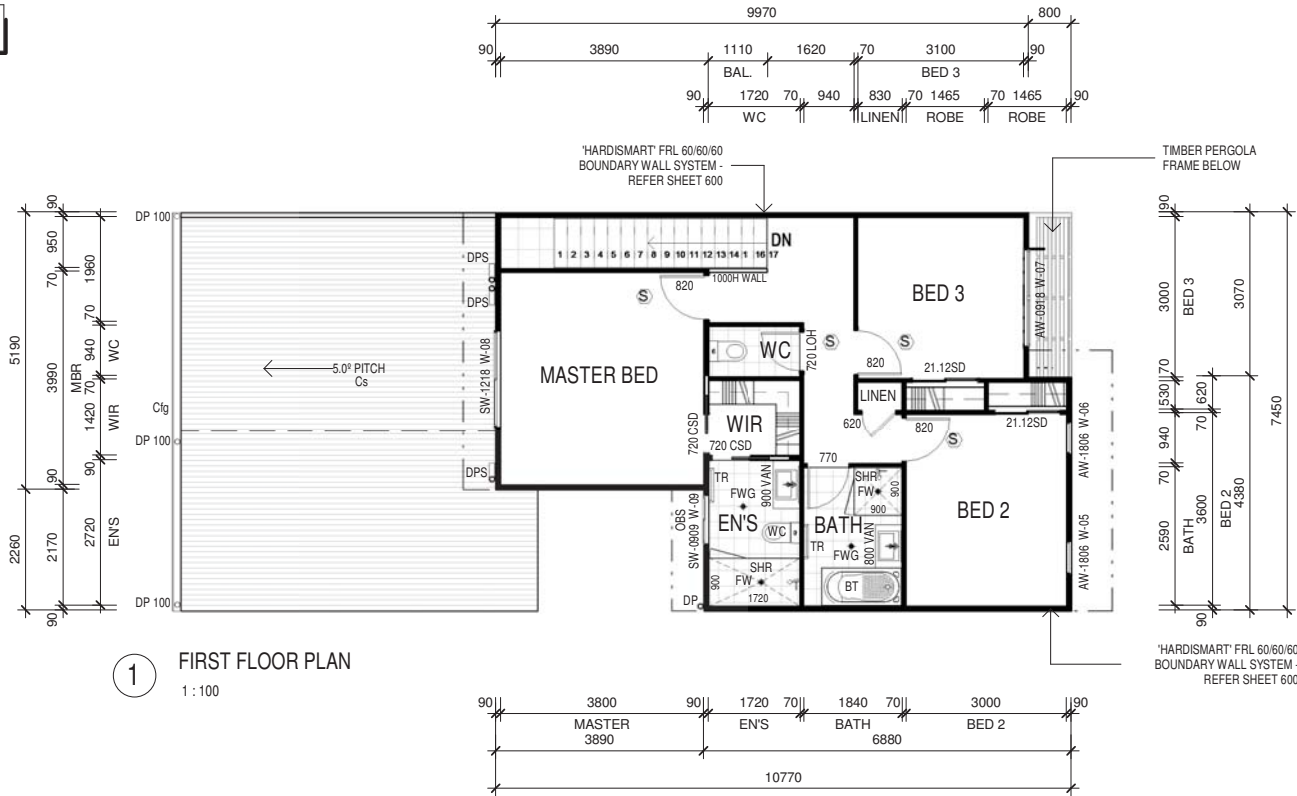
- NOTE:** REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS
- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



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1 FIRST FLOOR PLAN
1 : 100

Floor Plan - FF



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admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS: LOT 256 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 1		REV/ DATE DESCRIPTION DRAWN CHECKED		CLIENT: HAYMAN HOMES		DATE: 18.04.18 DRAWN: NV CHECKED: BJC		CLIENTS SIGNATURE: _____		CLIENTS SIGNATURE: _____		JOB NO: 17 00384		PROPERTY DETAILS S.P.: 290283 PARISH: COUNTY: LAND AREA: 225m²		STAGED PLAN: WORKING DWG USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	
A 30.11.17 WORKING DRAWINGS ISSUED		B 07.12.17 WORKING DRAWINGS AMENDMENTS		C 12.01.18 ALFRESCO FIRE RATED WALL/ROOF INSULATION AND ELECTRICAL		SCALE: 1 : 100		DWG NO: 201		ISSUE: D		N							

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



1 FRONT ELEVATION
1 : 100

LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
Aa	Aluminium Framed Awning - Powder Coat Finish
Cbr	Common Brick, Render Finish

3 RIGHT ELEVATION
1 : 100

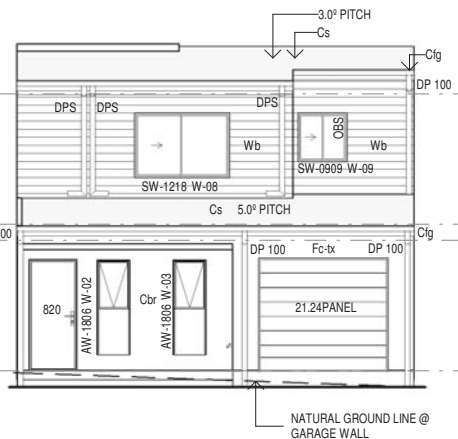
LEGEND	
Cfg	Colorbond Fascia & Gutter
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DP 100	DOWNPIPE - 100mm DIAMETER
DPS	DOWNPIPE WITH SPREADER. To lower roof
Fb	Face Brick

LEGEND	
Fc-150	James Hardie 150mm Horizontal Cladding - Smooth Finish
Fc-tx	Fibre-Cement, Textured Finish
Fce	James Hardie EasyLap Cladding
Fcs	Scyon Stria Cladding
HWS	HOT WATER SYSTEM
OBS	OBSOLETE GLAZING
TAP	12mm HOSE COCK - EXTERNAL
Wb	Scyon Linea Cladding

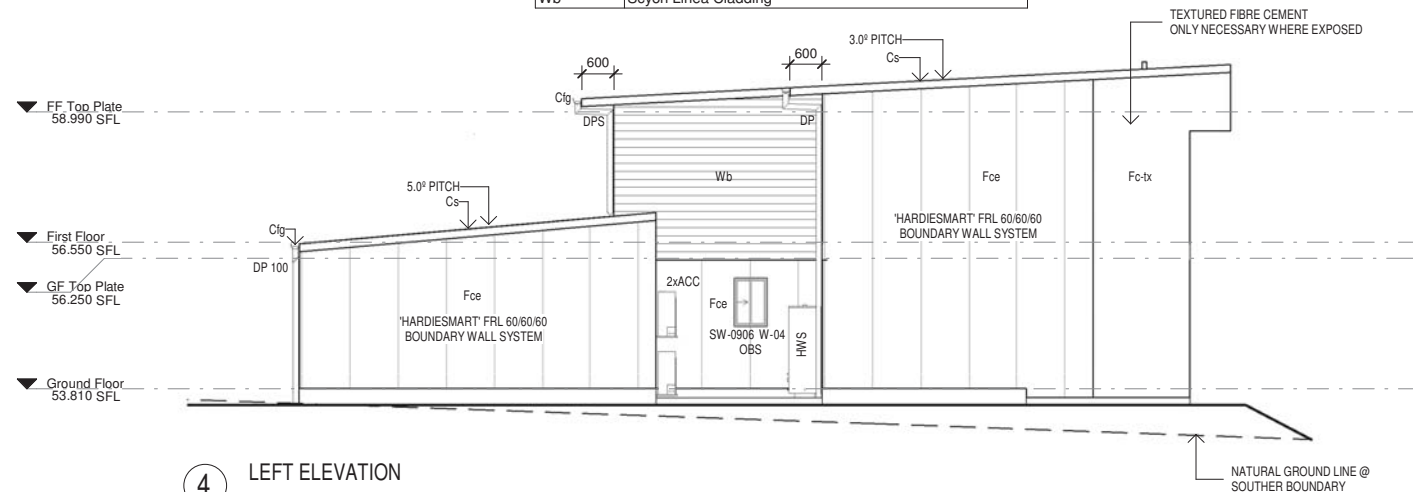


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ABN 83 150 533 378

2 REAR ELEVATION
1 : 100



4 LEFT ELEVATION
1 : 100



JOB ADDRESS:		DESIGN:		REV/ DATE		DESCRIPTION		DRAWN		CHECKED		JOB NO:		PROPERTY DETAILS		STAGED PLAN:	
LOT 256 MEEDS LANE FLAGSTONE, QLD 4280		PROPOSED TERRACE 160m - FACADE 1		A		20.11.17		WORKING DRAWINGS ISSUED		JMW		NV		S.P:		WORKING DWG	
				B		07.12.17		WORKING DRAWINGS AMENDMENTS		LP		NV		290283			
				C		12.01.18		ALFRESCO 2 FIRE RATED WALL/ROOF, INSULATION AND ELECTRICAL		GL		NV		PARISH:			
														COUNTY:			
CLIENT:		DATE:		DRAWN:		CHECKED:		SCALE:		ISSUE:		DWG NO:		LAND AREA:		USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	
HAYMAN HOMES		18.04.18		NV		BJC		1 : 100		D		300		225m²			

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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916

Date: 26 April 2018

Illustration of Design



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admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS: LOT 257 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 2		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>20.11.17</td><td>WORKING DRAWINGS ISSUED</td><td>NV</td><td>NV</td></tr><tr><td>B</td><td>07.12.17</td><td>SP UPDATE: INSULATION, SEWER INFO AND ELECTRICAL</td><td>GL</td><td>NV</td></tr><tr><td>C</td><td>12.01.18</td><td>INSULATION AND ELECTRICAL</td><td>GL</td><td>NV</td></tr></table>		REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	20.11.17	WORKING DRAWINGS ISSUED	NV	NV	B	07.12.17	SP UPDATE: INSULATION, SEWER INFO AND ELECTRICAL	GL	NV	C	12.01.18	INSULATION AND ELECTRICAL	GL	NV	JOB NO: 17 00386		<table><tr><th colspan="2">PROPERTY DETAILS</th></tr><tr><td>S.P:</td><td>290283</td></tr><tr><td>PARISH:</td><td></td></tr><tr><td>COUNTY:</td><td></td></tr><tr><td>LAND AREA:</td><td>285m²</td></tr></table>		PROPERTY DETAILS		S.P:	290283	PARISH:		COUNTY:		LAND AREA:	285m²	STAGED PLAN: WORKING DWG	
REV	DATE	DESCRIPTION	DRAWN	CHECKED																																					
A	20.11.17	WORKING DRAWINGS ISSUED	NV	NV																																					
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PARISH:																																									
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LAND AREA:	285m²																																								
CLIENT: HAYMAN HOMES		DATE: 17.04.18	DRAWN: NV	CHECKED: BJC	SCALE:		ISSUE: D	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.																																	
					DWG NO: 002																																				

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NOTE:
STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR
PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT
BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.
ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 &
3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU,
WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY
DIFFER TO PLAN DUE TO SITE CONDITIONS.

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE
TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY.

AREA SCHEDULE

ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND

2xACC	2x AIR-CONDITIONER CONDENSERS
CBW	200 SERIES CONCRETE BLOCK WALL
CL-FM	FENCE MOUNTED CLOTHES LINE
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
HWS	HOT WATER SYSTEM
MB	METER BOX
T.O.B	TOP OF BANK
TAP	12mm HOSE COCK - EXTERNAL

PROPOSED RESIDENCE
LOT 257
SITE AREA = 285m²
SITE COVERAGE = 40.26%
LANDSCAPE AREA = 126m²

AMENDED IN RED

By: Vicki Andre
Date: 24 April 2018

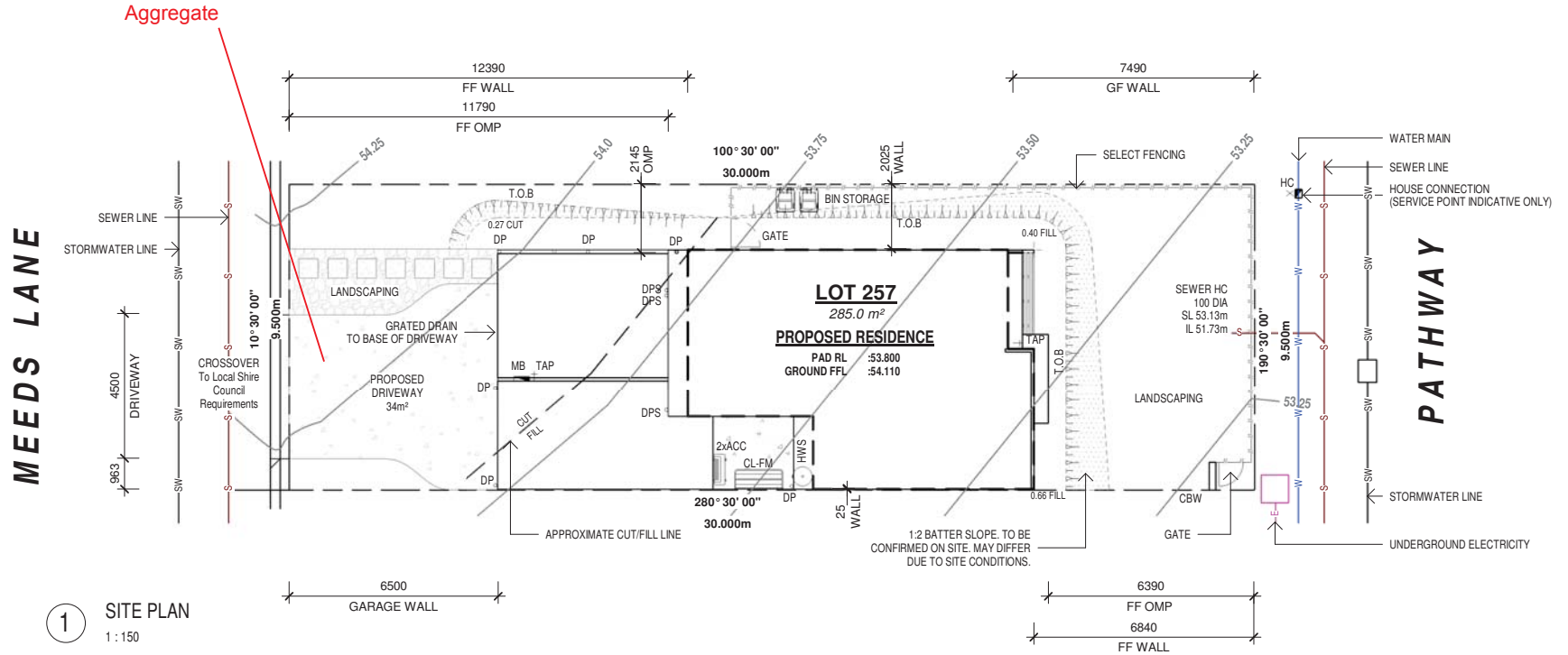


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE
NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT
FOR REQUIREMENTS



Site Plan



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f 07 5591 9111
admin@haymanhomes.com.au
ABN 83 150 533 378

JOB ADDRESS:
**LOT 257
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

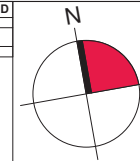
DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 2**

DATE: 17.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	12.01.18	INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00386
SCALE:
1 : 150
DWG NO:
100

PROPERTY DETAILS
S.P.: 290283
PARISH:
COUNTY:
LAND AREA:
285m²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL
TIMES. REFER ANY ENQUIRES TO
BUILDING CONTRACTOR. ALL
DIMENSIONS TO BE VERIFIED ON SITE
PRIOR TO CONSTRUCTION. ALL WORK
TO COMPLY WITH LOCAL AUTHORITY
REGULATIONS AND BCA.

AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
Als	Aluminium Louvre Screen
CL-FM	FENCE MOUNTED CLOTHES LINE
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
DP	DOWNPIPE
DW	DISHWASHER SPACE
FWG	FLOOR WASTE GULLY
HP+RH	HOT PLATE AND RANGEHOOD
HWS	HOT WATER SYSTEM
LT	LAUNDRY TUB
MB	METER BOX
OBS	OBSCURE GLAZING
OHC	CUPBOARD - OVERHEAD
PD	PLUMBING DUCT
PTY	PANTRY FITOUT
REF	REFRIGERATOR SPACE
SK	SINK
TAP	12mm HOSE COCK - EXTERNAL
UBO	OVEN - UNDER BENCH
WC	WATER CLOSET
WHB	WALL HUNG BASIN
WM	WASHING MACHINE SPACE

NOTES:

- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWG'S.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.

NOTES :

- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
- LIFT OFF HINGES TO WC DOOR.
- SARKING TO ROOF.
- R2.5 INSULATION TO CEILINGS.
- R1.5 WALL INSULATION
- ALL SHOWER ROSES TO BE AAA RATED.
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

Floor Plan - Ground Floor



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ABN 83 150 533 378

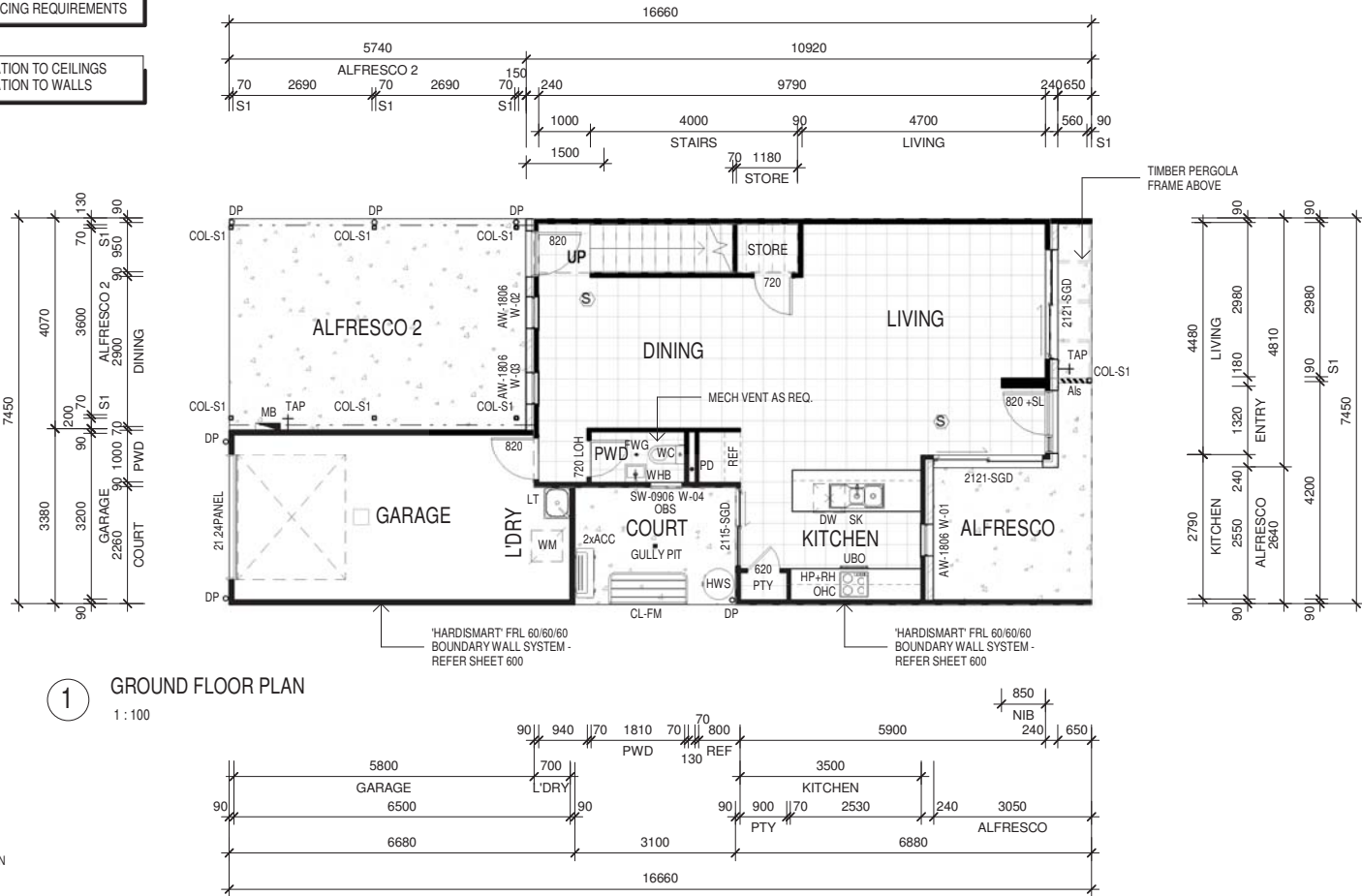
WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	AW-1806	1800	610	Awning Window X-O
06	AW-1806	1800	610	Awning Window X-O
07	AW-1812	1800	1210	Awning Window 2 Transom - XO
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



1 GROUND FLOOR PLAN
1 : 100

JOB ADDRESS: LOT 257 MEEDS LANE FLAGSTONE, QLD 4280		DESIGN: PROPOSED TERRACE 160m - FACADE 2		REV/ DATE DESCRIPTION DRAWN CHECKED A 30.11.17 WORKING DRAWINGS ISSUED JMW NV B 07.12.17 SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL GL NV C 12.01.18 INSULATION AND ELECTRICAL GL NV		CLIENTS SIGNATURE: _____		CLIENTS SIGNATURE: _____	
CLIENT: HAYMAN HOMES		DATE: 17.04.18		DRAWN: NV		CHECKED: BJC		JOB NO: 17 00386	
								PROPERTY DETAILS	
								S.P.: 290283	
								PARISH:	
								COUNTY:	
								LAND AREA: 285m ²	
								STAGED PLAN: WORKING DWG	
								USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.	

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AREA SCHEDULE	
ALFRESCO	12.29 m ²
ALFRESCO 2	24.14 m ²
COURT	7.35 m ²
FIRST FLOOR LIVING	68.99 m ²
GARAGE	21.41 m ²
GROUND FLOOR LIVING	58.87 m ²
Grand total	193.05 m ²

LEGEND	
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH-S	SOLARSPAN Roof To Manufacturers Specifications
900 VAN	VANITY UNIT - 900 LONG
Bal-PW	1000mm High Plastered Balustrade Wall - (BCA Compliant)
BT	BATHTUB
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
FW	FLOOR WASTE
FWG	FLOOR WASTE GULLY
OBS	OBSCURE GLAZING
SHR	SHOWER
TR	TOWEL RAIL
WC	WATER CLOSET

NOTES:

- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWINGS IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DWGS.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- UPPER FLOOR OPENINGS TO COMPLY WITH ALL RELEVANT BUILDING CODES & REGULATIONS. RESTRICTED OPENINGS WHERE REQUIRED
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.

NOTES :

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- LIFT OFF HINGES TO WC DOOR.
- SARKING TO ROOF.
- R2.5 INSULATION TO CEILINGS.
- R1.5 WALL INSULATION
- ALL SHOWER ROSES TO BE AAA RATED.
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.

Floor Plan - First Floor



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ABN 83 150 533 378

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	AW-1806	1800	610	Awning Window X-O
02	AW-1806	1800	610	Awning Window X-O
03	AW-1806	1800	610	Awning Window X-O
04	SW-0906	900	610	Sliding Window - XO
05	AW-1806	1800	610	Awning Window X-O
06	AW-1806	1800	610	Awning Window X-O
07	AW-1812	1800	1210	Awning Window 2 Transom - XO
08	SW-1218	1200	1810	Sliding Window - XO
09	SW-0909	900	910	Sliding Window - XO

NOTE: REFER TO ENGINEERS PLANS FOR ALL BRACING REQUIREMENTS

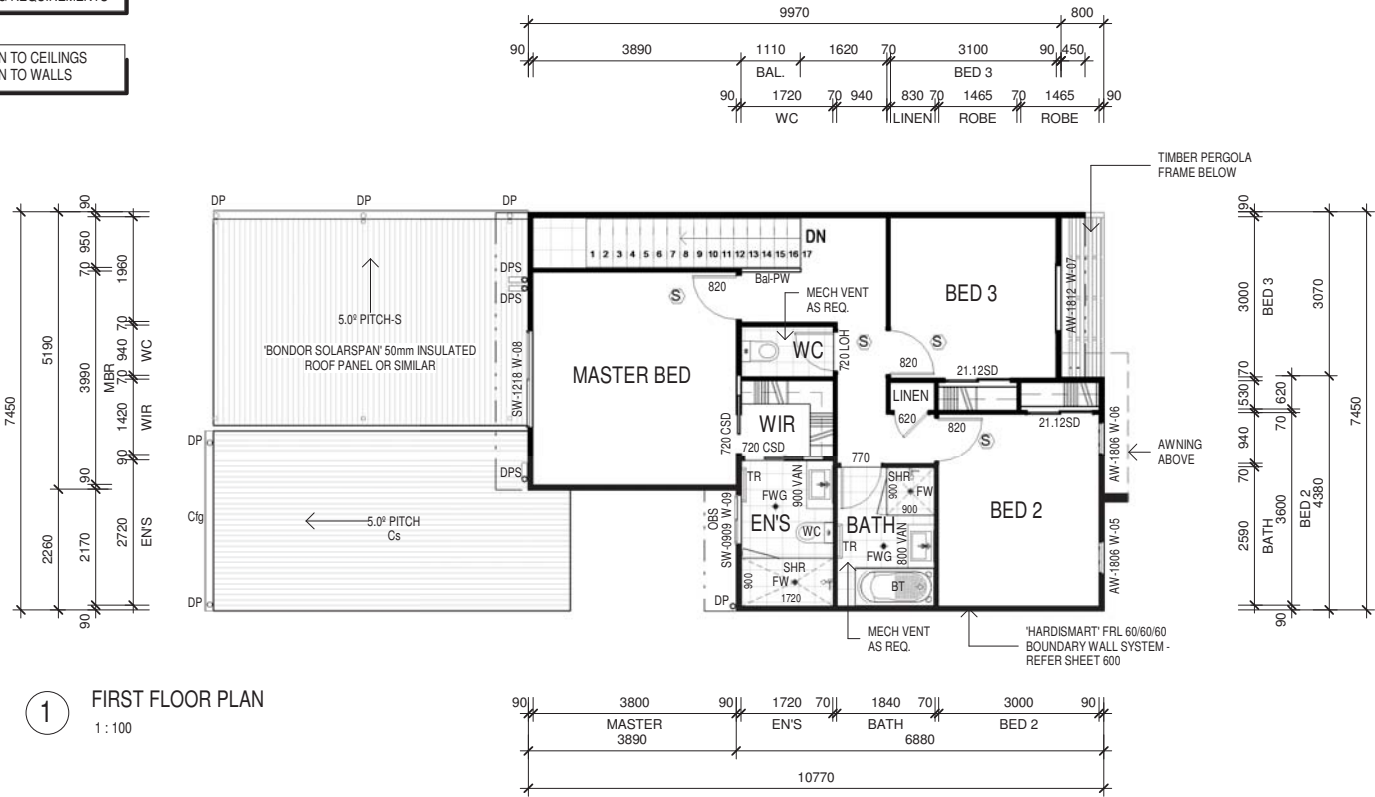
- R2.5 INSULATION TO CEILINGS
- R1.5 INSULATION TO WALLS

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2018/916

Date: 26 April 2018



1 FIRST FLOOR PLAN
1 : 100

JOB ADDRESS:
**LOT 257
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

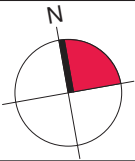
DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 2**

DATE: 17.04.18
DRAWN: NV
CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	12.01.18	INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:



JOB NO:
17 00386
SCALE:
1 : 100
DWG NO:
201

ISSUE:
D

PROPERTY DETAILS
S.P:
290283
PARISH:
COUNTY:
LAND AREA:
285m²

STAGED PLAN:
WORKING DWG
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

NOTES:
DOWNPIPES ARE TO SERVICE 12m MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN (NCC VOL 2. TABLE 3.5.2.2)

GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ2179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273

ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZS4200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY (NCC VOL 2. P3.5.1(F)) & HAVE A MAXIMUM 5 FLAMMABILITY INEDX (NCC VOL 2. P3.7.1.9(A))

ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES

DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE. BE INSTALLED NO LESS THAN 100mm FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN 50mm FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)

CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY

CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3

OVERFLOW MEASURERS IN ACCORDANCE WITH (NCC2016 VOL. 2 TABLE 3.5.2.4)

ROOF PLAN PROVIDED IS A GUIDE ONLY. TO BE READ IN CONJUNCTION WITH ENGINEER'S STORMWATER DRAINAGE PLAN.

NOTE:
SOLARSPAN DOMESTIC PATIO APPLICATION - SINGLE SPAN
WIND CATEGORY (N3 W41N)
PANEL THICKNESS 50mm
CASE B (2 SIDES OPEN) **MAX SPAN 3600mm**
 MAX OVERHANG 900mm

A WALL IS CLASSED AS CLOSED IN 'IF 70% OF CROSS SECTION AREA IS COVERED'

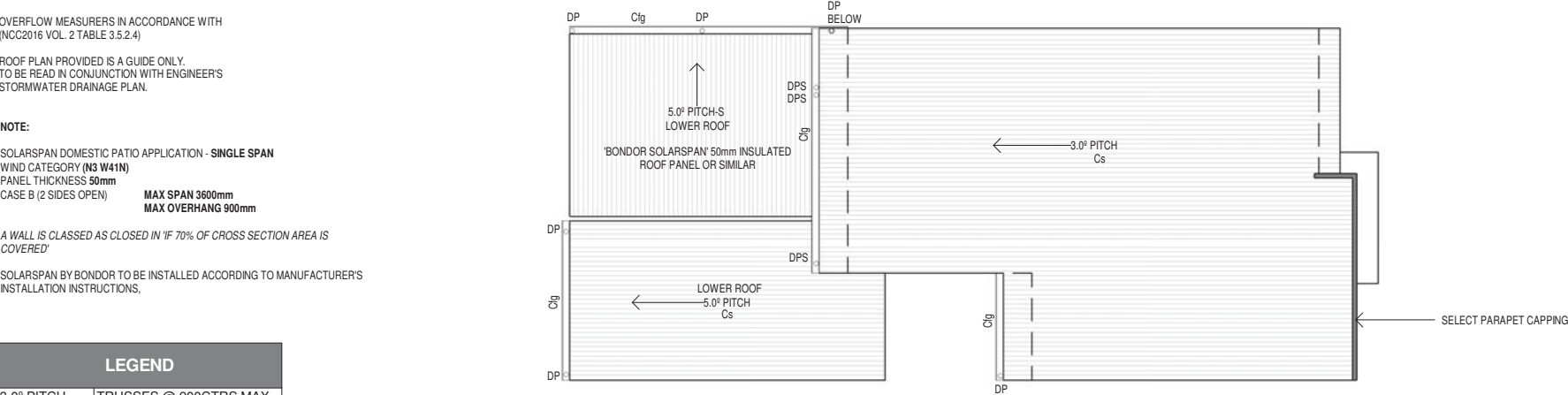
SOLARSPAN BY BONDOR TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



ALERT: THIS PROPERTY IS AFFECTED BY EXCESSIVE NOISE. REFER TO SHEETS 800 & ACOUSTIC REPORT FOR REQUIREMENTS



LEGEND	
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH-S	SOLARSPAN Roof To Manufacturers Specifications
Clg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof



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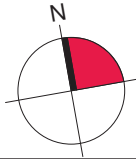
JOB ADDRESS:
**LOT 257
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 2**

DATE: 17.04.18 DRAWN: NV CHECKED: BJC

REV	DATE	DESCRIPTION	DRAWN	CHECKED
A	30.11.17	WORKING DRAWINGS ISSUED	JMW	NV
B	07.12.17	SP UPDATE, INSULATION, SEWER INFO AND ELECTRICAL	GL	NV
C	12.01.18	INSULATION AND ELECTRICAL	GL	NV



JOB NO:
17 00386

SCALE:
1 : 100

DWG NO:
210

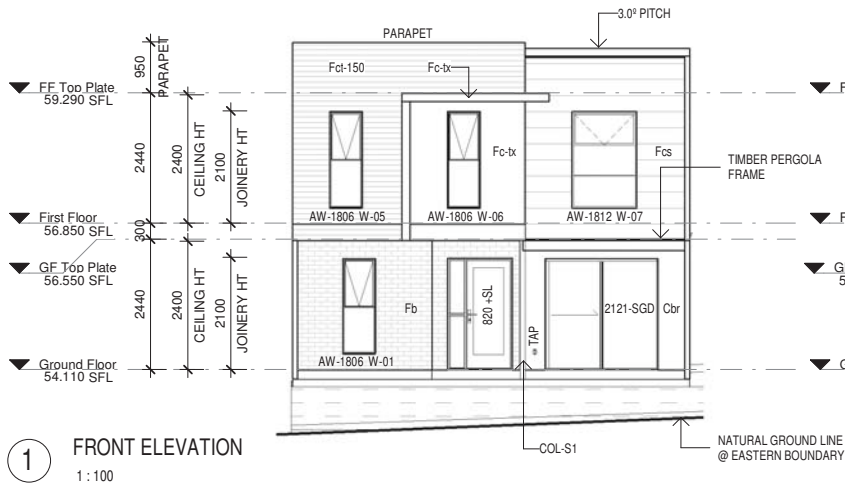
ISSUE:
D

PROPERTY DETAILS	
S.P:	290283
PARISH:	
COUNTY:	
LAND AREA:	285m²

STAGED PLAN:
WORKING DWG

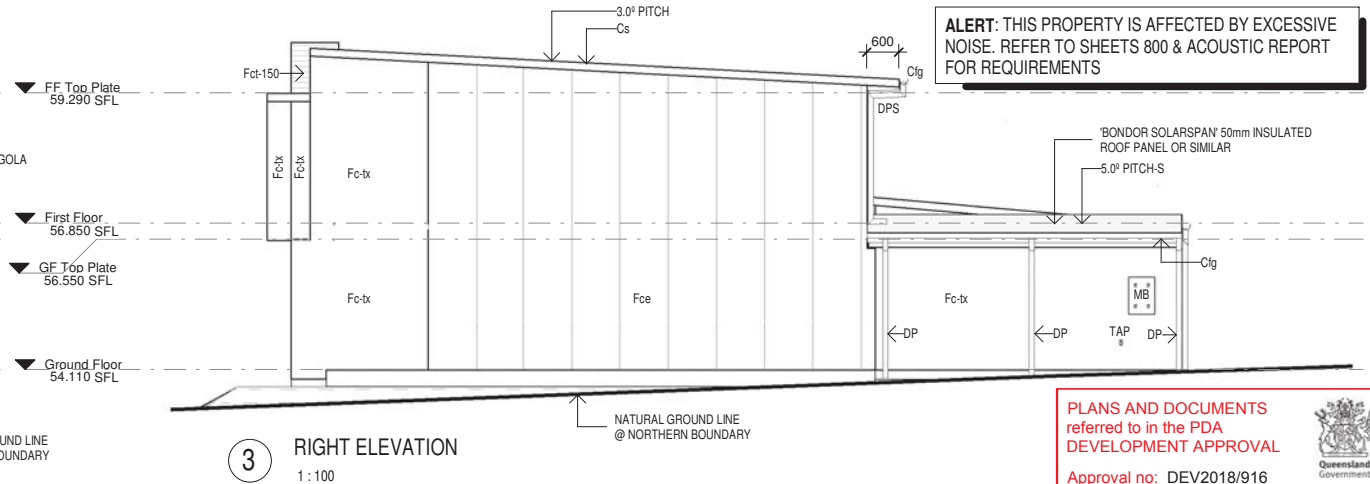
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.

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1 FRONT ELEVATION
1 : 100

LEGEND	
2xACC	2x AIR-CONDITIONER CONDENSERS
3.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH	TRUSSES @ 900CTRS MAX, To Manufacturers Specifications
5.0° PITCH-S	SOLARSPAN Roof To Manufacturers Specifications
Cbr	Common Brick, Render Finish



3 RIGHT ELEVATION
1 : 100

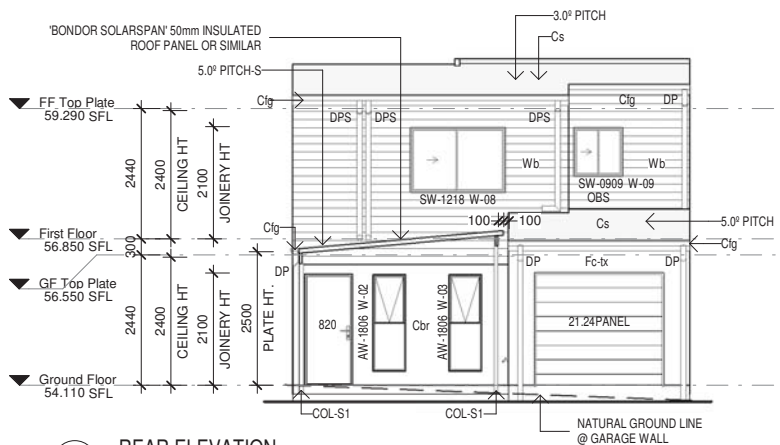
LEGEND	
Cfg	Colorbond Fascia & Gutter
COL-S1	COLUMN - 70x70 SHS. REFER ENG'S DWG'S
Cs	Colorbond Steel Roofing
DP	DOWNPIPE
DPS	DOWNPIPE WITH SPREADER. To lower roof
Fb	Face Brick
Fc-tx	Fibre-Cement, Textured Finish
Fce	James Hardie EasyLap Cladding

LEGEND	
Fcs	Scyon Stria Cladding
Fct-150	James Hardie 150mm Horizontal Cladding - Timber Finish
HWS	HOT WATER SYSTEM
MB	METER BOX
OBS	OBSCURE GLAZING
TAP	12mm HOSE COCK - EXTERNAL
Wb	Scyon Linea Cladding

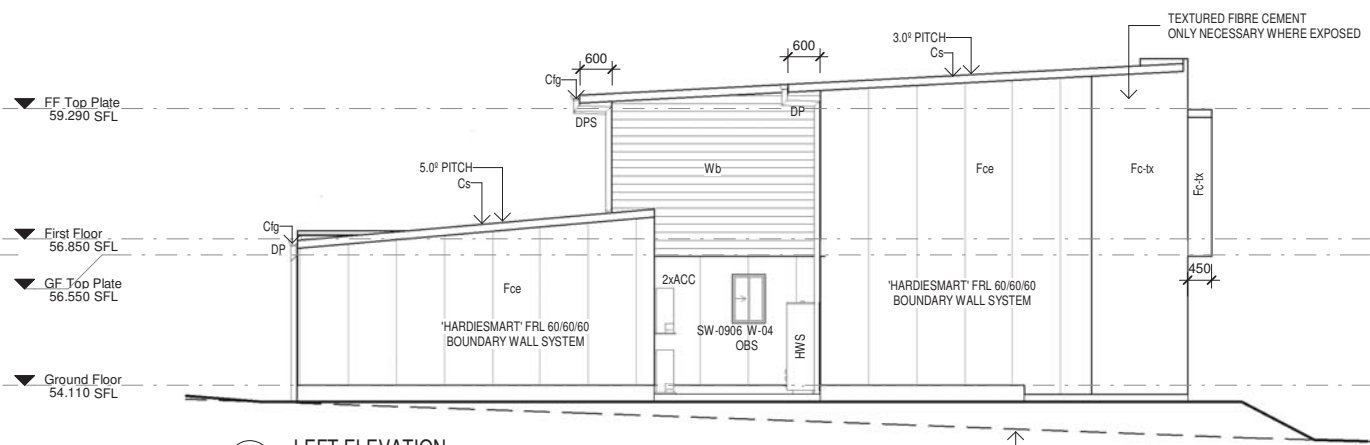
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2018/916
Date: 26 April 2018



2 REAR ELEVATION
1 : 100



4 LEFT ELEVATION
1 : 100

Elevations



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JOB ADDRESS:
**LOT 257
MEEDS LANE
FLAGSTONE, QLD 4280**

CLIENT:
HAYMAN HOMES

DESIGN:
**PROPOSED
TERRACE 160m -
FACADE 2**

DATE: 17.04.18
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REV	DATE	DESCRIPTION	DRAWN	CHECKED
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C	12.01.18	INSULATION AND ELECTRICAL	GL	NV

CLIENTS SIGNATURE:

CLIENTS SIGNATURE:

JOB NO: 17 00386		<u>PROPERTY DETAILS</u>		STAGED PLAN: WORKING DWG
		S.P.: 290283		
SCALE: 1 : 100	ISSUE: D	PARISH:		
DWG NO: 300		COUNTY:		
		LAND AREA: 285m ²		
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA.				

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