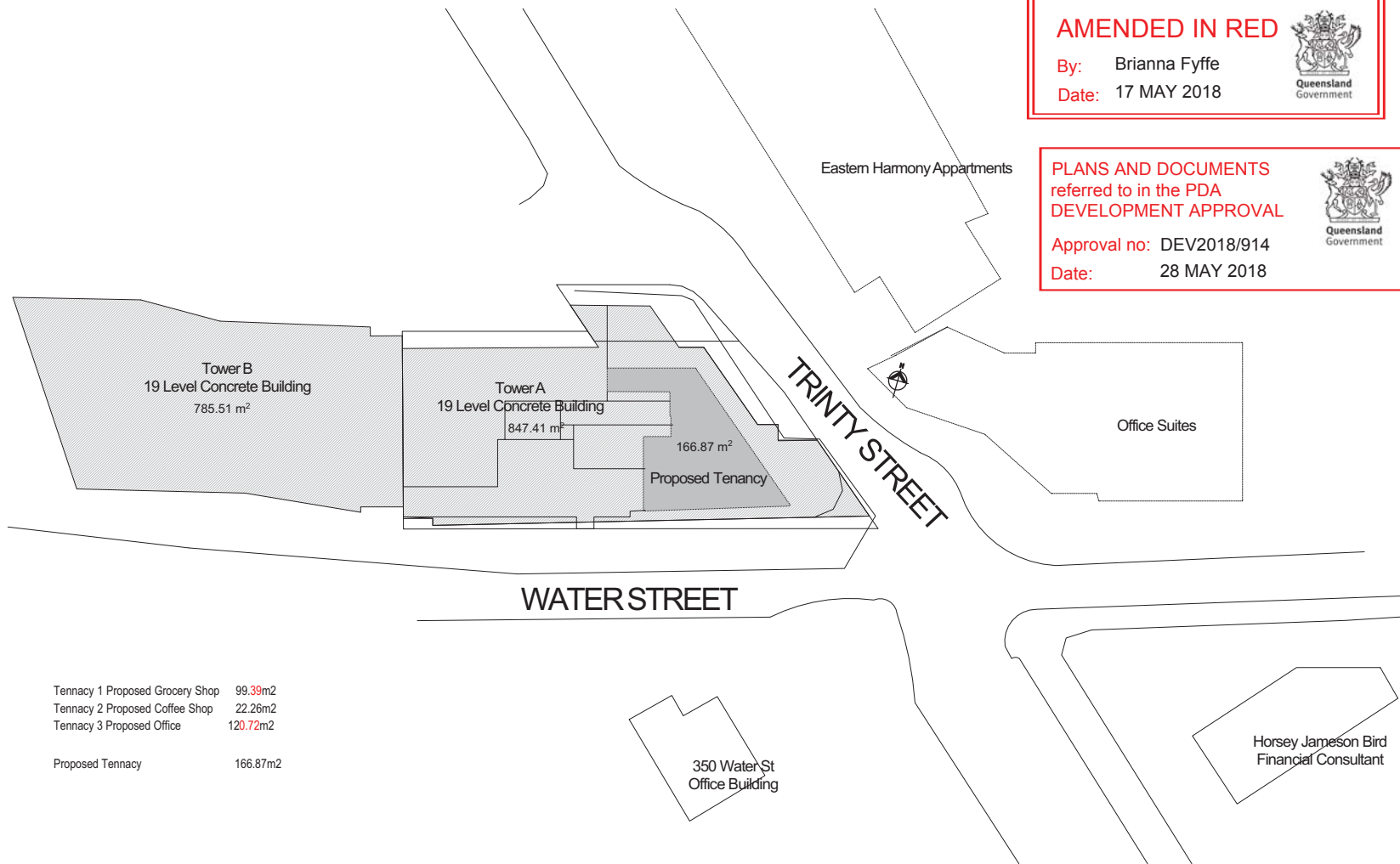




AMENDED IN RED

By: Brianna Fyffe
Date: 17 MAY 2018



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2018/914
Date: 28 MAY 2018



REAL PROPERTY DESCRIPTION

Lot/Plan 00000/SP118333
Area/Volume 1068m²
Tenure FREEHOLD
Local Government BRISBANE CITY
Locality FORTITUDE VALLEY
Segment/Parcel 25647/36

NOTES:

Boundary clearances, boundary dimensions and levels noted on site plan are estimated in accordance with existing fence structures, aerial photography and the local city council city plans online. These dimensions have not been obtained from the registered plans. If structures are encroaching the boundary, then it is the responsibility of the client and builder to retrieve this information. No responsibility taken if fence lines not located correctly in accordance with the Registered Plan.

Confirm all dimensions and details on site before commencement of any work or fabrication.

Comply with all relevant Codes, Standards, Acts, Local Authority requirements and Manufacturer's specifications and details.

All dimensions and levels to be checked on site prior to commencement of any work.

Contractor to ensure that any disturbed works to be made good.

Note floor finish to be selected by Client on site.

All walls to paint finish, colour to be selected by Client on site and skirting to match existing residence.

eCAD Studio cannot guarantee or certify the structural integrity of the components, members or construction of the existing structure.

Services shown hereon have been located where possible by field survey. Prior to any demolition, excavation or construction on the site, the relevant Authority should be contacted for possible location of further underground services and detailed location of all services.

The title boundaries shown hereon were marked by the author at the time of survey and have been determined by field measurement.

01
A01.01

Overall Site Plan

SCALE: 1:500

Site Plans

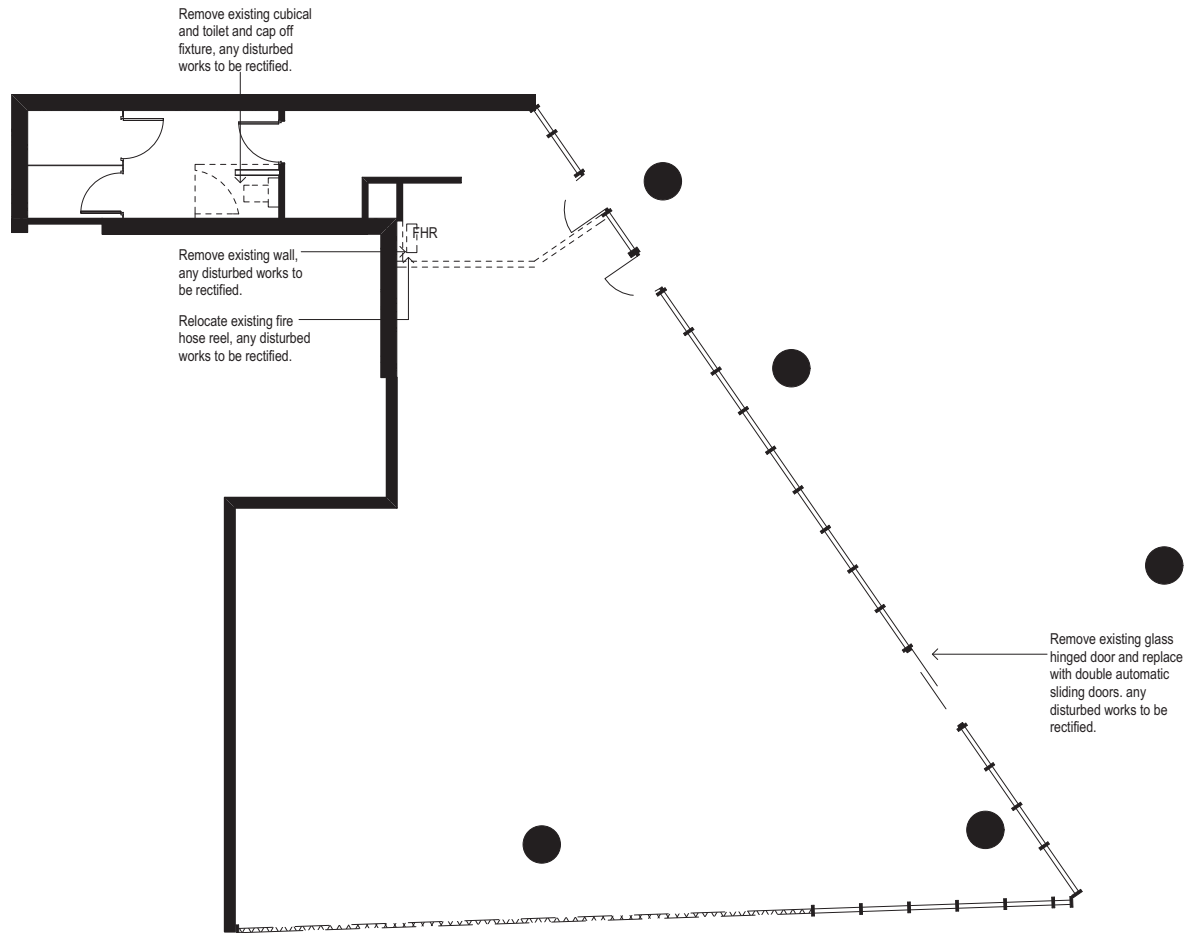
22/12/17	A	CLIENT ISSUE	JC	 residential design, commercial documentation, 3D modelling, BIM Underwood Brisbane, Qld * 34231948 * 0418115203 * enquiry@ecadstudio.com.au ABN: 20 072 964 300 BSA: 1284108	PROJECT : Proposed New Shop Fitout John Li 338 water street fortitude valley	TITLE Site Plan DRAWING NUMBER 2017-087/A01.01	ISSUE A	SHEET SIZE A3
								DRAWN John Cogan
								DATE 12/22/2017
Date		Description						
Amendments								



Queensland
Government

Date: 28 MAY 2018

Comply with all relevant Codes, Standards , Acts, Local Authority requirements and Manufacturer's specifications and details. All dimensions and levels to be checked on site prior to commencement of any work. All roofing to be fixed in accordance with the manufactures specifications. Contractor to ensure that any disturbed works to be made good. eCAD Studio cannot guarantee or certify the structural integrity of the components, members or construction of the existing structure. New Bracing, tie down & structural components sizes & connections detailed on the drawings for the addition/extension to the building relies on the structural integrity of the existing structure being adequate to withstand wind loads & other loads that have passed the test of time assuming no changes or alterations have been made beforehand & the building has been maintained & repaired to sustain those structural requirements. Services shown hereon have been located where possible by field survey. Prior to any demolition, excavation or construction on the site, the relevant Authority should be contacted for possible location of further underground services and detailed location of all services. All roof sheeting to be removed and relevant roof structure upgrade roof structure tiedowns as needed install new insulation and sheeting as required. Builder to take care in demolition as flooring and wall boards to be reused where possible or match with new. Builder to take care removing external cladding so can be used to patch any damaged sections that remain.



Demolition Plan

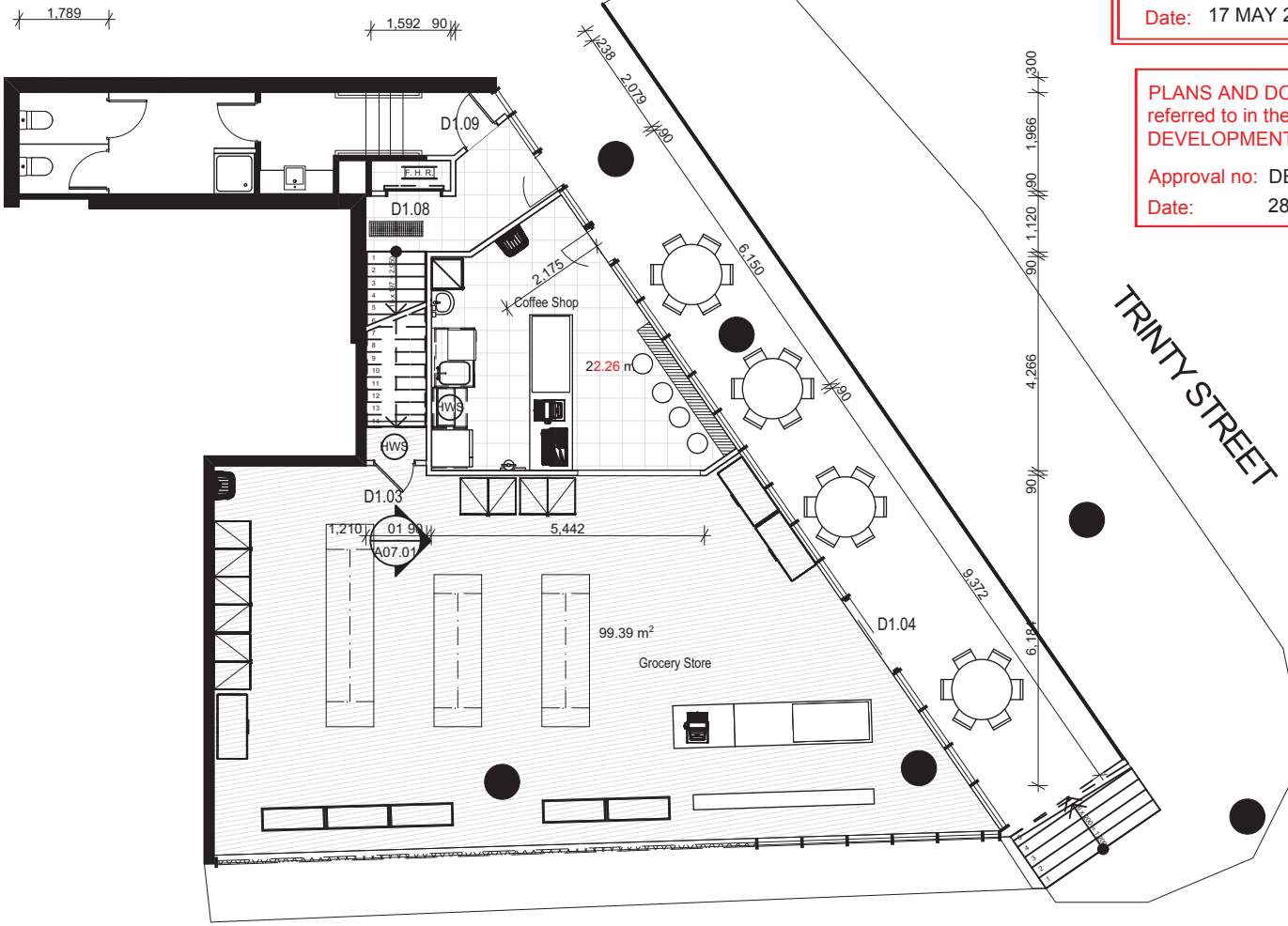
SCALE: 1:100

General Building Plans

25/10/17	A	CLIENT ISSUE	JC	
28/10/17	B	CLIENT CHANGES	JC	
31/10/17	C	CLIENT CHANGES	JC	
				residential design, commercial documentation, 3D modelling, BIM
				Underwood Bldg, Cld # 34231948 - 0418115503 enquiry@ecadstudio.com.au
Date		Description	In	
Amendments				

John Li
338 water street
fortitude valley

TITLE	SHEET SIZE	A3
Demolition Plan	DRAWN	John Cogan
	DATE	12/22/2017
DRAWING NUMBER	ISSUE	WE HEREBY RELEASE THE PROPERTY OF ANY DESIGN OR IT IS SUBJECT TO THE PROVISIONS OF THE CONTRACT AND THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2017-087/A02.01	C	ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE 12/22/2017 BY [REDACTED]



02
A02.02

Ground Floor Plan
SCALE: 1:100

WATER STREET

01
A04.01

TRINITY STREET

AMENDED IN RED
By: Brianna Fyffe
Date: 17 MAY 2018



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2018/914
Date: 28 MAY 2018



NOTES:
These drawings must be read in conjunction with the engineers documentation and any engineering detail supersedes these drawings. Confirm all dimensions and details on site before commencement of any work or fabrication.
Comply with all relevant Codes, Standards, Acts, Local Authority requirements and Manufacturer's specifications and details. All dimensions and levels to be checked on site prior to commencement of any work. Dimensions are to face of studs, posts or brickwork unless otherwise noted and should be checked and verified by owner and builder prior to commencement of works.
All roofing to be fixed in accordance with the manufactures specifications.
Termite management to be in accordance with AS 3660.1, 2 & 3 and the BCA.
Plumbing fixtures shall not be cut into bracing walls.
Provide flashing to all doors and window sills, heads and jambs.
Smoke alarms to be in accordance with the BCA part 3.7.2 and AS3786
Waterproofing wet areas to be in accordance with the BCA and AS3740.
Contractor to ensure that any disturbed works to be made good.
Note floor finish to be selected by Client on site.
All walls to paint finish, colour to be selected by Client on site and skirting to match existing residence.
eCAD Studio cannot guarantee or certify the structural integrity of the components, members or construction of the existing structure.
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PLEASE NOTE DESIGNED USING SPECIFIC MANUFACTURERS PRODUCTS, IF A SUBSTITUTE PRODUCTS ARE USED, BUILDER MUST CONSULT ENGINEER FOR ITS SUITABILITY AND BRACING CAPACITY REQUIREMENTS.

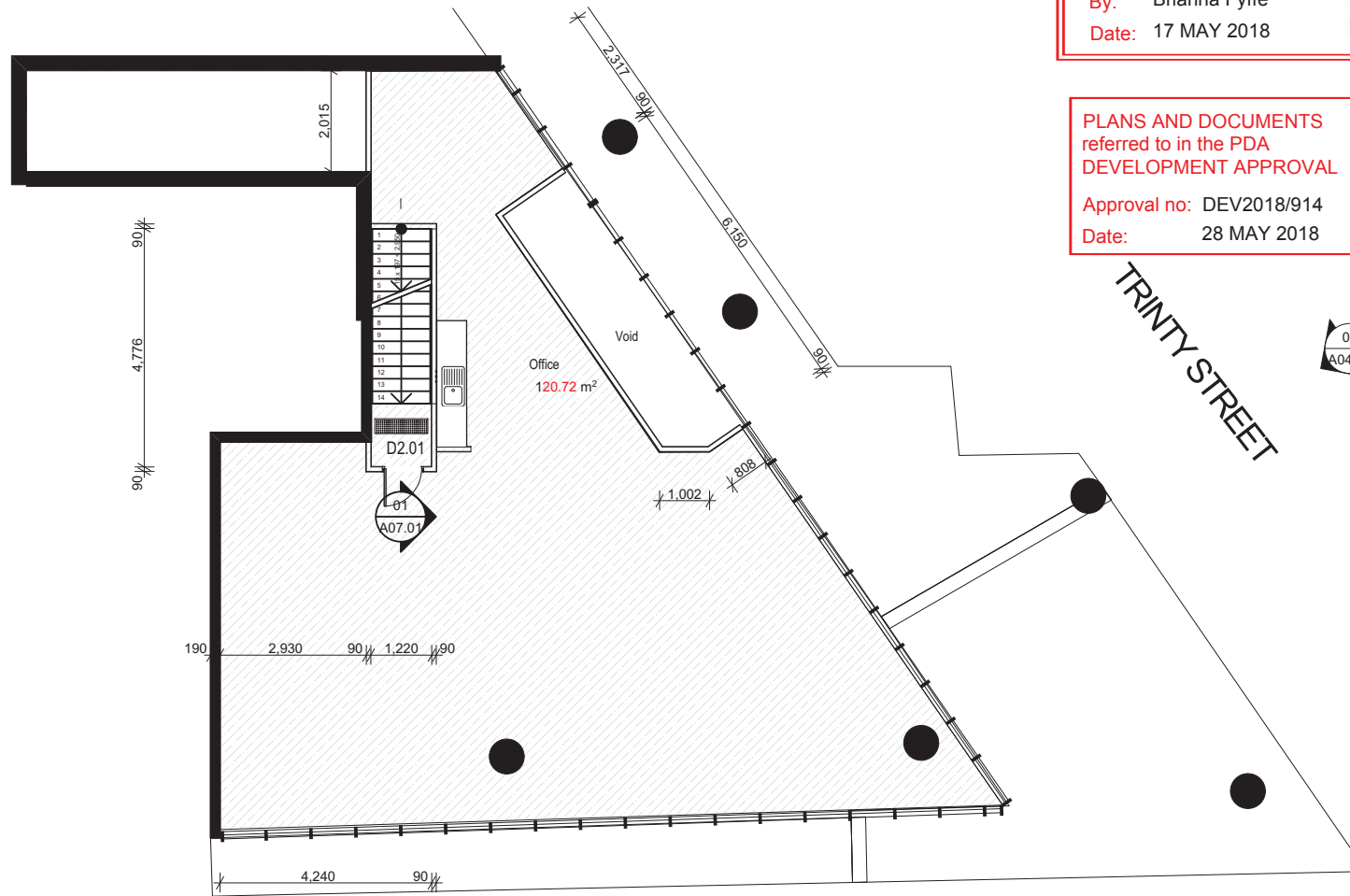
General Building Plans

25/10/17	A	CLIENT ISSUE	JC
28/10/17	B	CLIENT CHANGES	JC
31/10/17	C	CLIENT CHANGES	JC
22/12/17	D	CHANGES TO COFFEE SHOP AND OFFICE FITOUT	JC
Date Description			
Amendments			

residential design, commercial documentation, 3D modelling, BIM
Underwood Brisbane, Qld 4168 15203
enquiry@ecadstudio.com.au
ABN: 20 072 954 300 BSA: 1284188

PROJECT : Proposed New Shop Fitout
John Li
338 water street
fortitude valley

TITLE		SHEET SIZE	A3
Ground Floor Plan		DRAWN	John Cogan
DRAWING NUMBER		DATE	12/22/2017
2017-087/A02.02	ISSUE	D	HE REMAINS THE PROPERTY OF eCAD STUDIO. IT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE E&O AGREEMENT. ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.



First Floor Plan

SCALE: 1:100

WATER STREET

AMENDED IN RED

By: Brianna Fyffe

Date: 17 MAY 2018



**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2018/914

Date: 28 MAY 2018



TRINITY STREET



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28/10/17	B	CLIENT CHANGES	JC
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22/12/17	D	CHANGES TO COFFE SHOP AND OFFICE FITOUT	JC
Date Description By			
Amendments			



residential design, commercial documentation, 3D modelling, BIM
 Linderoed Brisbane, Qld " 34231948 " 0418115203 "
 enquiry@ecadstudio.com.au

ABN: 20 072 964 300 BSA: 1284108

PROJECT : Proposed New Shop Fitout

John Li
 338 water street
 fortitude valley

TITLE

First Floor Plan

DRAWING NUMBER

2017-087/A02.03

ISSUE

D

SHEET SIZE

A3

DRAWN

John Cogan

DATE

12/22/2017

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