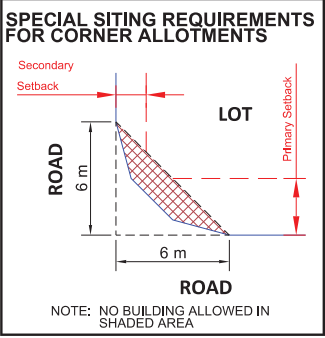


Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premum Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks	1.5	1.4	1.25	1.0	0.5	0.5	1.8
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
Side Boundaries	Earthworks	1.0	0.7	0.6	0.5	0.5	0.5	1.0
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Earthworks	1.5	1.5	1.5	1.5	1.5	1.5	1.8
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

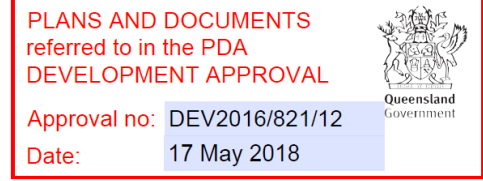
Approval no: DEV2016/821/12
Date: 17 May 2018



0 10 20 30 40 50m
Scale 1:1,000 at A3

North

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YARRABILBA

Lot Type		Tradttional	Town Courtyard	Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

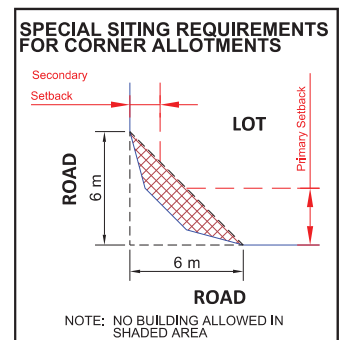
SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

-  Yarrabilba Site Boundary
 -  RoL Boundary
 -  Stage Boundary
 -  Natura Development Line
 -  Park *
 -  Open Space *
- (* See Open Space Design 106127-100)
-  Built to Boundary Line
 -  Mandatory Built to Boundary Line
 -  Building Envelope
 -  No Vehicular Access

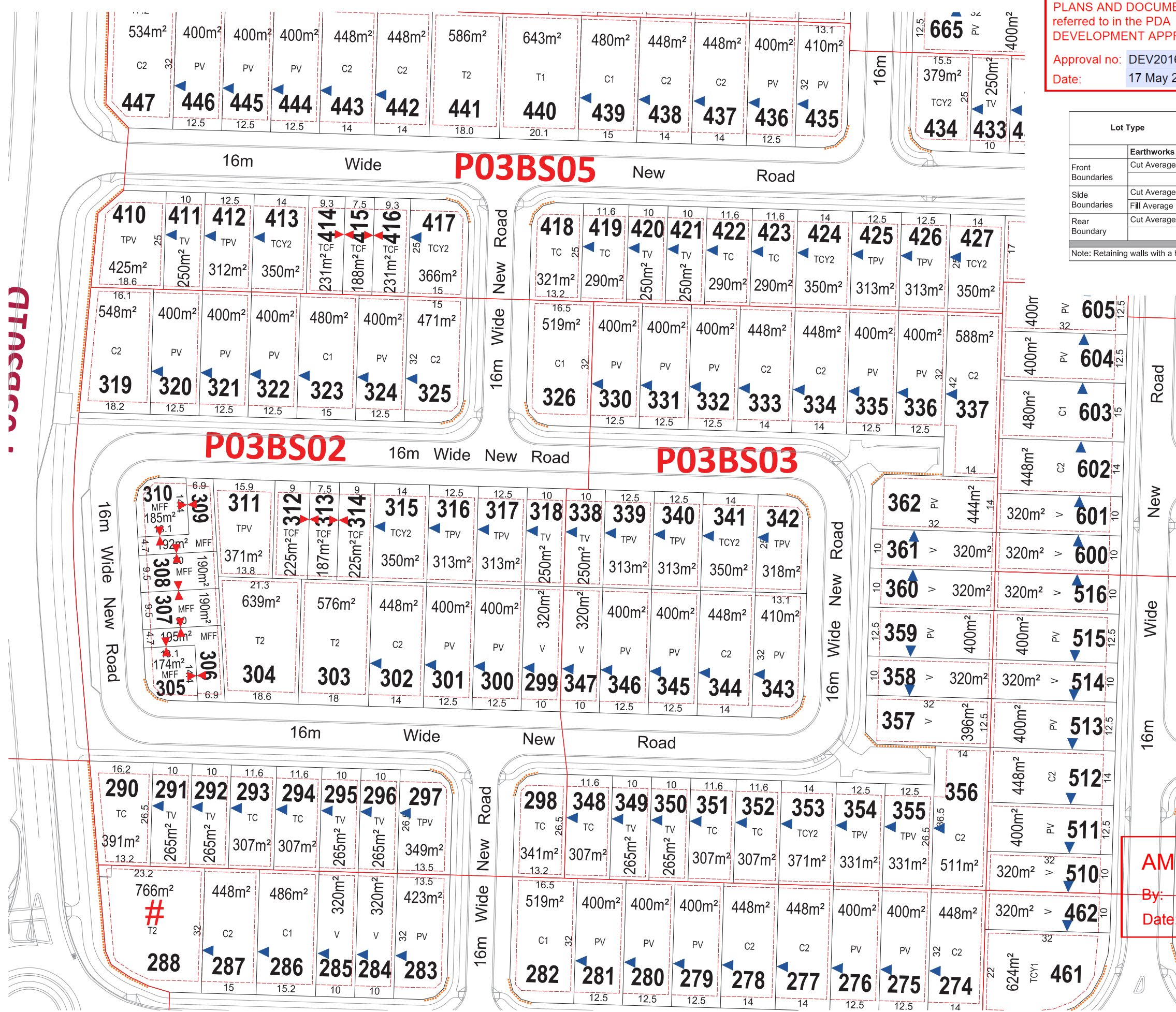


THESE CRITERIA MUST BE READ IN
CONJUNCTION WITH RESIDENTIAL PLAN
OF DEVELOPMENT SHEET 25 OF 26
(106127-130) - DESIGN CRITERIA FOR
RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT



ATTACHED



PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2016/821/12

Date: 17 May 2018



RETAINING WALL HEIGHT TABLE							
Lot Type	Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks						
	Cut Average	1.5	1.4	1.25	1.0	0.5	1.8
Side Boundaries	Fill Maximum height of 1.0m						
	Cut Average	1.0	0.7	0.6	0.5	0.5	1.8
Rear Boundary	Fill Average						
	Cut Average	1.0	0.7	0.6	0.5	0.5	1.0
Rear Boundary	Fill Maximum height of 1.0m						
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.8
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification							

SETBACK TABLE						
Lot Type	Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage	
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0
* Constitutes Multiple Residential Development						
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned						
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.						

Legend

Yarrabilba Site Boundary

RoL Boundary

Stage Boundary

Natura Development Line

Park *

Open Space *

Built to Boundary Line

Mandatory Built to Boundary Line

Building Envelope

No Vehicular Access

(* See Open Space Design 106127-100)

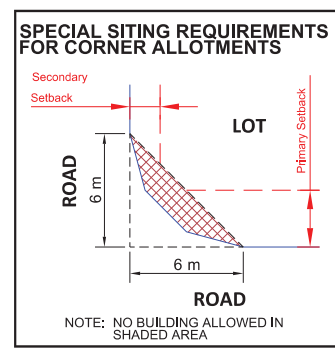
AMENDED IN RED

By: Tom Barker

Date: 28 March 2018

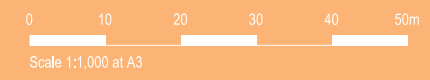


THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .



PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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Approval no: DEV2016/821/12

Date: 17 May 2018



RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

SETBACK TABLE						
Lot Type		Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	1.0
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0
* Constitutes Multiple Residential Development						

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

Yarrabilba Site Boundary

RoL Boundary

Stage Boundary

Natura Development Line

Park *

Open Space *

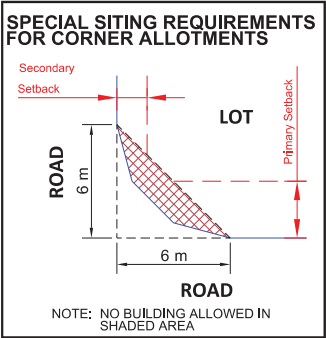
(* See Open Space Design 106127-100)

Built to Boundary Line

Mandatory Built to Boundary Line

Building Envelope

No Vehicular Access



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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RETAINING WALL HEIGHT TABLE

Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

SETBACK TABLE

Lot Type		Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0

* Constitutes Multiple Residential Development

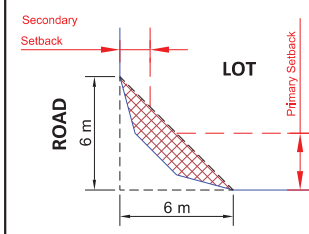
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- (* See Open Space Design 106127-100)
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

SPECIAL SITING REQUIREMENTS
FOR CORNER ALLOTMENTS



NOTE: NO BUILDING ALLOWED IN
SHADED AREA

THESE CRITERIA MUST BE READ IN
CONJUNCTION WITH RESIDENTIAL PLAN
OF DEVELOPMENT SHEET 25 OF 26
(106127-130) - DESIGN CRITERIA FOR
RESIDENTIAL DEVELOPMENT.

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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0 10 20 30 40 50m

Scale 1:1,000 at A3



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Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

SETBACK TABLE

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
* Constitutes Multiple Residential Development							

* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE

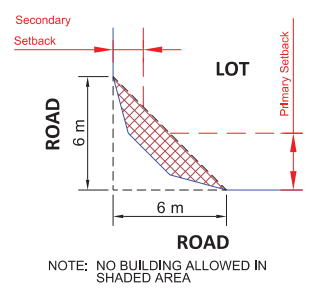
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
Side Boundaries	Fill Maximum height of 1.0m							
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
Rear Boundary	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
Fill Maximum height of 1.0m								1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2016/821/12
Date: 17 May 2018

THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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0 10 20 30 40 50m
Scale 1:1,000 at A3



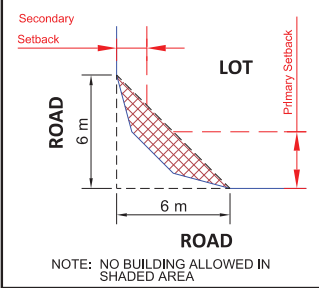
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RETAINING WALL HEIGHT TABLE

Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

SETBACK TABLE

Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
* Constitutes Multiple Residential Development							

* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

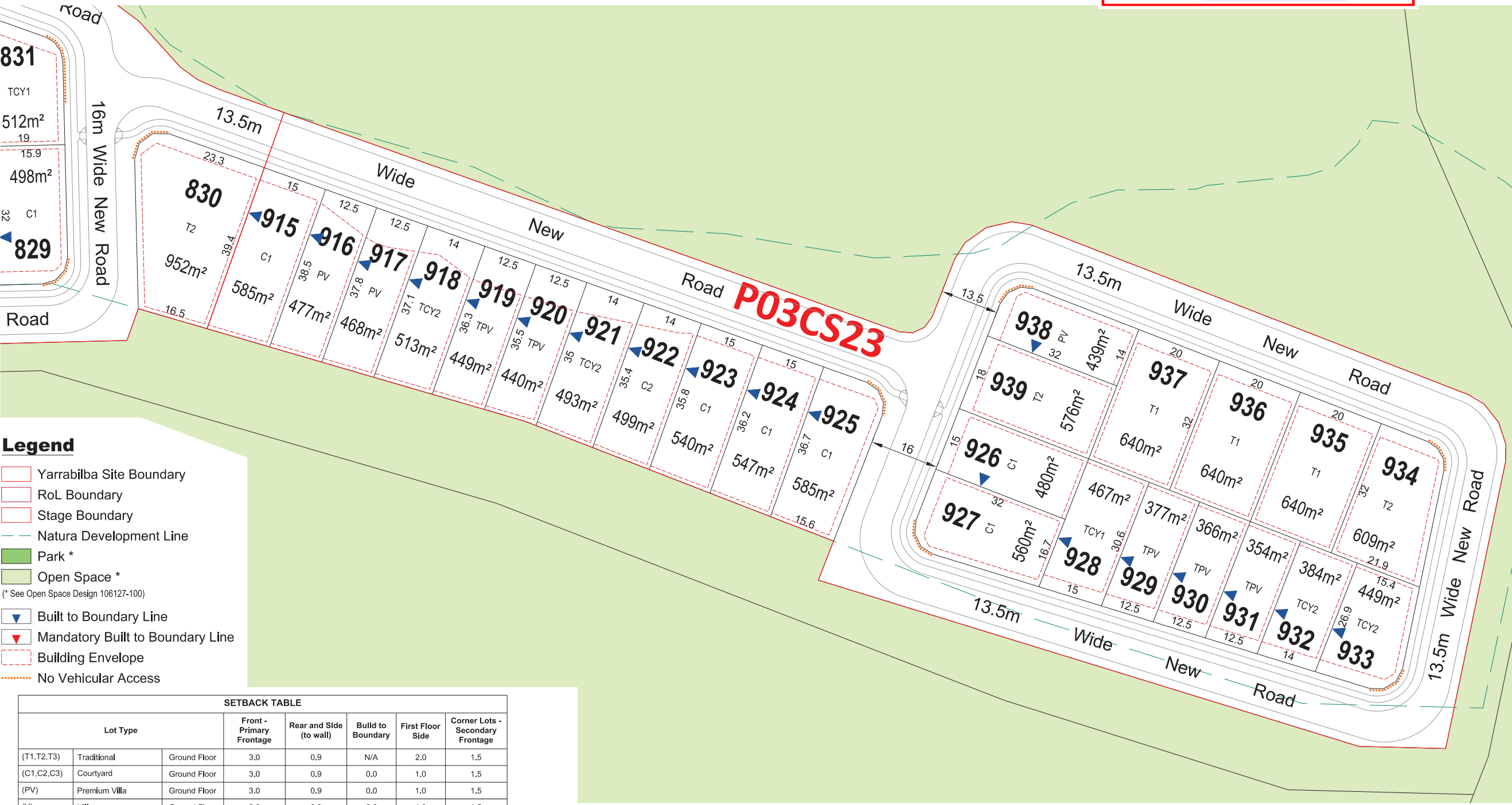
PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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0 10 20 30 40 50m
Scale 1:1,000 at A3

North

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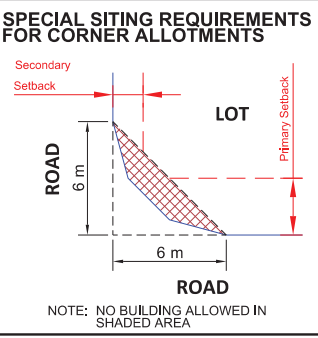
- Legend**
- Yarrabilba Site Boundary
 - RoL Boundary
 - Stage Boundary
 - Natura Development Line
 - Park *
 - Open Space *
 - (* See Open Space Design 106127-100)
 - Built to Boundary Line
 - Mandatory Built to Boundary Line
 - Building Envelope
 - No Vehicular Access

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
	Fill Average							1.0
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
Rear Boundary	Earthworks							
	Fill Average							1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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RETAINING WALL HEIGHT TABLE

Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

SETBACK TABLE

Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development

* Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

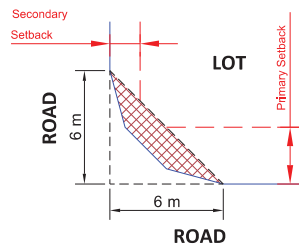
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/821/12
Date: 17 May 2018



THESE CRITERIA MUST BE READ IN
CONJUNCTION WITH RESIDENTIAL PLAN
OF DEVELOPMENT SHEET 25 OF 26
(106127-130) - DESIGN CRITERIA FOR
RESIDENTIAL DEVELOPMENT .

SPECIAL SITING REQUIREMENTS
FOR CORNER ALLOTMENTS



NOTE: NO BUILDING ALLOWED IN
SHADED AREA

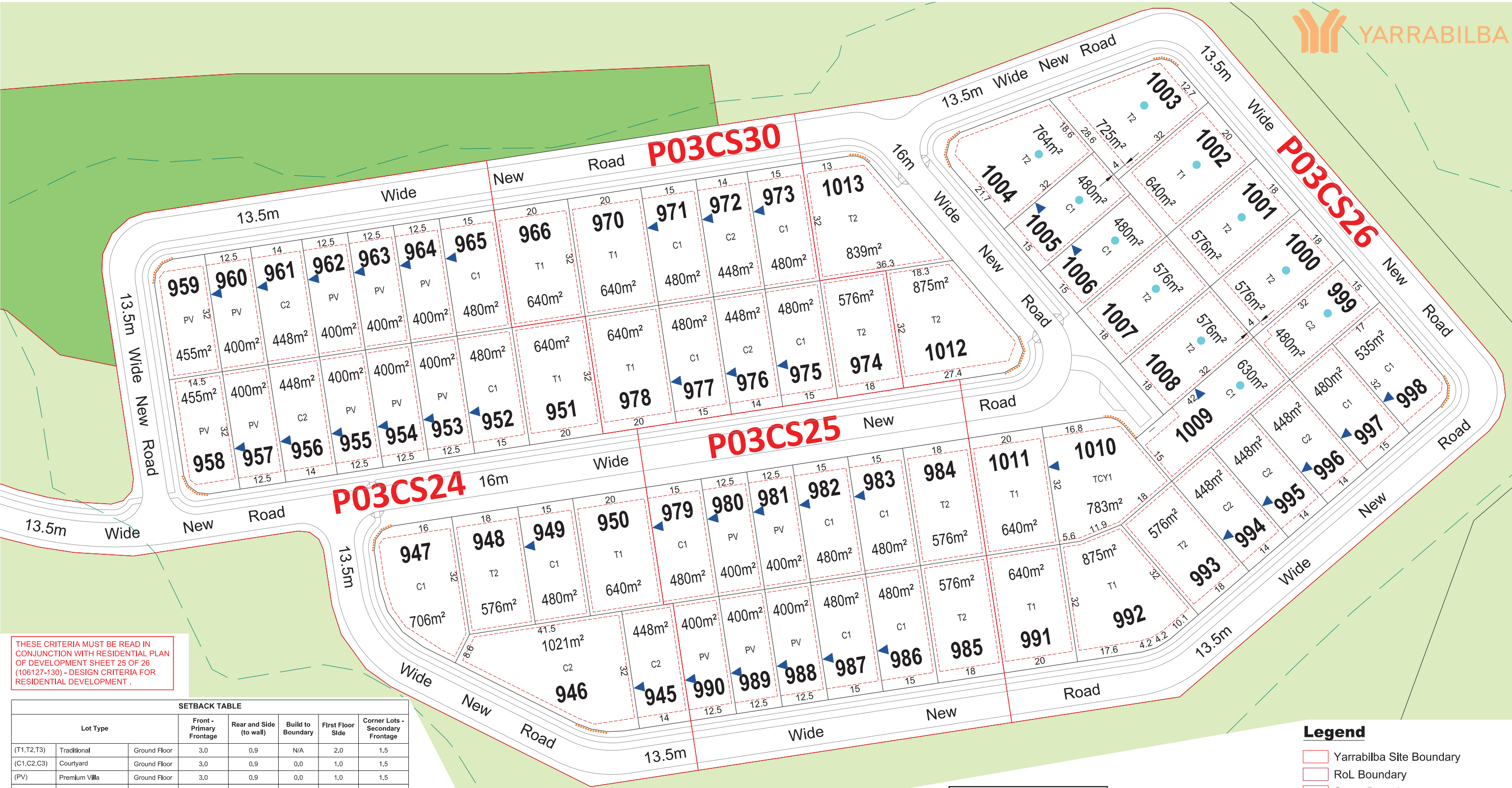
PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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Scale 1:1,000 at A3



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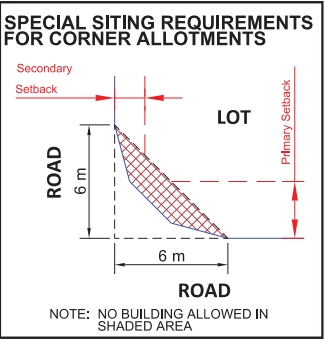
THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE							
Lot Type		Traditional	Town Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	Maximum Retaining Height
Front Boundaries	Earthworks	1.5	1.4	1.25	1.0	0.5	1.8
	Cut Average						
Side Boundaries	Fill Maximum height of 1.0m						1.0
	Cut Average	1.0	0.7	0.6	0.5	0.5	1.8
Rear Boundary	Fill Average	1.0	0.7	0.6	0.5	0.5	1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m					1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification



** Denotes allotments which require slope responsive building methods. Designs must incorporate ont of the following:
- Split-level slabs to a minimum of 360mm split
- evelvated construction or
- brick up base extended a minimum of 360mm below house platform level

- Legend**
- Yarrabilba Site Boundary
 - RoL Boundary
 - Stage Boundary
 - Natura Development Line
 - Park *
 - Open Space *
 - Built to Boundary Line
 - Mandatory Built to Boundary Line
 - Building Envelope
 - No Vehicular Access
 - Impacted by Slope **
- (* See Open Space Design 106127-100)

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2016/821/12
Date: 17 May 2018

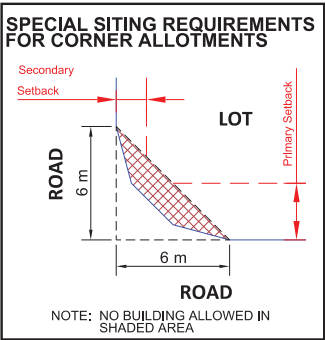


0 10 20 30 40 50m
Scale 1:1,000 at A3



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RETAINING WALL HEIGHT TABLE							
Lot Type	Traditional	Town Courtyard Courtyard	Premum Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks						
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5
Side Boundaries	Fill Maximum height of 1.0m						1.0
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5
Rear Boundary	Fill Average						1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5
Fill Maximum height of 1.0m							1.0
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification							



Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



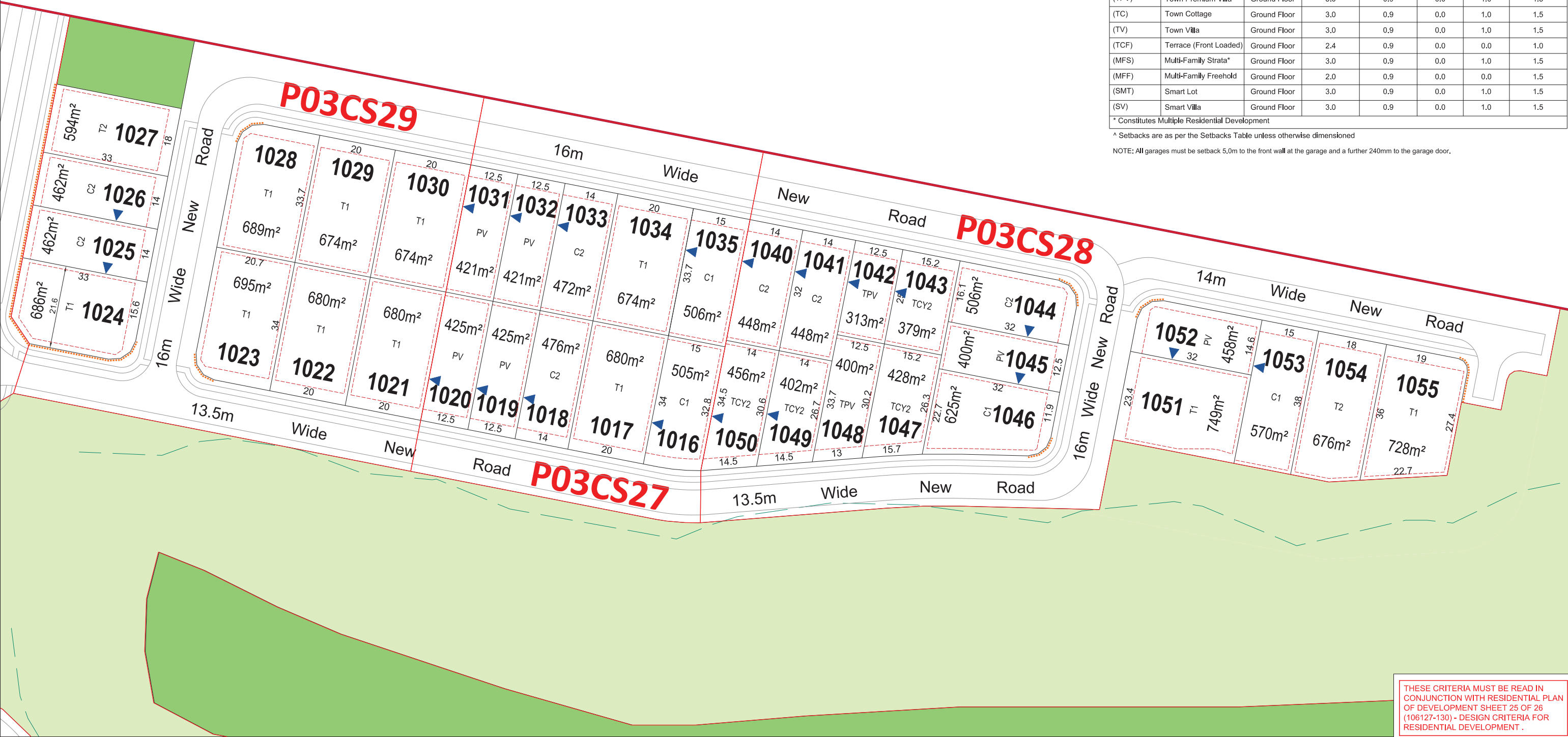
YARRABILBA

Approval no: DEV2016/821/12
Date: 17 May 2018

SETBACK TABLE						
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.5
* Constitutes Multiple Residential Development						

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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