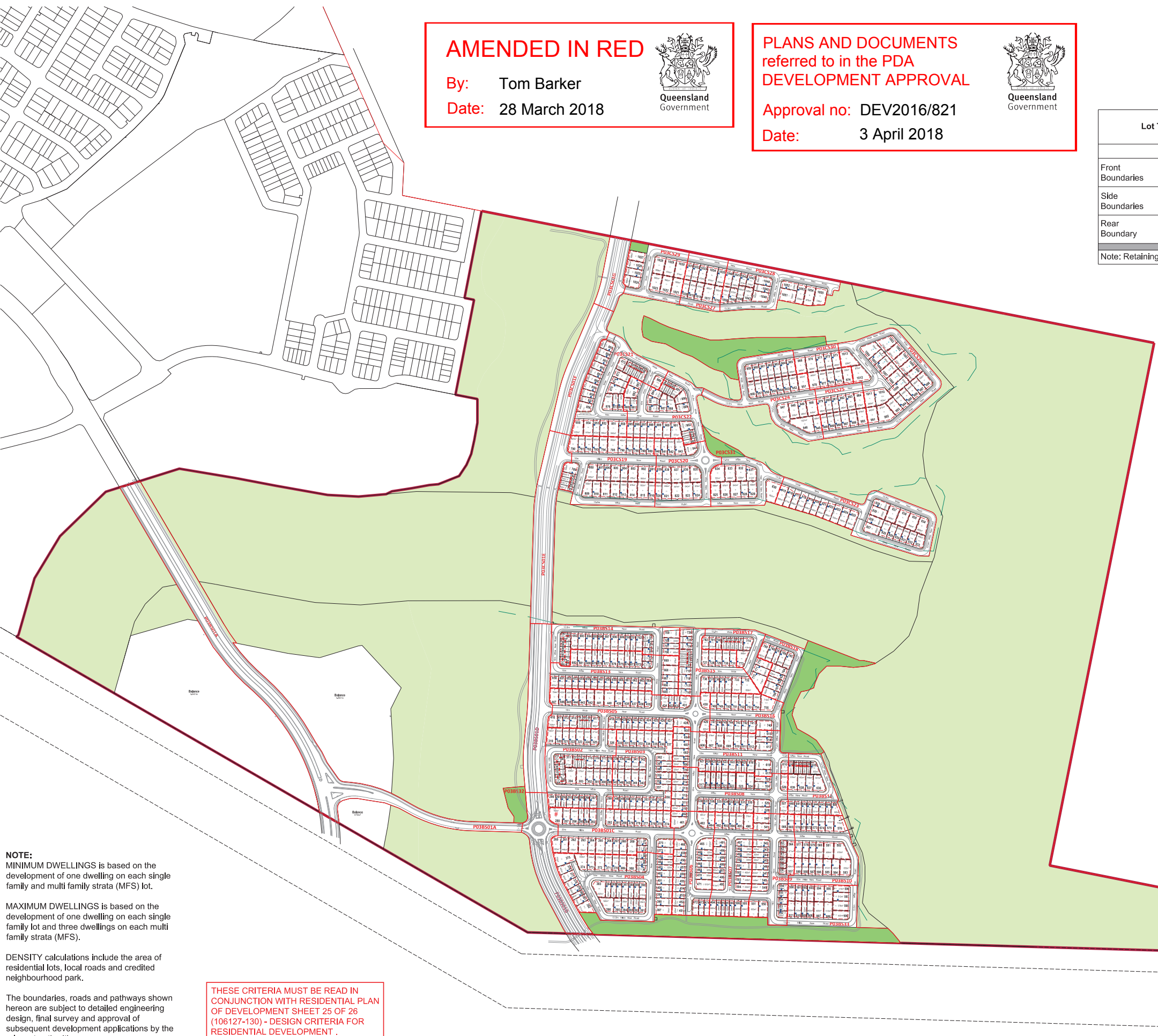




By: Tom Barker
Date: 28 March 2018



Approval no: DEV2016/821
Date: 3 April 2018



Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						1.0
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification

Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS

Secondary Setback

LOT

ROAD 6 m

6 m

ROAD

Primary Setback

NOTE: NO BUILDING ALLOWED IN SHADED AREA

-  Yarrabilba Site Boundary
 -  RoL Boundary
 -  Stage Boundary
 -  Natura Development Line
 -  Park *
 -  Open Space *
- (* See Open Space Design 106127-100)
-  Built to Boundary Line
 -  Mandatory Built to Boundary Line
 -  Building Envelope
 -  No Vehicular Access

Entry Statement (Sign) permitted on Lot 288, if in accordance with approved Yarrabilba Precinct 3B, Stage 01C Landscape Works plan, prepared by AECOM

NOTE:
MINIMUM DWELLINGS is based on the development of one dwelling on each single family and multi family strata (MFS) lot.

MAXIMUM DWELLINGS is based on the development of one dwelling on each single family lot and three dwellings on each multi family strata (MFS).

DENSITY calculations include the area of residential lots, local roads and credited neighbourhood park.

The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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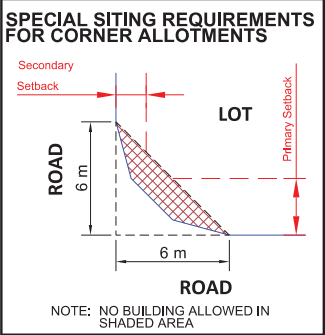
Age Group	Number of People
18-24	100
25-34	150
35-44	200
45-54	250
55-64	300
65-74	350
75-84	400
85+	450

Scale 1:7,500 at A3



Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
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(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premum Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks	1.5	1.4	1.25	1.0	0.5	0.5	1.8
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
Side Boundaries	Earthworks	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
Rear Boundary	Earthworks	1.5	1.5	1.5	1.5	1.5	1.5	1.8
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification

AMENDED IN RED

By: Tom Barker

Date: 28 March 2018



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2016/821

Date: 3 April 2018



PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)

RESIDENTIAL PLAN OF DEVELOPMENT

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RETAINING WALL HEIGHT TABLE								
Lot Type		Traditlional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
	Fill Maximum height of 1.0m							1.0
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
	Fill Maximum height of 1.0m							1.0

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SETBACK TABLE							
Lot Type		Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage	
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
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(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

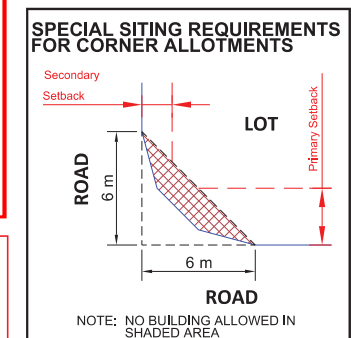
- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

PLANS AND DOCUMENTS
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RESIDENTIAL DEVELOPMENT .



PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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0 10 20 30 40 50m
Scale 1:1,000 at A3



RETAINING WALL HEIGHT TABLE							
Lot Type	Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks						
	Cut Average	1.5	1.4	1.25	1.0	0.5	1.8
Side Boundaries	Fill Maximum height of 1.0m						
	Cut Average	1.0	0.7	0.6	0.5	0.5	1.8
Rear Boundary	Fill Maximum height of 1.0m						
	Cut Average	1.0	0.7	0.6	0.5	0.5	1.8
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification							

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
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(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
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(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
* Constitutes Multiple Residential Development							

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

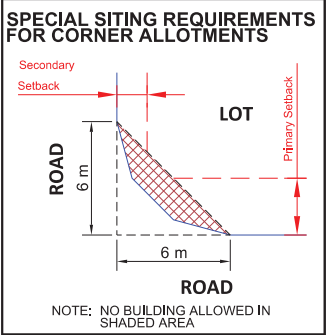
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Approval no: DEV2016/821
Date: 3 April 2018

AMENDED IN RED

By: Tom Barker
Date: 28 March 2018

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PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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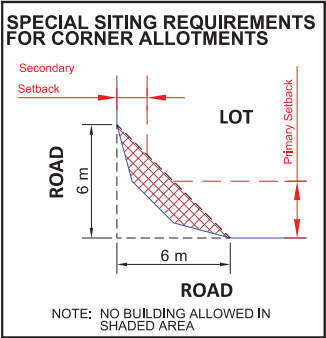
Scale 1:1,000 at A3

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

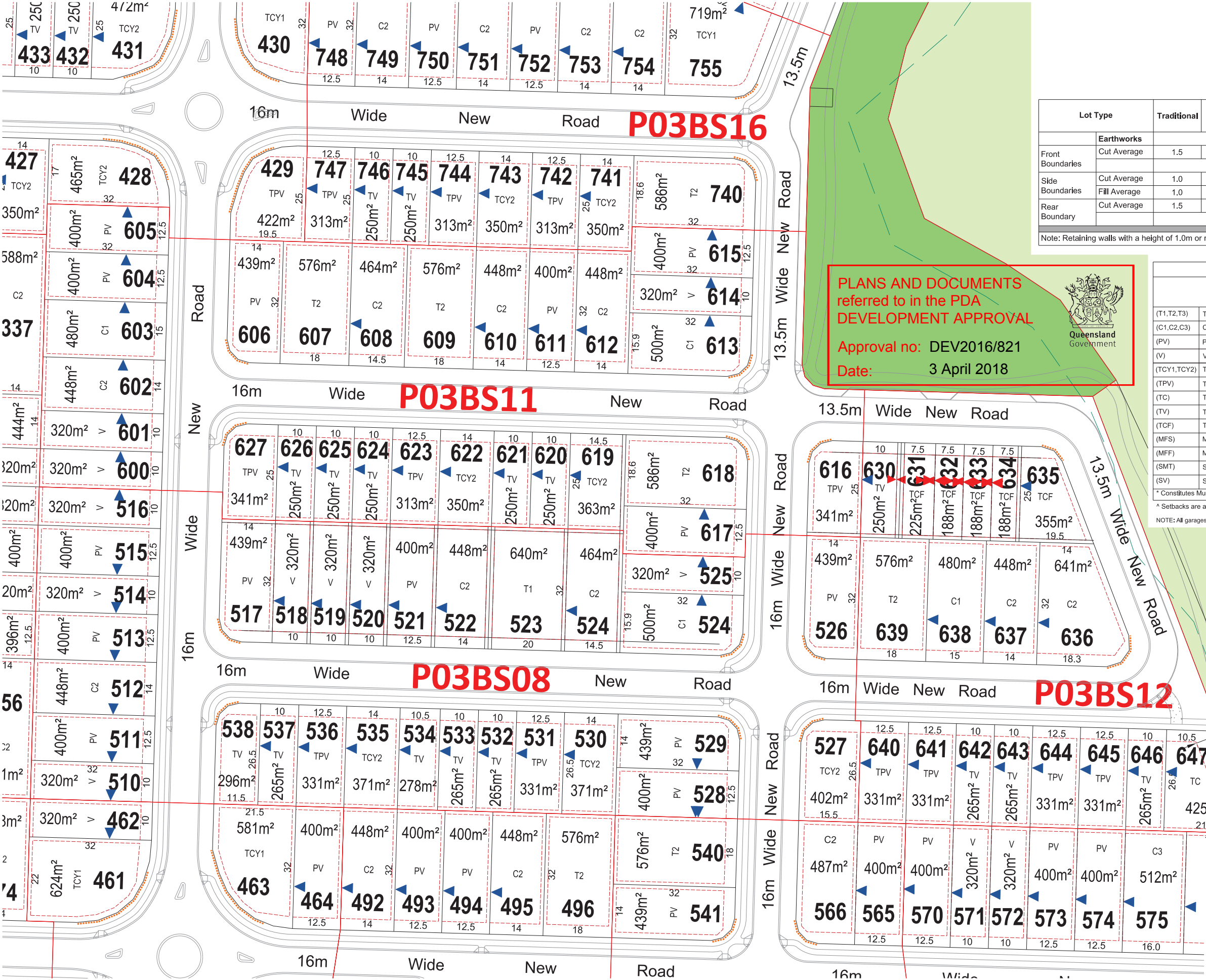
SETBACK TABLE						
Lot Type		Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	1.0
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0
* Constitutes Multiple Residential Development						

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

- Legend**
- Yarrabilba Site Boundary
 - RoL Boundary
 - Stage Boundary
 - Natura Development Line
 - Park *
 - Open Space *
 - (* See Open Space Design 106127-100)
 - Built to Boundary Line
 - Mandatory Built to Boundary Line
 - Building Envelope
 - No Vehicular Access



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT.



PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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Date: 3 April 2018



Queensland
Government



RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
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^ Setbacks are as per the Setbacks Table unless otherwise dimensioned						
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.						

Legend

Yarrabilba Site Boundary

RoL Boundary

Stage Boundary

Natura Development Line

Park *

Open Space *

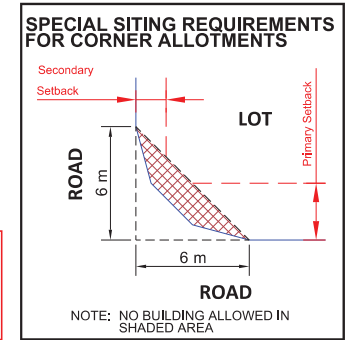
Built to Boundary Line

Mandatory Built to Boundary Line

Building Envelope

No Vehicular Access

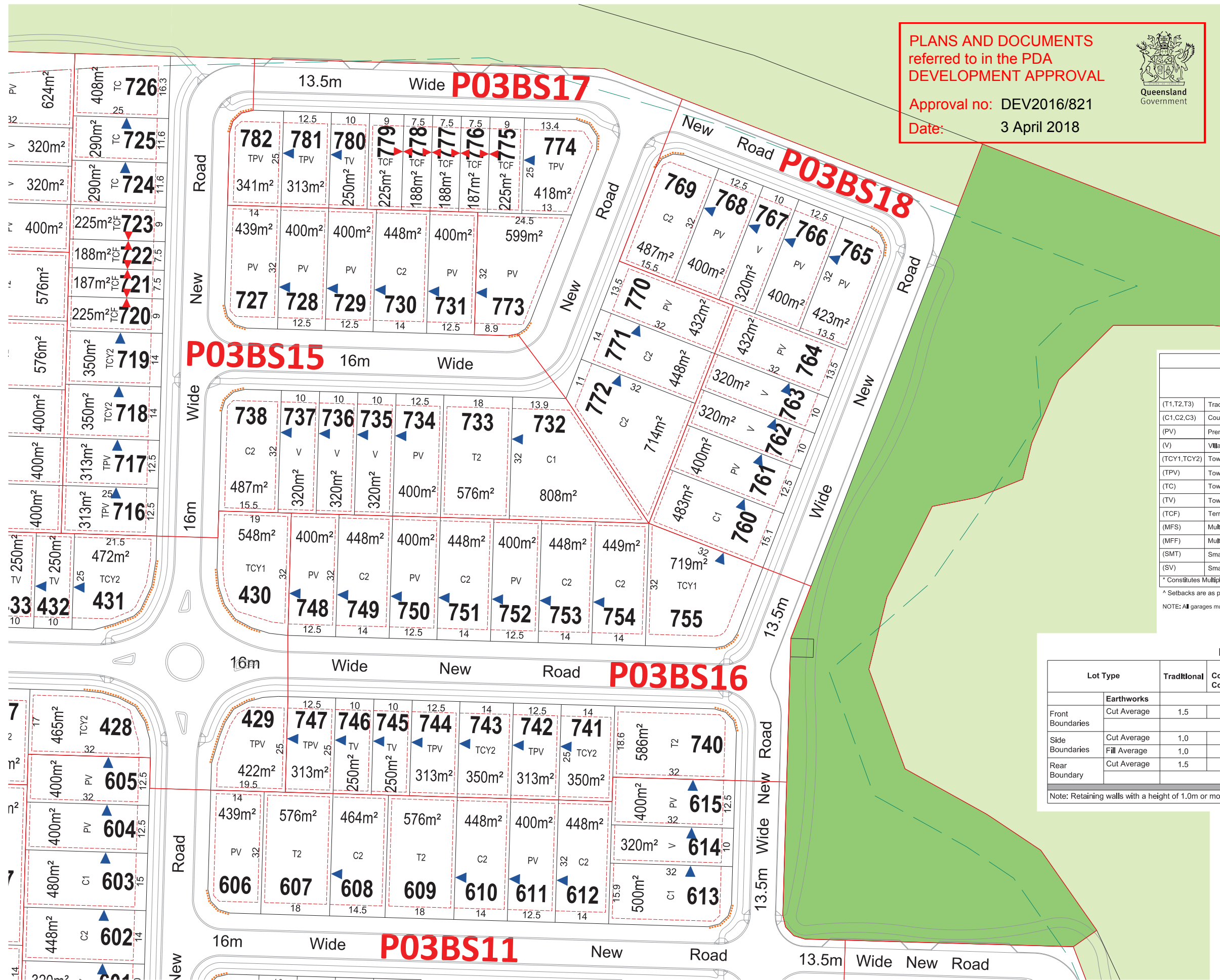
(* See Open Space Design 106127-100)



PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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Legend

- Yarrabilba Site Boundary
- RoL Boundary
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SETBACK TABLE

Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
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(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

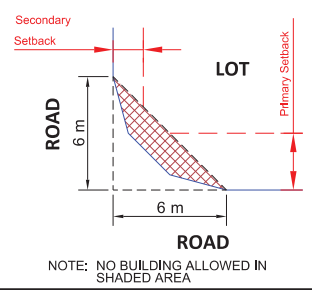
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE

Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
Side Boundaries	Fill Maximum height of 1.0m							
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
Rear Boundary	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
Fill Maximum height of 1.0m								1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

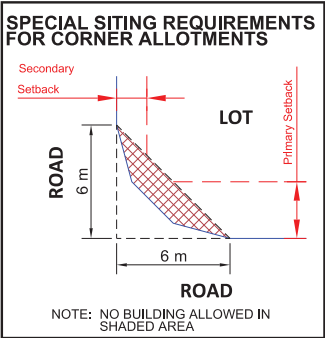
PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
Side Boundaries	Earthworks							
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
Rear Boundary	Earthworks							
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
Fill Maximum height of 1.0m								
Fill Maximum height of 1.0m								
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								



Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

SETBACK TABLE						
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0
* Constitutes Multiple Residential Development						
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned						
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.						



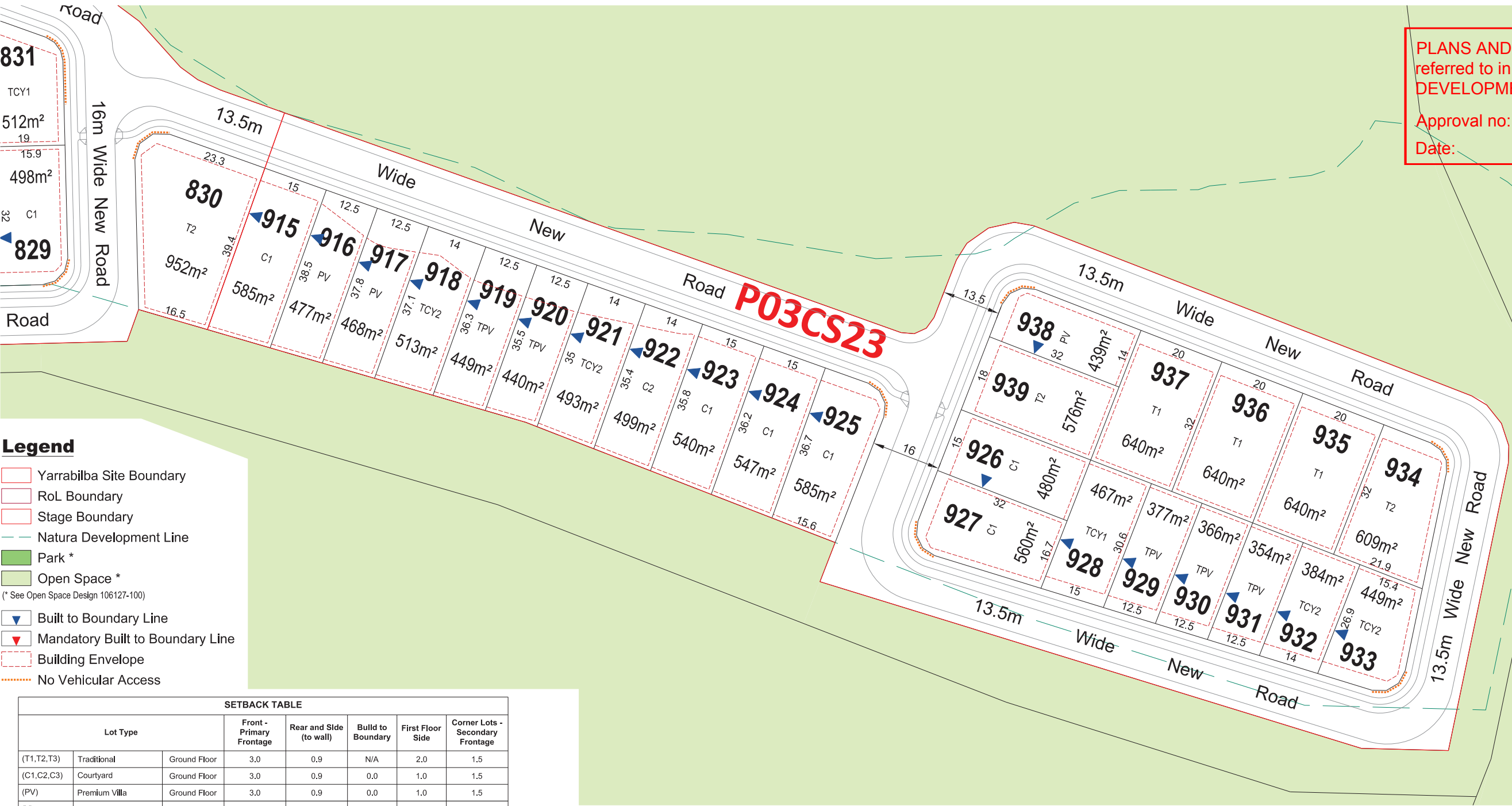
PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/821
Date: 3 April 2018



Legend

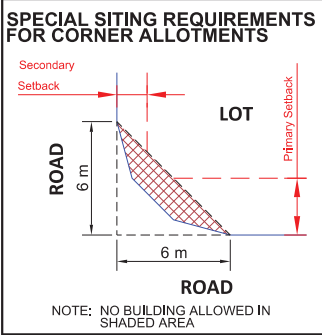
- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- (* See Open Space Design 106127-100)
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5

* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
	Fill Average							1.0
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
Rear Boundary	Earthworks							
	Fill Average							1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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RETAINING WALL HEIGHT TABLE

Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								

SETBACK TABLE

Lot Type		Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	2.0
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.0
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	1.0
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0

* Constitutes Multiple Residential Development

* Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access

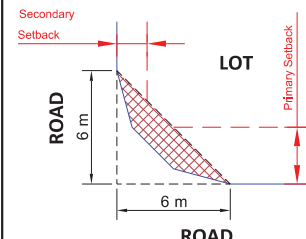
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/821
Date: 3 April 2018



THESE CRITERIA MUST BE READ IN
CONJUNCTION WITH RESIDENTIAL PLAN
OF DEVELOPMENT SHEET 25 OF 26
(106127-130) - DESIGN CRITERIA FOR
RESIDENTIAL DEVELOPMENT .

SPECIAL SITING REQUIREMENTS
FOR CORNER ALLOTMENTS



NOTE: NO BUILDING ALLOWED IN
SHADED AREA

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

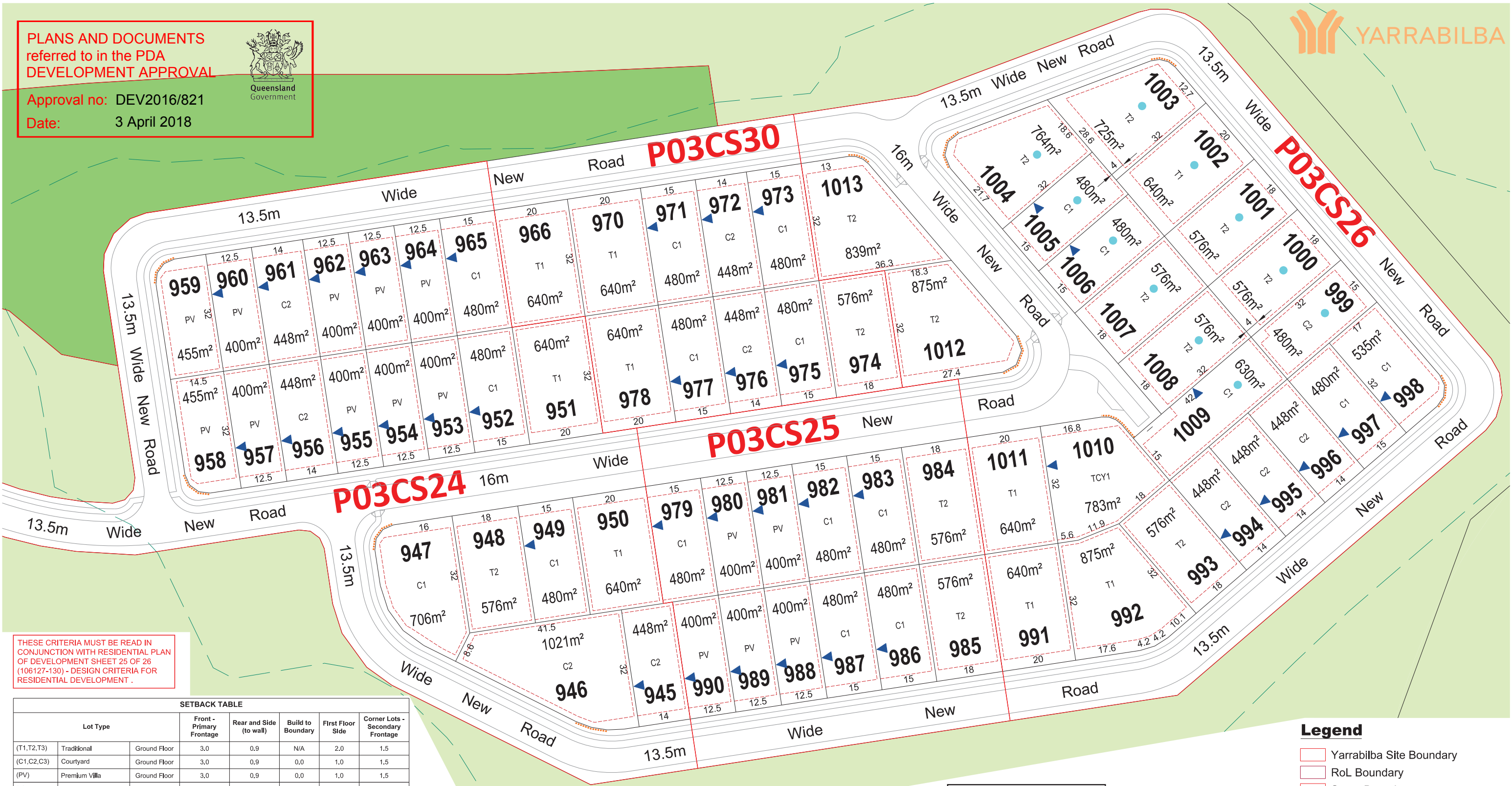
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PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2016/821

Date: 3 April 2018



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

SETBACK TABLE						
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.5

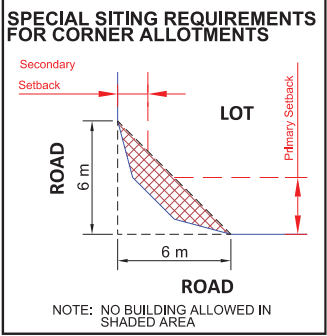
* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE							
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)
Front Boundaries	Earthworks	1.5	1.4	1.25	1.0	0.5	0.5
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5
Side Boundaries	Fill Maximum height of 1.0m	1.0	0.7	0.6	0.5	0.5	0.5
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5
Rear Boundary	Fill Maximum height of 1.0m	1.5	1.5	1.5	1.5	1.5	1.5
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification



** Denotes allotments which require slope responsive building methods. Designs must incorporate ont of the following:
- Split-level slabs to a minimum of 360mm split
- evelvated construction or
- brick up base extended a minimum of 360mm below house platform level

Legend

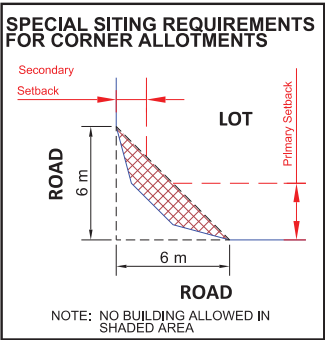
- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access
- Impacted by Slope **

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO)
RESIDENTIAL PLAN OF DEVELOPMENT

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RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premum Villa Town Premium Villa Town Cottage	Villa Town Villa Smart	Terrace MFF (Multi-Family Freehold)	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
Side Boundaries	Fill Maximum height of 1.0m							1.0
	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
Rear Boundary	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
Fill Maximum height of 1.0m								1.0
Note: Retaining walls with a height of 1.0m or more require RPEQ Certification								



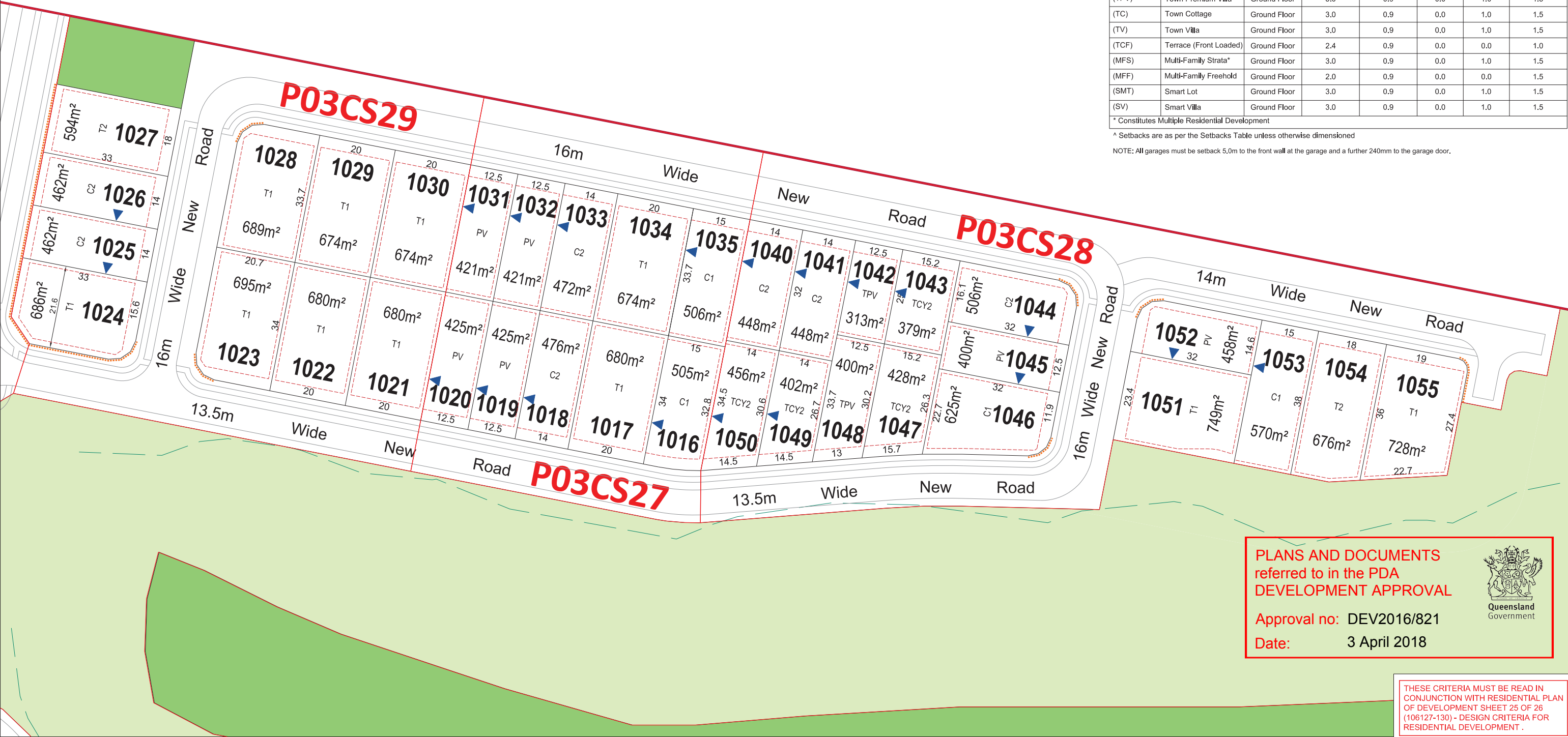
Legend

- Yarrabilba Site Boundary
- RoL Boundary
- Stage Boundary
- Natura Development Line
- Park *
- Open Space *
- (* See Open Space Design 106127-100)
- Built to Boundary Line
- Mandatory Built to Boundary Line
- Building Envelope
- No Vehicular Access



SETBACK TABLE						
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Build to Boundary	Corner Lots - Secondary Frontage
(T1,T2,T3)	Traditional	Ground Floor	3.0	0.9	N/A	1.5
(C1,C2,C3)	Courtyard	Ground Floor	3.0	0.9	0.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.5
(TCY1,TCY2)	Town Courtyard	Ground Floor	3.0	0.9	0.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.5
(MFF)	Multi-Family Freehold	Ground Floor	2.0	0.9	0.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.5

* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2016/821

Date: 3 April 2018

THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 25 OF 26 (106127-130) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT .

PRECINCT THREE – VILLAGE 3B & 3C (APPLICATION TWO) RESIDENTIAL PLAN OF DEVELOPMENT

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