

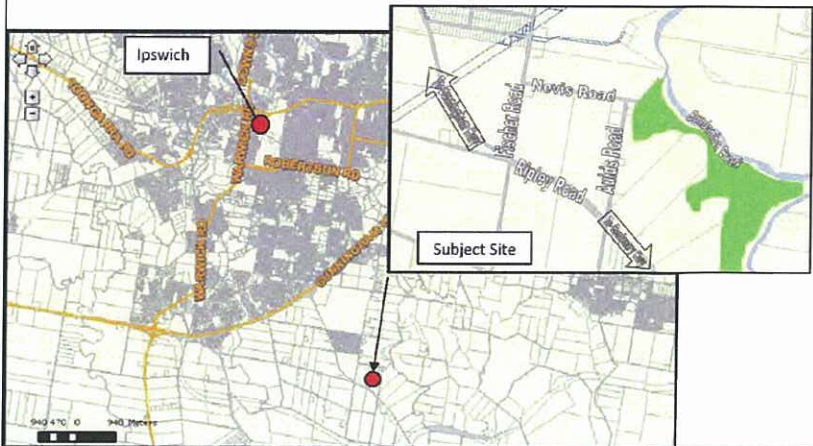
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 1/12/2012



LOT SIZES	NO. OF LOTS	RATIO
Terrace Lots	19	100

Note: Density (19 Dwellings + 2 Lofts) = 36 d/ha

LOCALITY PLAN



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.



CLIENT

SEKISUI HOUSE

PROJECT

PROPOSED RECONFIGURATION
CANCELLING PROPOSED LOT 51
(ON BRSS3649.000-146)

LOCAL AUTHORITY

URBAN LAND DEVELOPMENT AUTHORITY

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
TOTAL	19	150m	-	5763m ²

SCALE BAR

10m

0

20

40m

SCALE 1:750 @ A3



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ISO 9001:2008
FS 535063

LEVEL DATUM		AHD D
LEVEL ORIGIN		PSM44691 RL 97.207
CONTOUR INTERVAL		0.5m
COMPUTER FILE		364901F0
DRAWN	MEA	DATE 21/08/2012
CHECKED	ADR	DATE 21/08/2012
APPROVED	SRS	DATE -
PLAN NUMBER		BRSS3649.001-023
		REV B

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Notes -
General:

1. All development is to be undertaken generally in accordance with the Development Approval.
2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan or may address either frontage on corner lots.

Setbacks

4. Setbacks are as per the Site Development Table unless otherwise specified.
5. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
6. Built to boundary walls are to be in accordance with Table 1 below.
7. Boundary setbacks are measured to the outside of the wall or structure.
8. Garages and Carports served off a Laneway to be built at 0.0m setback, except if garage width is less than 3m, then setback from Laneway is to be 1.5m to enable turning circle of a motor vehicle.

Parking and Driveways:

9. Minimum off-street parking requirements: Dwellings up to and including 2 bedrooms - 1 covered space on-site per dwelling and 0.5 on-street spaces per dwelling within a reasonable distance. 3+ bedroom dwellings - 2 spaces on-site (1 must be covered and spaces can be in tandem) and 0.75 on-street spaces per dwelling within a reasonable distance.
10. Maximum of one driveway per dwelling, unless it is a corner lot. Minimum distance of a driveway from an intersection of one street with another street 6.0 metres. The minimum distance between driveways on the same lot is 3.0 metres at the boundary, except in the case of lots on lanes where driveways to additional dwellings can be combined with on street driveways to parking spaces for other dwellings on the same lot.

Private Open Space

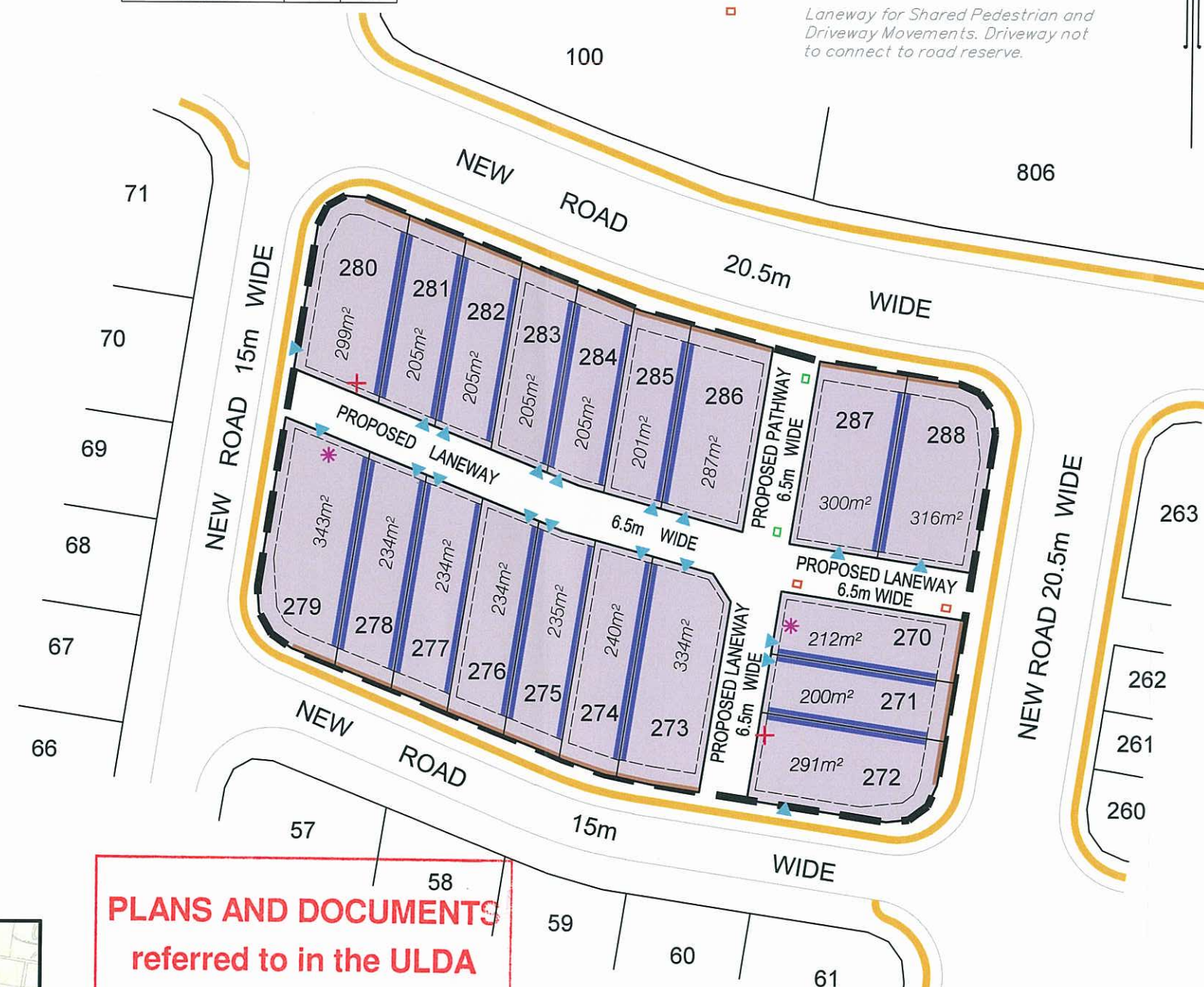
11. Studio/1-bedroom dwelling requires a minimum of 5m² with a minimum dimension of 1.2m. 2-bedroom dwelling requires a minimum 9m² with a minimum dimension of 2.4m. 3-bedroom dwelling requires a minimum 12m² with a minimum dimension of 2.4m. These Private Open Space areas must be assessable from a living area.
12. Front fences and walls, where provided include one of the following:
The solid portion of the fence or wall should be no higher than 1.2m high. If containing openings that make it more than 50% transparent, maximum fence height is 1.8m. Fencing to rear lanes can be 1.8m high and only for screening private open space areas, car parking and service areas
13. Plans show nominated Loft sites. Loft buildings do not have minimum or maximum building size. Must contain screened drying and rubbish bin areas behind the main face of the dwelling. Loft buildings must be adequately ventilated, with at least 2 openings to all habitable rooms, including internal and louvered windows to create cross ventilation.
14. Balcony and verandas can encroach up to 1m within the front boundary setback on Lots 273-286.

LOT SIZES	NO. OF LOTS/SITES	RATIO
Terrace Lots	19	100
Nominated Loft Sites	2	11

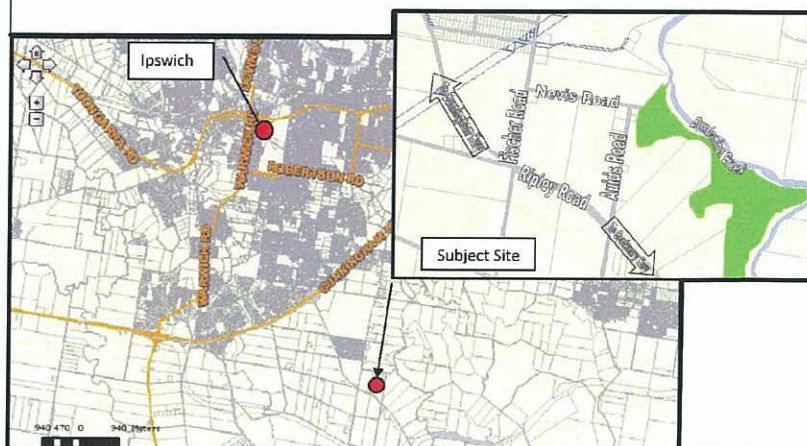
Site Development Table Setbacks	Terrace Lots Lot Size Varies	
	Ground	First
Front	2.4m	2.4m
Side	0.9m	0.9m
B-B	0.0m	0.0m
Rear	0.9m	0.9m
2nd Front	1.5m	1.5m

Legend:

- Site Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Footpath 1.2m wide
- Access Points
- Nominated Loft Sites
- Building Envelope
- Alternative Access Location for Driveway
- Pathway for Pedestrian Movements Only
- Laneway for Shared Pedestrian and Driveway Movements. Driveway not to connect to road reserve.



LOCALITY PLAN



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/12/2012

Table 1: Built-to-Boundary Wall Length and Location

	Houses					
	Lot Width <7.5 metres	Lot Width 7.5 - 9.9 metres	Lot Width 10.0 - 12.4 metres	Lot Width 12.5 - 14.9 metres	Lot Width 15.0 - 19.9 metres	Lot Width 20.0 metres+
Maximum length*	80 per cent	75 per cent	70 per cent	65 per cent	60 per cent	55 per cent

* Maximum length of built-to-boundary wall measured as percentage of lot boundary length. Buildings on lots less than 10.0 metres wide may be built to more than one boundary.

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.

CLIENT	SEKISUI HOUSE			
PROJECT	PLAN OF DEVELOPMENT CANCELLING PROPOSED LOT 51 (ON BRSS3649.000-146)			
LOCAL AUTHORITY	URBAN LAND DEVELOPMENT AUTHORITY			
NOTES	(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.			
STAGE	No. OF LOTS	NEW ROAD	AREA OF PARK	TOTAL AREA
TOTAL	19	150m	-	5763m ²
SCALE BAR	10m 0 20 40m			
SCALE 1:750 @ A3				
 LANDPARTNERS built environment consultants				
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(07) 3842 1000 (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au				
 ISO 9001:2008 FS 535063				
LEVEL DATUM	N/A			
LEVEL ORIGIN	N/A			
CONTOUR INTERVAL	N/A			
COMPUTER FILE	364901F6			
DRAWN	MEA	DATE	19/10/2012	
CHECKED	AW	DATE	19/10/2012	
APPROVED	SRS	DATE	-	
PLAN NUMBER	BRSS3649.001-022			REV C

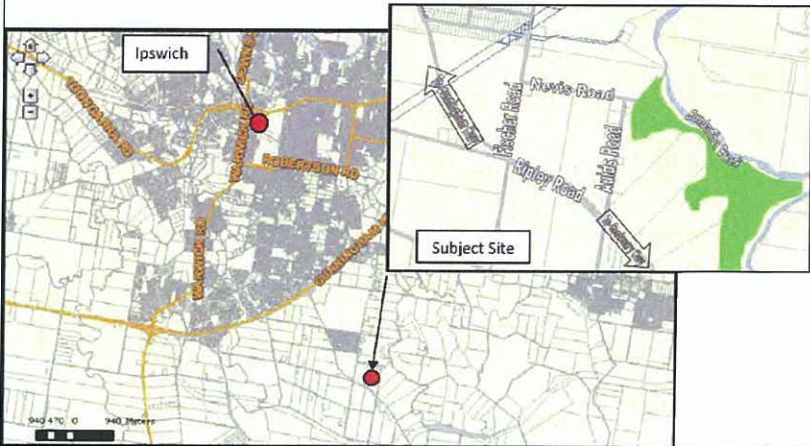
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/12/2012



LOT SIZES	NO. OF LOTS	RATIO
Terrace Lots	13	100

Note: Density (13 Dwellings + 2 Lofts) = 36 d/ha

LOCALITY PLAN



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPT. OF NATURAL RESOURCES & MINES.



CLIENT

SEKISUI HOUSE

PROJECT

PROPOSED RECONFIGURATION
CANCELLING PROPOSED
LOTS 50 & 804
(ON BRSS3649.000-146)

LOCAL AUTHORITY

URBAN LAND DEVELOPMENT AUTHORITY

NOTES

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(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	NEW ROAD	AREA OF DET. BASIN	TOTAL AREA
257-269	13			0.322ha
510	1		1.046ha	
TOTAL	14	130m	1.046ha	1.461ha

SCALE BAR
10m 0 20 50m
SCALE 1:1000 @ A3

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ISO 9001:2008
FS 535063

LEVEL DATUM	AHD D		
LEVEL ORIGIN	PSM44691 RL 97.207		
CONTOUR INTERVAL	0.5m		
COMPUTER FILE	364901F2		
DRAWN	MEA	DATE	22/08/2012
CHECKED	ADR	DATE	22/08/2012
APPROVED	SRS	DATE	-
PLAN NUMBER	BRSS3649.001-025	REV	B

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Notes - General:

1. All development is to be undertaken generally in accordance with the Development Approval.
2. The maximum height of building shall not exceed 9m.

Orientation:

3. Entries - Front doors of dwellings are generally to address the Primary Street Frontage identified in the Site Development Plan or may address either frontage on corner lots.

Setbacks

4. Setbacks are as per the Site Development Table unless otherwise specified.
5. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table
6. Built to boundary walls are to be in accordance with Table 1 below.
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8. Garages and Carports served off a Laneway to be built at 0.0m setback, except if garage width is less than 3m, then setback from Laneway is to be 1.5m to enable turning circle of a motor vehicle.

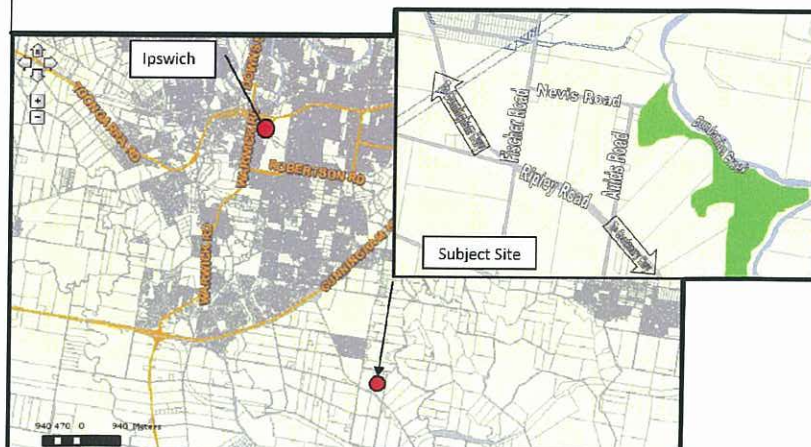
Parking and Driveways:

9. Minimum off-street parking requirements: Dwellings up to and including 2 bedrooms - 1 covered space on-site per dwelling and 0.5 on-street spaces per dwelling within a reasonable distance. 3+ bedroom dwellings - 2 spaces on-site (1 must be covered and spaces can be in tandem) and 0.75 on-street spaces per dwelling within a reasonable distance.
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Private Open Space

11. Studio/1-bedroom dwelling requires a minimum of 5m² with a minimum dimension of 1.2m. 2-bedroom dwelling requires a minimum 9m² with a minimum dimension of 2.4m. 3-bedroom dwelling requires a minimum 12m² with a minimum dimension of 2.4m. These Private Open Space areas must be assessable from a living area.
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14. Balcony and verandas can encroach up to 1m within the front boundary setback on Lots 257-259.

LOCALITY PLAN



Site Development Table Setbacks	Terrace Lots Lot Size Varies	
	Ground	First
Front	2.4m	2.4m
Side	0.9m	0.9m
B-B	0.0m	0.0m
Rear	0.9m	0.9m
2nd Front	1.5m	1.5m

LOT SIZES	NO. OF LOTS/SITES	RATIO
Terrace Lots	13	100
Nominated Loft Sites	2	15

Legend:

- Site Boundary
- Built to Boundary Wall (Non Mandatory)
- Primary Frontage
- Footpath 1.2m wide
- Access Points
- Nominated Loft Sites
- Building Envelope
- Alternative Access Location for Driveway
- Pathway for Pedestrian Movements Only



Table 1: Built-to-Boundary Wall Length and Location

	Houses					
	Lot Width <7.5 metres	Lot Width 7.5 - 9.9 metres	Lot Width 10.0 - 12.4 metres	Lot Width 12.5 - 14.9 metres	Lot Width 15.0 - 19.9 metres	Lot Width 20.0 metres+
Maximum length*	80 per cent	75 per cent	70 per cent	65 per cent	60 per cent	55 per cent

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CLIENT	SEKISUI HOUSE			
PROJECT	PLAN OF DEVELOPMENT CANCELLING PROPOSED LOTS 50 & 804 (ON BRSS3649.000-146)			
LOCAL AUTHORITY	URBAN LAND DEVELOPMENT AUTHORITY			
NOTES	(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to URBAN LAND DEVELOPMENT AUTHORITY for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Limited accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof. (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration. (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary. (iv) This plan may not be copied unless these notes are included.			
LOTS	No. OF LOTS	NEW ROAD	AREA OF DET. BASIN	TOTAL AREA
257-269	13			0.322ha
510	1		1.046ha	
TOTAL	14	130m	1.046ha	1.461ha
SCALE BAR	10m 0 20 50m			
SCALE 1:1000 @ A3				
 LANDPARTNERS built environment consultants				
Brisbane Office 13 Railway Terrace Milton QLD 4064 PO Box 3916 South Brisbane BC QLD 4101		t (07) 3842 1000 f (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.au		
		 ISO 9001:2008 FS 535063		
LEVEL DATUM	N/A			
LEVEL ORIGIN	N/A			
CONTOUR INTERVAL	N/A			
COMPUTER FILE	364901F5			
DRAWN	MEA	DATE	19/10/2012	
CHECKED	AW	DATE	19/10/2012	
APPROVED	SRS	DATE		
PLAN NUMBER	BRSS3649.001-024			REV C

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/12/2012

SITE PLAN – COMBINED LOTS 50 & 51

PARK

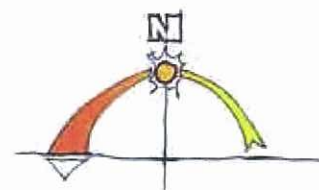
LOT 51

LOT 50



NOTE: All buildings
are indicative only.

Not to scale



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/12/2012

LOT 50

NOTE: All buildings
are indicative only.

Not to scale



DC8STUDIO

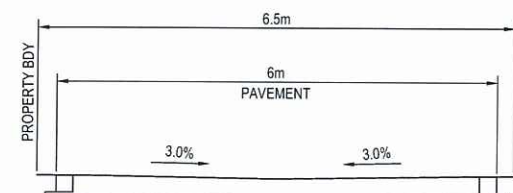
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14 Moore Street
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www.dc8studio.com
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ABN 68146150215



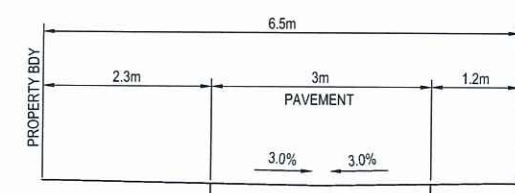
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PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/12/2022

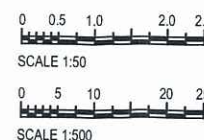
LEGEND	
EXISTING	PROPOSED
— 5.00 —	PROPERTY BOUNDARY
— — —	MAJOR CONTOUR
— — —	MINOR CONTOUR
— — —	CONCRETE
— — —	KERB AND CHANNEL
— — —	FLUSH KERB ONLY
— — —	LANEWAY
— — —	DRIVEWAY
— — —	DRIVEWAY CROSSOVER
— — —	PEDESTRIAN PATH



LANEWAY
SCALE 1 : 50



DRIVEWAY
SCALE 1 : 50



ISSUE	DATE	DESCRIPTION	BY	APP	DATE
B	23.08.12	LOT BOUNDARIES AMENDED	MKP	DP	CHD:
A	07.08.12	ISSUE FOR REVIEW	MKP	DP	APPRD:
		AMENDMENT			

SCALES:	AS SHOWN
DESIGN:	MKP
DRAWN:	MKP
CREATED:	07.08.12

SEKISUI HOUSE
RIPLEY VALLEY
IPSWICH
LOTS 50 AND 51 DA
ROADWORKS LAYOUT PLAN

MPN Consulting Pty Ltd
ABN: 39 062 191 799
39 Sherwood Road, Toowoomba, Qld, 4066
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F: 61 7 3371 3156
E: solutions@mpn.net.au

6294
DA02
B



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/12/2012

LEGEND		
EXISTING		PROPOSED
—	PROPERTY BOUNDARY	—
—	MAJOR CONTOUR	—
—	MINOR CONTOUR	—
—	CONCRETE	—
—	KERB AND CHANNEL	—
—	SEWER MAIN	—
—	SEWER MANHOLE	—
—	PROPERTY CONNECTION	—

0 5 10 20 25
SCALE 1:500

ISSUE	DATE	AMENDMENT	BY	APP	DATE
B	23.08.12	LOT BOUNDARIES AMENDED	MKP	DP	CHND:
A	07.08.12	ISSUE FOR REVIEW	MKP	DP	APPRD:

SCALES:	AS SHOWN
DESIGN:	MKP
DRAWN:	MKP
CREATED:	07.08.12

 **SEKISUI HOUSE**
RIPLEY VALLEY
IPSWICH
LOTS 50 AND 51 DA
SEWERAGE LAYOUT PLAN

 **MPN Consulting Pty Ltd**
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E: solutions@mpn.net.au
6294
DRAWING No. **DA05** ISSUED **B**



PLANS AND DOCUMENTS
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APPROVAL dated 7/12/2012

EXISTING	LEGEND	PROPOSED
	PROPERTY BOUNDARY	
	CONCRETE	
	KERB AND CHANNEL	
	FLUSH KERB ONLY	
	STORM WATER MAIN	
	STORM WATER MANHOLE	
	STORM WATER GULLY PIT	
	OVERLAND FLOW	

0 5 10 20 25
SCALE 1:500

B	23.08.12	LOT BOUNDARIES AMENDED	MKP	DP	CHD:
A	07.08.12	ISSUE FOR REVIEW	MKP	DP	APPR:
ISSUE	DATE	AMENDMENT	BY	APP	DATE:

SCALES:	AS SHOWN
DESIGN:	MKP
DRAWN:	MKP
CREATED:	07.08.12

SEKISUI HOUSE
RIPLEY VALLEY
IPSWICH
LOTS 50 AND 51 DA
STORMWATER LAYOUT PLAN

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39 Sherwood Road, Toowoomba, Qld, 4006
P: 01 7 3371 6077
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mpn consulting

mpn JOB
6294
DRAWING No. **DA04** ISSUED **B**

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