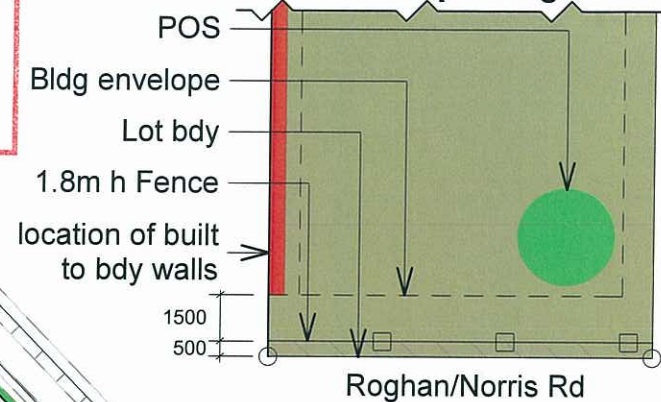


PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

Landscape Diagram



Legend

- Nominal 20m wide lots (12)
- Nominal 14m wide lots (20)
- Nominal 12.5m wide lots (33)
- Nominal 10m wide lots (14)
- Total Number of lots (79)
- * Dble Garages May be Permitted
- Ground Floor Building Envelope
- 1m / 2m Setback Variations to Standard Controls
- Indicative Position of Covered Car/s
- Recommended Position for Driveway
- Indicative Pedestrian Entry
- Indicative 1st Flr Private Open Space
- Indicative Gnd Flr Private Open Space
- Location for Built-to-Bdy Walls
- Primary Frontage
- No Vehicle Access
- No On-street Parking Permitted to Narrow St
- Stormwater Easement
- 0.5m Wide Street Front Landscaping (within private property)
- 1.8m h Fencing (set back 0.5m from Norris & Roghan Rd's and within private property)

Development Controls

General:

- All development is to be undertaken in accordance with the Development Approval.
- Building height is a maximum of 3 storeys.
- Dimensions have been rounded to the nearest 0.1m.
- Areas have been rounded to the nearest 5m².
- This Plan of Development (POD) is subject to relevant consultant input and review, including, but not limited to: landscape, traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

Building Siting:

- Building setbacks are measured to the wall or column, with the exception of setbacks to Norris and Roghan Roads noted separately.
- Eaves shall not encroach within 0.45m of any boundary.
- Open Structures (refer definition) may extend to the boundary, except in the case of Norris and Roghan Roads noted separately.
- Setbacks to Norris and Roghan Roads are to be measured to the outermost projection (including to Open Structures), and are to be 2m from the Norris and Roghan Road boundaries.
- The minimum Primary Frontage Street setback (including the Narrow Street) shall be 3m, or as otherwise noted on this POD as "Setback Variations to Standard Controls", excluding garage/carport and Open Structures noted separately.
- The minimum Secondary Street setbacks shall be 2m, or as otherwise noted on this POD as "Setback Variations to Standard Controls", excluding garage/carport and Open Structures noted separately.
- The minimum Street or Narrow Street setback to the garage/carport shall be 4.5m, with the exception of lots 4042 and 4045, where the setback shall be 13.5m.
- Side and rear boundary setbacks shall be 0.9m minimum for construction up to 4.5m above ground level and 1.5m for construction over 4.5m, except in the case of built-to-boundary walls.
- Built-to-boundary walls of a height greater than 4.5m shall not extend closer to a Street or Narrow Street than 3m.
- Built-to-boundary walls are mandatory for Nominal 10m wide lots (one per lot minimum) and optional for other situations where a built-to-boundary wall has been indicated on the POD.
- Built-to-boundary walls, where adopted, shall be constructed where indicated on this POD and shall have a minimum length of 7m, a maximum continuous length of 15m and a maximum height of 7.5m.
- Bins, air conditioners, clothes lines and similar equipment shall not be positioned between the dwelling and a Street or Narrow Street.
- All facades fronting a Street or Narrow Street Boundary (including Roghan and Norris Roads) shall be articulated with a combination of staggered walls, multiple roof planes and Open Structures (refer definition).

Parking:

- Minimum off-street parking requirements:
 - Studio: 1 space per dwelling
 - 1 and 2 Bedroom: 1 space per dwelling
 - 3 or more Bedrooms: 2 spaces per dwelling (which may be in tandem)
 - At least one space per dwelling shall be covered.
- Parking spaces on driveways do not have to comply with AS2890, but shall be 4.5m long with 2.7m clear width.
- Double garages shall not be permitted for dwellings on lots with a vehicle access frontage of less than 12.5m, except as otherwise indicated on this POD, such as for lots of a tapered configuration or where double garages may be permitted by the POD legend. Where double garages may be permitted, they shall comply with the current Building Guidelines applicable to the lot, and are only permitted at the discretion of the assessor of the Building Guidelines. *Annexure A included in the Decision Notice dated 27.11.12.*
- No on-street parking is permitted on the Narrow Street.

Site Cover and Private Open Space (POS):

- The maximum site cover shall be 60% for all lots over 400m² in area and 75% for all other lots.
- Private amenity space accessible from a living area on the ground floor shall be provided and shall not be less than 15m² for lots greater than 400m² with a minimum dimension of 2.4metres, and not less than 9m² for lots of 400m² or less, with a minimum dimension of 1.5m, except as noted in Item 25 below.
- Private amenity space for dwellings with living areas located above ground shall be provided in the form of a balcony directly accessible from that living area with an area of at least 5m² and minimum dimension of 1.2m.
- Private Open Space shall generally be provided in the locations and on the storeys shown on this POD.

Fencing:

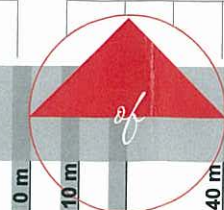
- Fencing on all frontages to Streets, Narrow Streets and Open Space shall be 1.5m high maximum and 50% transparent (including sections of solid vs. transparent), or 1.2m and solid, except for Norris and Roghan Roads noted separately in Item 28 below.
- Fencing to Norris and Roghan Roads shall be 1.8m, composed of solid fencing to 1.2m and solid or transparent fencing above and setback 0.5m (following the configuration shown on the POD) from the Norris or Roghan Road boundary, with landscape planting of a low maintenance species provided between this fence and the street boundary.

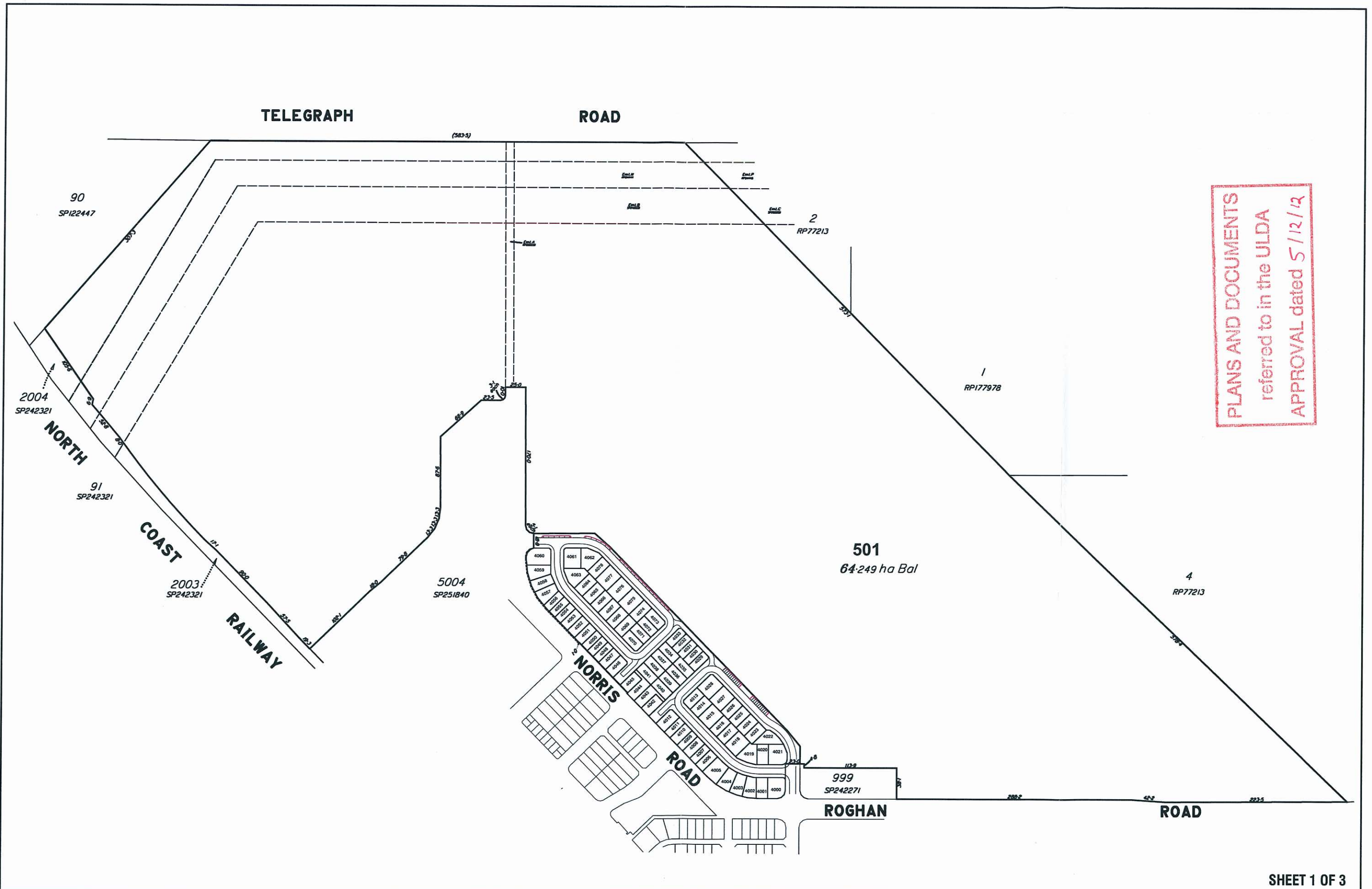
Special Requirements for Narrow Street Lots:

- For any Narrow Street lots with a cut-out of the site making provision for the installation of a power supply pillar, the following conditions shall be met:
 - Unrestricted access shall be provided to the front and two sides of each and every service pillar site (1.3m x 1.3m typical)
 - Balustrades or fences shall be permitted to the sides of the pillar sites if they are constructed entirely outside of the pillar site (including foundations), are of light-weight construction and are easily removable.
 - The surface of the pillar site shall be finished entirely with turf, avoiding the use of pavers or other finishes.

Definitions:

Narrow Street: A narrow public road (6.5m) of limited extent that provides access to dwellings.
Open Space: A park, bushland area or other public space.
Open Structures: Balconies, hoods, porticoes, verandahs, etc. that are visually permeable at the ground level.
Street: A public road (generally 15m or more) that provides vehicle access and services to dwellings and Open Spaces.





PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

SHEET 1 OF 3



Scale 1:3000 @ A2 - Lengths are in Metres.

50 0 50 100 150 200 250

TABLE OF DEVELOPMENT	
GROSS AREA OF SUBJECT LAND.....	68.66 ha
AREA OF PROPOSED PARK AND OPEN SPACE.....	(INCLUDING DRAINAGE RESERVE)
AREA OF NEW ROAD.....	1.5 ha
LENGTH OF NEW ROAD.....	1010 m
NET AREA OF SUBDIVISION.....	4.399 ha
(EXCLUDING NEW ROAD, PARK & OPEN SPACE)	
NUMBER OF PROPOSED LOTS.....	79
NUMBER OF EXISTING LOTS.....	1

NOTES

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2. DESIGN SUBJECT TO LOCAL AUTHORITY APPROVAL & DETAILED ENGINEERING REQUIREMENTS. AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY.

3. INDICATIVE ROAD PAVEMENT DESIGN. SUBJECT TO BIPODS AND ENGINEERING REVIEW.

Client : URBAN LAND DEVELOPMENT AUTHORITY	
R.P. Description	Lot 5010 ON SP246550
Parish	NUNDAH
County	STANLEY
Date Drawn	27-08-2012

PLAN OF RECONFIGURATION
AREA F
LOTS 4000 - 4078 AND 510

ROGHAN ROAD,
FITZGIBBON

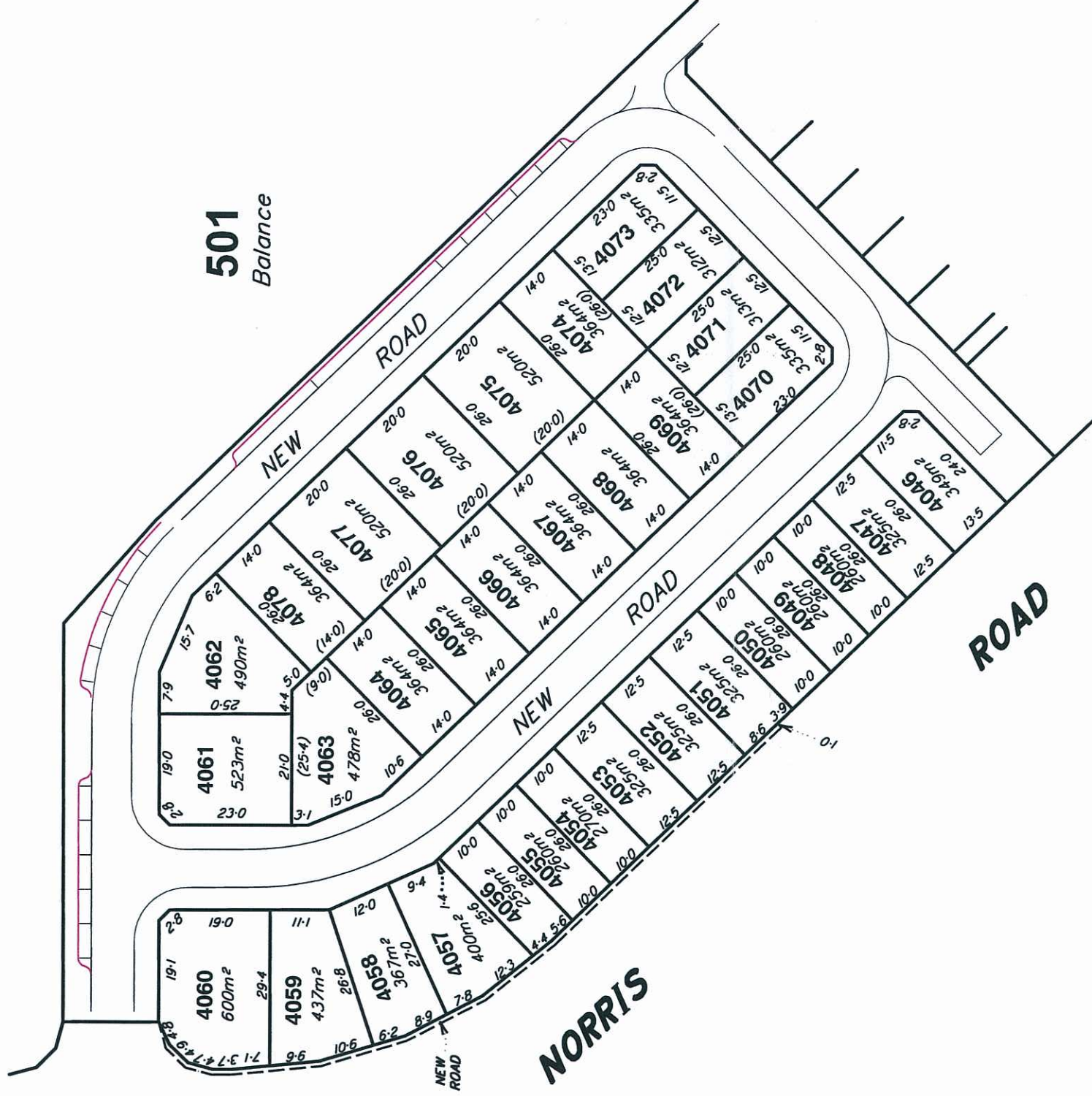


LICENSED SURVEYORS ■ TOWN PLANNERS
■ DEVELOPMENT CONSULTANTS

SUITE 1
30 FLORENCE ST.
NEWSTEAD
P.O. Box 436
NEW FARM
QLD 4005

(07) 36665200
(07) 36665202
E: surveying@wolterconsulting.com.au
E: wolterconsulting.com.au

Reference Number: PL1336/F-06-C



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

Scale 1:1000 @ A3 - Lengths are in Metres.

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Client:	
URBAN LAND DEVELOPMENT AUTHORITY	LOT 5010 ON SP246550
R.P. Description	NUNDAH
Parish	STANLEY
County	27-08-2012
Date Drawn	

PLAN OF RECONFIGURATION
AREA F
LOTS 4000 - 4078 AND 510
ROGHAN ROAD,
FITZGIBBON



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consulting group

LICENSED SURVEYORS ■ TOWN PLANNERS
■ DEVELOPMENT CONSULTANTS

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F surveying@wolterconsulting.com.au
E surveying@wolterconsulting.com.au

Reference Number: PL1336/F-06-C

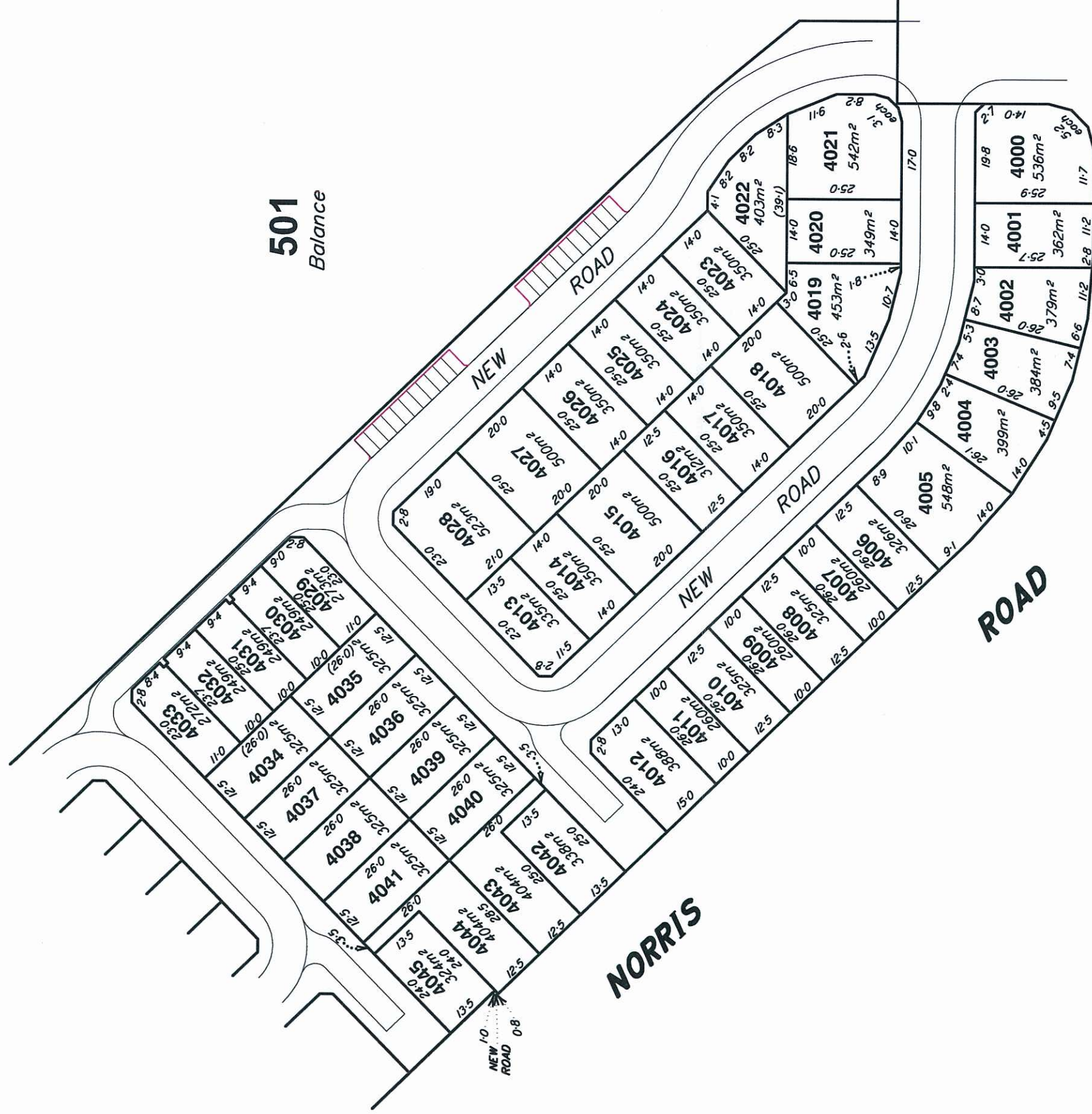
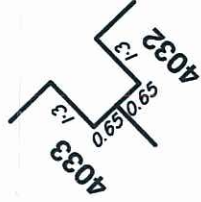


DIAGRAM
NOT TO SCALE



Scale 1:1000 @ A3 - Lengths are in Metres.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

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Client :	
URBAN LAND DEVELOPMENT AUTHORITY	LOT 5010
R.P. Description	ON SP246550
Parish	NUNDAH
County	STANLEY
Date Drawn	27-08-2012

PLAN OF RECONFIGURATION
AREA F
LOTS 4000 - 4078 AND 510

ROGHAN ROAD,
FITZGIBBON



WOLTER
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■ LICENSED SURVEYORS ■ TOWN PLANNERS
■ DEVELOPMENT CONSULTANTS

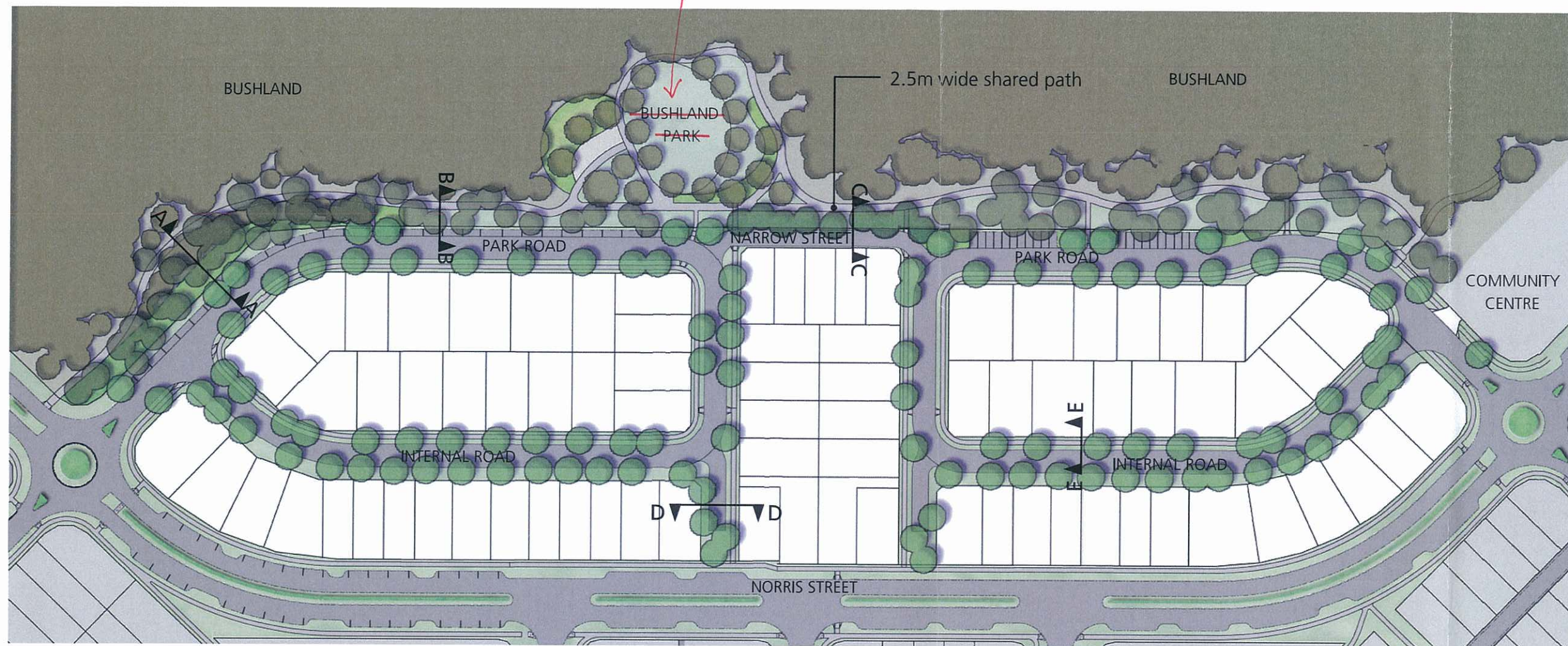
SUITE 1
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NEWSTEAD
P.O. Box 436
NEW FARM
QLD 4005

(07) 36665200
F (07) 36665202
E surveying@wolverconsulting.com.au

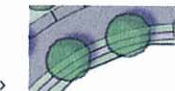
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Amended in Red
28.11.12
17

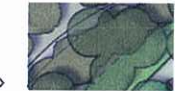
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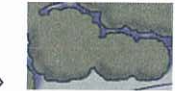
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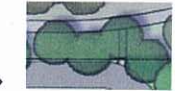
INFORMAL STREET
TREE PLANTING



BUSHLAND TREE
REVEGETATION



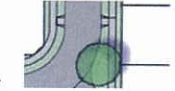
RETAINED
BUSHLAND TREES



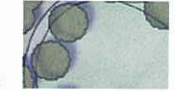
FIRE RETARDANT
TREES



MASS PLANTED
GROUNDCOVER



1.5M WIDE
FOOTPATH



TURF

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

LANDSCAPE STRATEGY PLAN

ECOLOGICAL LINKS

There is no ecological connection through Area F. However, a minimum of 50% of all species selected will be native in Area F streets. Planting to the edge of Area F and in the bushland conservation area will be 100% native species. Species selections are derived from regional ecosystem descriptions (RE 12.3.6 and 12.5.2) and Brisbane City Council street tree species lists. Species selection will comply with the requirements of the Bushfire Management Plan for the site (ie. fire retardant species are to be selected where in close proximity to residential lots).

PARK ROAD EAST AND WEST

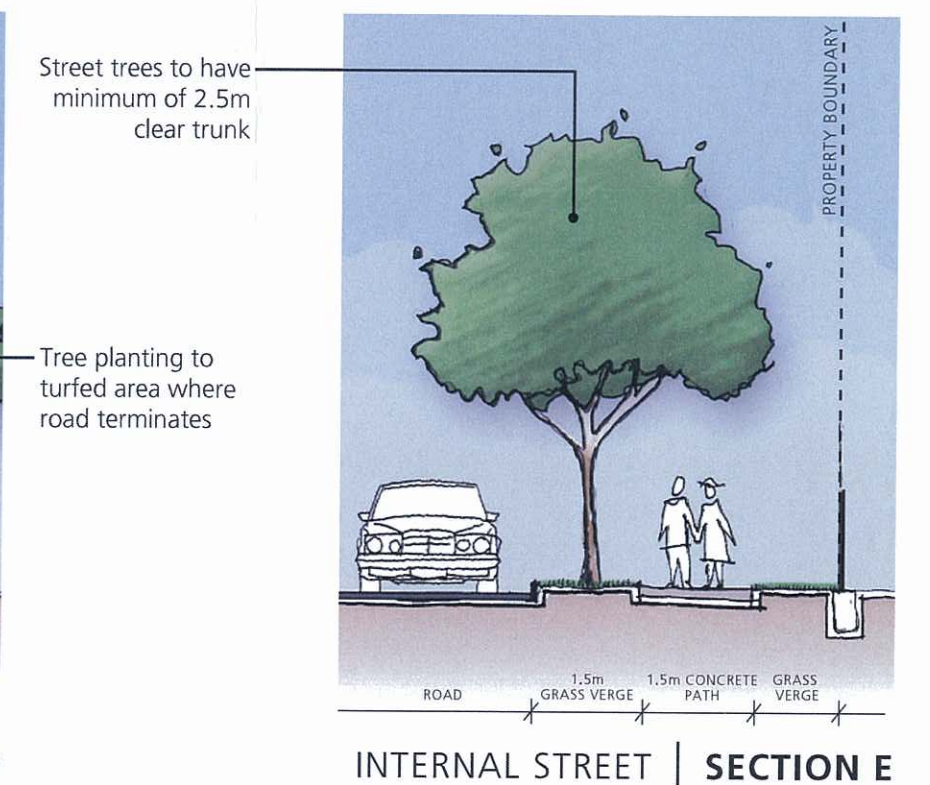
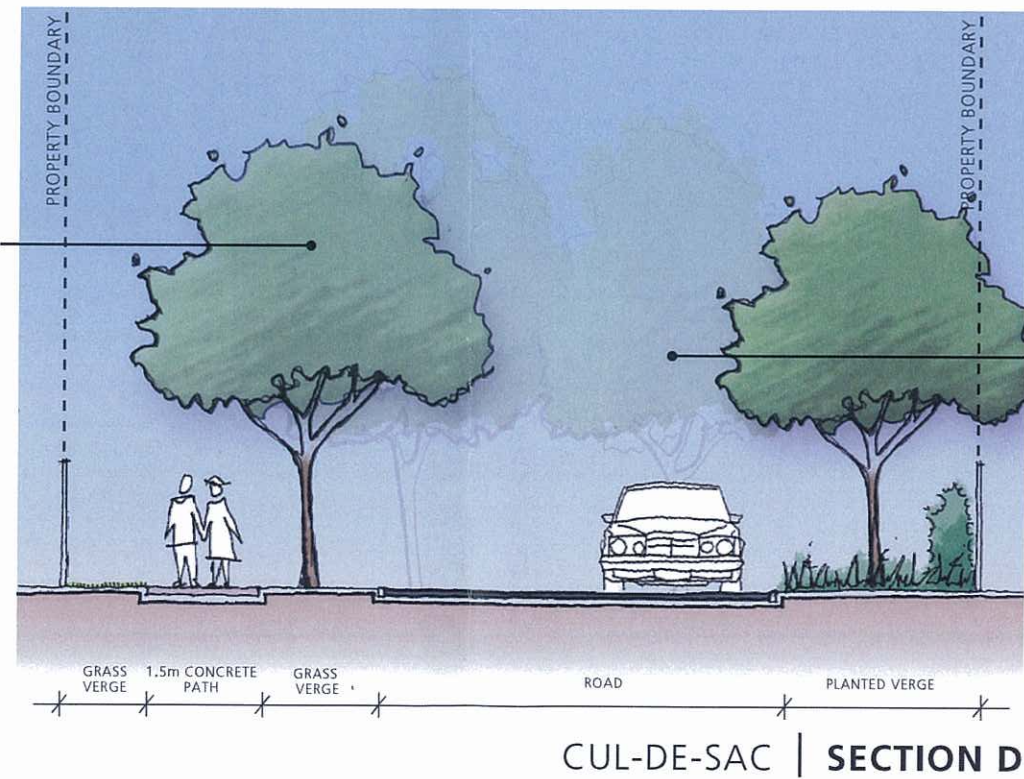
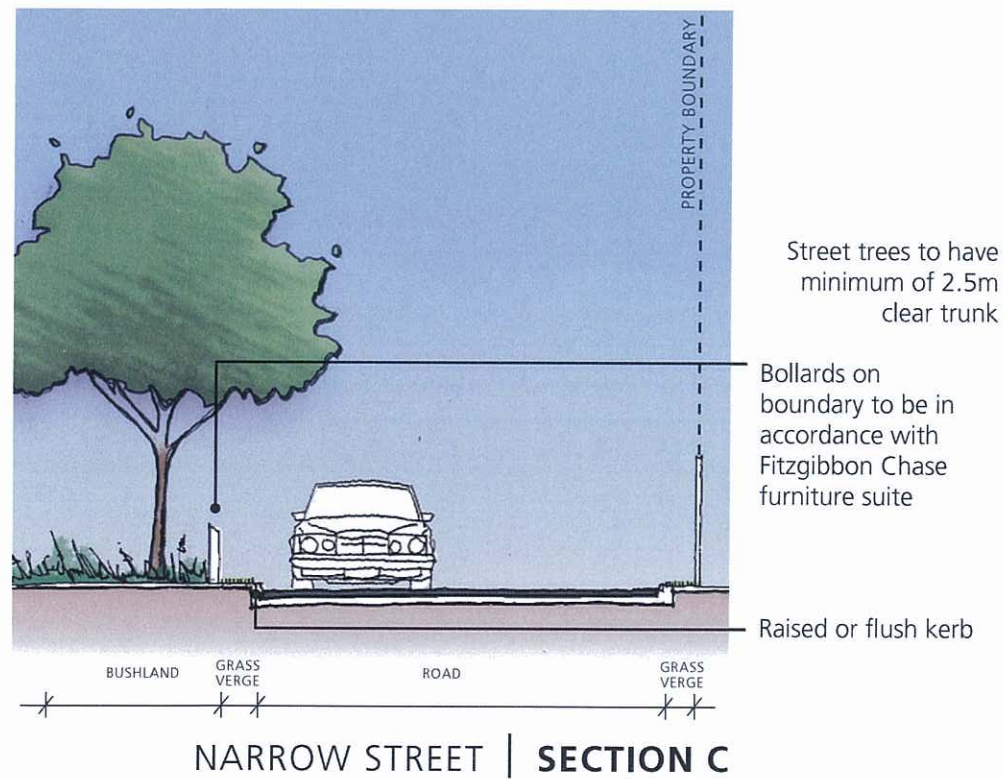
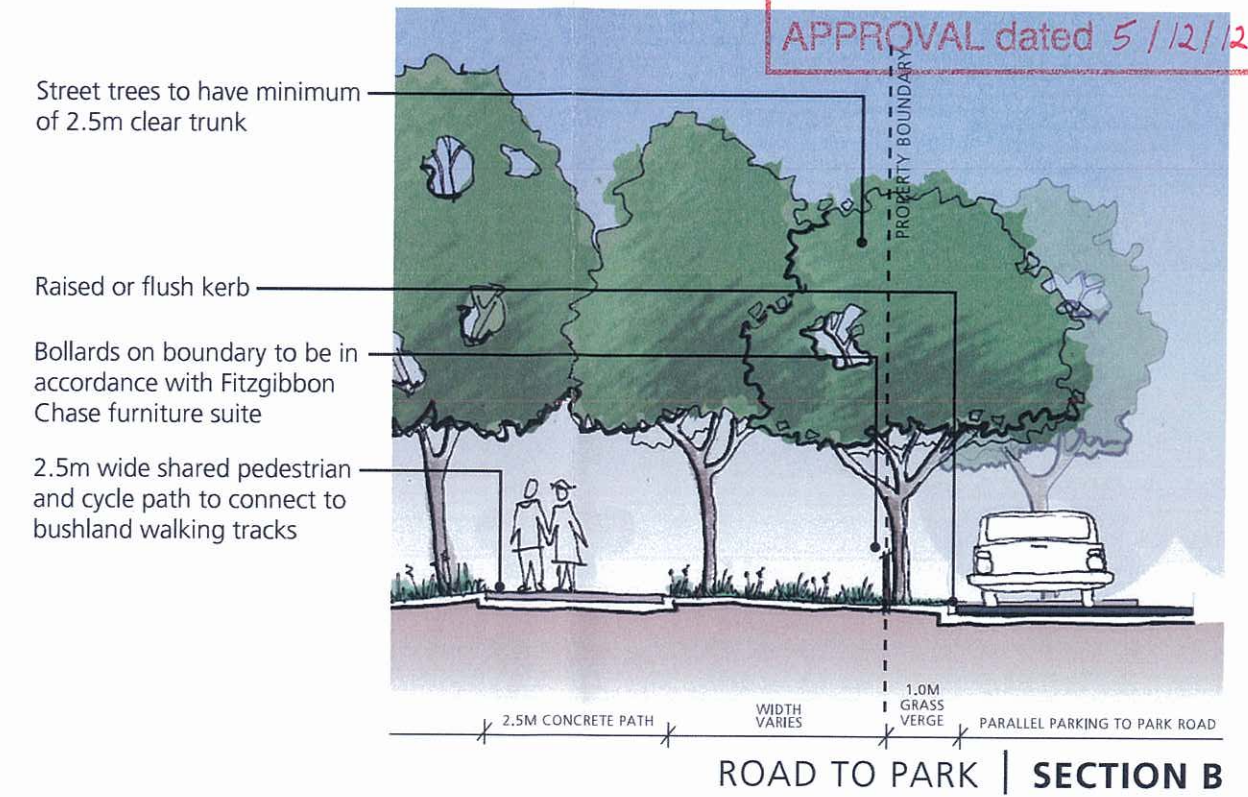
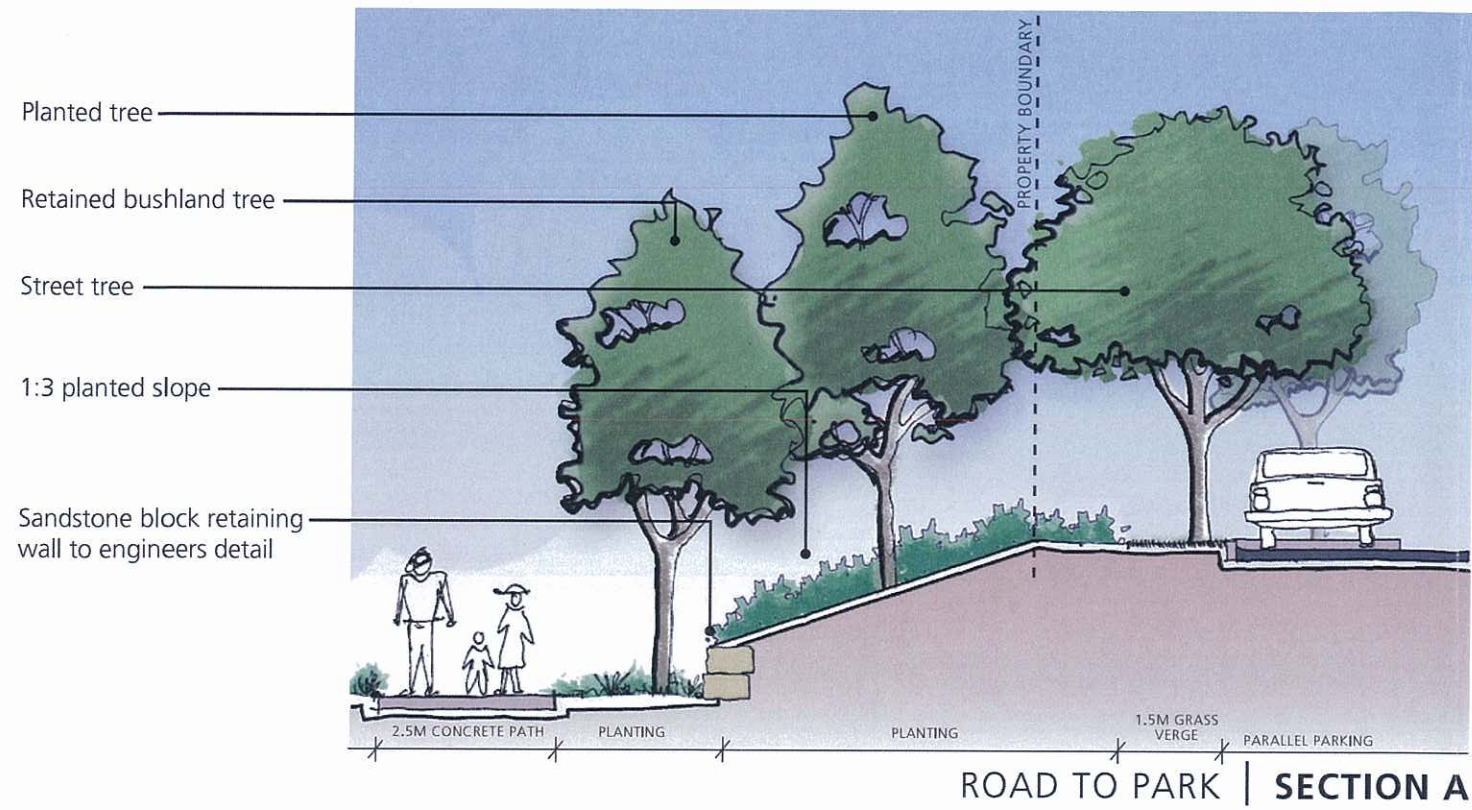
The streetscape character will be formal on the residential side, with kerb and channel and 1.5m wide concrete footpath, grass verge and street trees. The street edge facing the bushland conservation area will be informal with indented parking, upright or flush kerbs, bollards and planted bio-pods. Concrete footpaths will connect to a meandering 2.5m wide recreation track in the bushland area. Street tree planting on both sides of the street will be informal with mixed species and spaced at a minimum of one tree per lot generally as shown on plan. A footpath to the back of lots will provide pedestrian access between the east and west ends of Park Road.

INTERNAL STREETS

Footpaths will be 1.5m wide on one side of the street only. Street tree planting will be informal with mixed species and spaced at a minimum of one tree per lot generally as shown on plan. The verge space between the internal road and Norris Street will be turf, with street trees and bollards to prevent vehicle access between the two streets.

RECREATION PARK

Park Road will provide parking to a picnic and recreation area to be developed on an existing grassy clearing at a high point in the Bushland and will also provide access to the Bushland tracks. Refer to Bushland Recreation DA package dated 8 April 2011 for more detail on the recreation park.



0 1 2 3 4 5m / 1:100 @ A3

TYPICAL PLANT SCHEDULE

Botanical name	Common name
STREET TREES	
<i>Alphitonia excelsa</i>	Red Ash
<i>Callistemon viminalis</i>	Weeping Bottlebrush
<i>Corymbia intermedia</i>	Pink Bloodwood
<i>Cupaniopsis anacardioides</i>	Tuckeroo
<i>Elaeocarpus eumundii</i>	Smooth-leaved quandong
<i>Elaeocarpus obovatus</i>	Hard Quandong
<i>Eucalyptus tereticornis</i>	Forest Red Gum
<i>Eucalyptus siderophloia</i>	Grey Ironbark
<i>Evodiella muelleri</i>	Pink Euodia
<i>Lophostemon confertus</i>	Queensland Brush Box
<i>Lophostemon suaveolens</i>	Swamp Brush Box
<i>Melaleuca quinquenervia</i>	Broad Leaved Paperbark
<i>Waterhousia floribunda</i>	Weeping Lilly Pilly



Corymbia intermedia



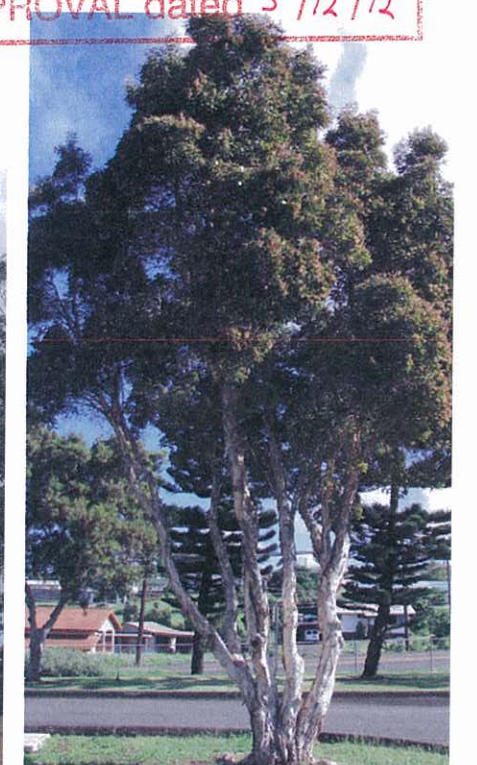
Alphitonia excelsa



Elaeocarpus eumundii



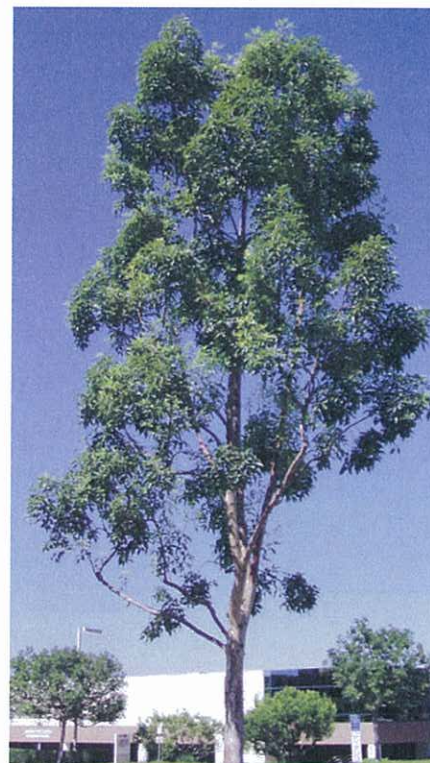
Eucalyptus tereticornis



Melaleuca quinquenervia

GROUNDCOVERS	
<i>Brachyscome microcarpa</i>	Blue Daisy
<i>Dianella caerulea</i>	Blue Flax Lily
<i>Dianella longifolia</i>	Blue Flax Lily
<i>Dietes bicolor</i>	Yellow Iris
<i>Dietes grandiflora</i>	Yellow Iris
<i>Hardenbergia violaceae</i>	Sarsaparilla Vine
<i>Hibbertia scandens</i>	Golden Guinea Vine
<i>Liriope muscari</i>	Lily Turf
<i>Myoporum ellipticum</i>	Boobialla

BIPODS	
<i>Carex appressa</i>	Tall Sedge
<i>Crinum pedunculatum</i>	Swamp Lily
<i>Isolepis nodosa</i>	Knobby Club-rush
<i>Lomandra hystrix</i>	Mat Rush
<i>Hymenocallis littoralis</i>	Beach Spider Lily



Lophostemon confertus



Waterhousia floribunda



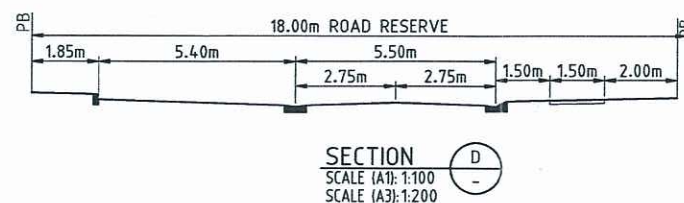
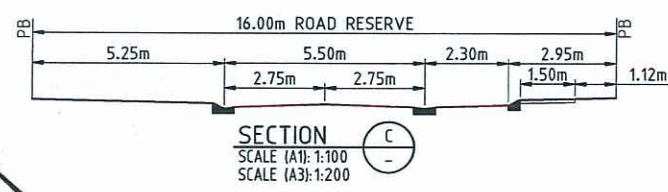
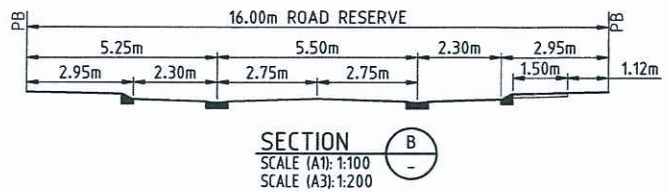
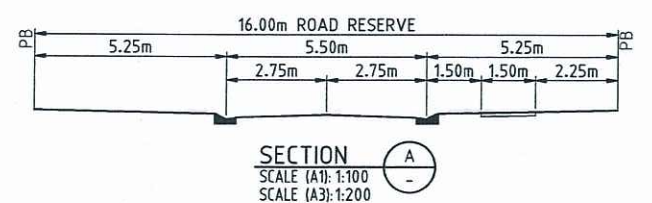
Callistemon viminalis



Liriope muscari



Carex appressa



LEGEND

- STAGE BOUNDARY
- ROAD CENTRELINE
- MOUNTABLE KERB AND CHANNEL TYPE 'D'
- BARRIER KERB AND CHANNEL TYPE 'E200'
- MOUNTABLE KERB ONLY TYPE 'D'
- BARRIER KERB ONLY TYPE 'E200'
- INVERT KERB
- 1.50m CONCRETE FOOTPATH
- CONCRETE DRIVEWAY
- DRIVEWAY LOCATION
- ROAD THRESHOLD
- PARKING BAY
- CARPARKING PROVISION (INDICATIVE)

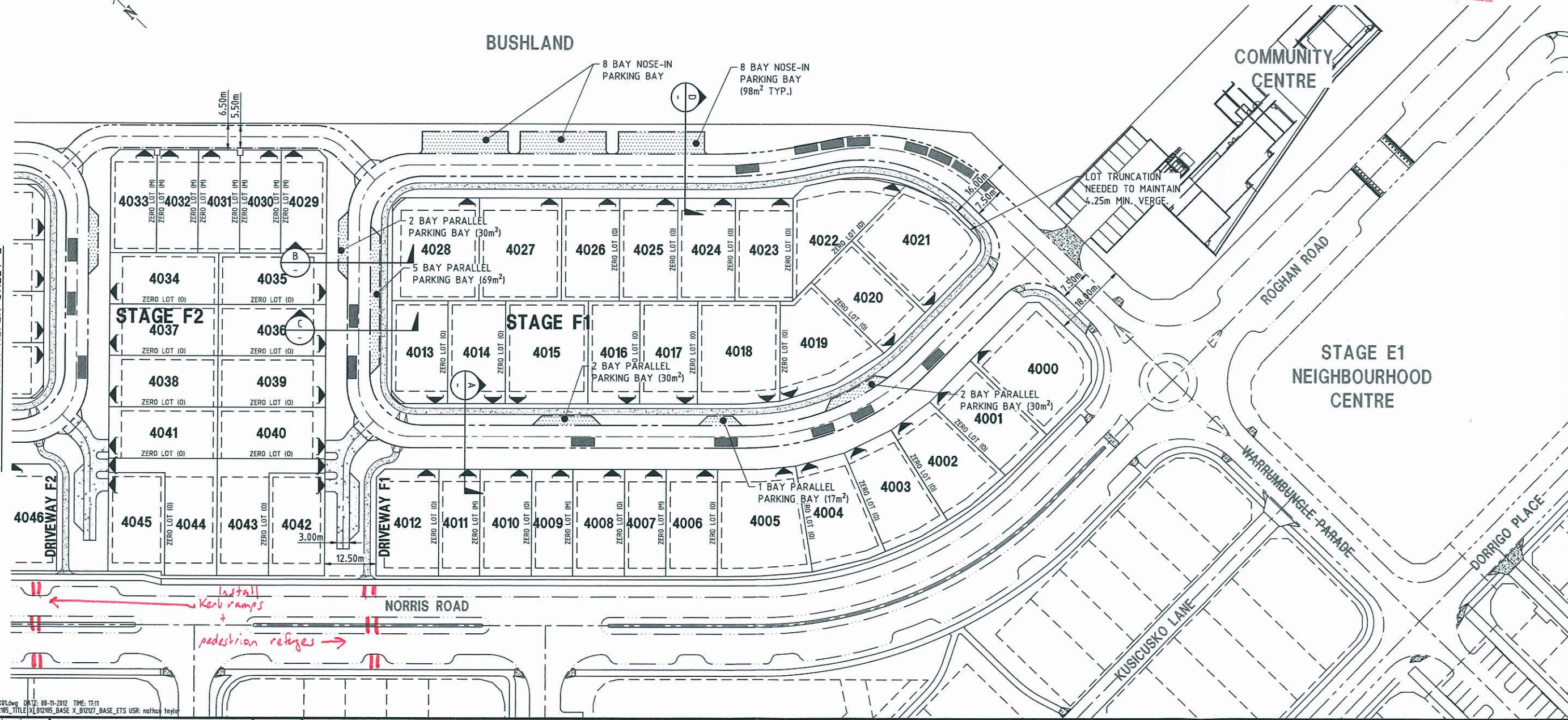
CARPARKING REQUIREMENTS STAGE F1

LOTS	BCC	ULDA	ACHIEVED
38	19	29	53

Amended in Red
27.11.12
by M

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

FOR CONTINUATION REFER SHEET 2

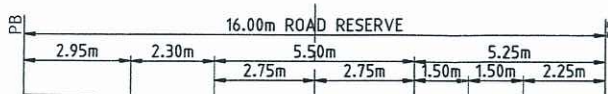


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User: X:\B12185_BASE_X\B12185_BASE_ETS_USR: nathan.taylor

REVISIONS 1. Issue 2. Issue 3. Issue 4. Issue 5. Issue 6. Issue 7. Issue 8. Issue 9. Issue 10. Issue	AMENDMENT DETAILS 1. Issue 2. Issue 3. Issue 4. Issue 5. Issue 6. Issue 7. Issue 8. Issue 9. Issue 10. Issue	DESIGN CHECK 1. Issue 2. Issue 3. Issue 4. Issue 5. Issue 6. Issue 7. Issue 8. Issue 9. Issue 10. Issue	SCALE (METRES) 1:500 1:1000 0 5 10 20 A1 A3	PROJECT No. B12185	SURVEYOR: LAND PARTNERS LIMITED 13 Railway Terrace, Milton QLD 4064 Ph (07) 3842 1000 Fax (07) 3842 1001 APPROVED ANDREW McPHAIL RPEQ 6921 JEFF GRIFFITHS RPEQ 416 BRENT THOMAS RPEQ 7862 FOR & ON BEHALF OF BROWN CONSULTING (QLD) PTY LTD	CLIENT URBAN LAND DEVELOPMENT AUTHORITY PROJECT FITZGIBBON CHASE AREA F ROGHAN ROAD, FITZGIBBON	BROWN Smart Consulting Brown Consulting (Qld) Pty Ltd Level 6, 191 Grey Street, South Brisbane QLD Australia 4101 Telephone: 07 3895 3444 Facsimile: 07 3895 3400 Brisbane Canberra Melbourne Sydney Singapore Auckland Christchurch	DRAWING TITLE ROAD FUNCTIONAL AND CARPARKING LAYOUT PLAN SHEET 1 OF 2 DRAWING NUMBER B12185-SK01 ISSUE
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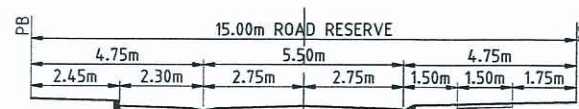
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SCALE (A3): 1:200



SECTION B
SCALE (A1): 1:100
SCALE (A3): 1:200



SECTION C
SCALE (A1): 1:100
SCALE (A3): 1:200



SECTION D
SCALE (A1): 1:100
SCALE (A3): 1:200

LEGEND

	STAGE BOUNDARY
	ROAD CENTRELINE
	MOUNTABLE KERB AND CHANNEL TYPE 'D'
	BARRIER KERB AND CHANNEL TYPE 'E200'
	MOUNTABLE KERB ONLY TYPE 'D'
	BARRIER KERB ONLY TYPE 'E200'
	INVERT KERB
	1.50m CONCRETE FOOTPATH
	CONCRETE DRIVEWAY
	DRIVEWAY LOCATION
	ROAD THRESHOLD
	PARKING BAY
	CARPARKING PROVISION (INDICATIVE)

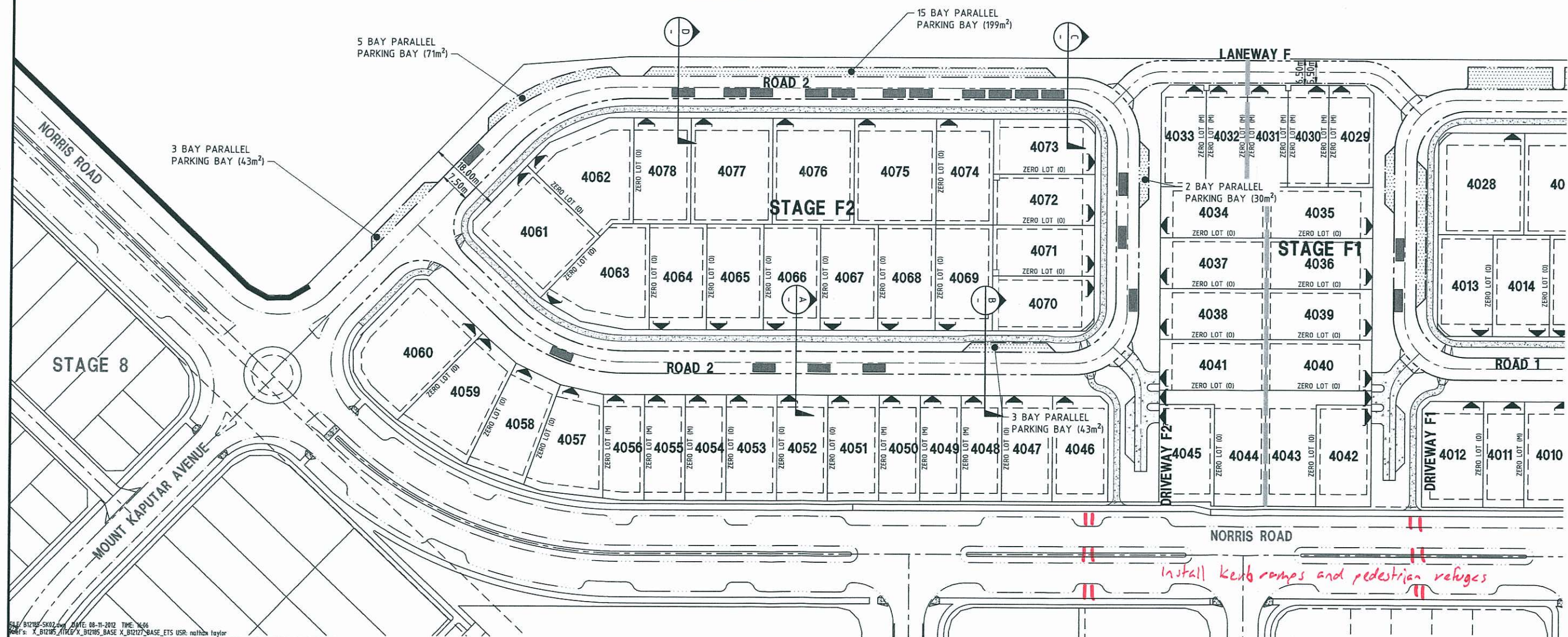
CARPARKING REQUIREMENTS STAGE F2

LOTS	BCC	ULDA	ACHIEVED
41	21	31	49

Amended in Red 27.11.12 by AT

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 5/12/12

BUSHLAND



FOR CONTINUATION REFER SHEET 1

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DESIGN CHECK DRAWN CHECK	SCALE (METRES) 1:500 1:1000	MICROFILM No. PROJECT No. B12185	SURVEYOR: LAND PARTNERS LIMITED 13 Railway Terrace, Milton QLD 4064 Ph (07) 3842 1000 Fax (07) 3842 1001 APPROVED ANDREW McPHAIL RPEQ 5921 JEFF GRIFFITHS RPEQ 415 BRENT THOMAS RPEQ 7862 FOR & ON BEHALF OF BROWN CONSULTING (QLD) PTY LTD	CLIENT URBAN LAND DEVELOPMENT AUTHORITY PROJECT FITZGIBBON CHASE AREA F ROGHAN ROAD, FITZGIBBON	BROWN Smart Consulting	CONSULT AUSTRALIA Brown Consulting (QLD) Pty Ltd Level 6, 197 Grey Street, South Brisbane QLD Australia 4101 Telephone: 07 3895 3444 Facsimile: 07 3895 3400 Brisbane, Canberra, Melbourne, Sydney, Wagga, Darwin, Perth	DRAWING TITLE ROAD FUNCTIONAL AND CARPARKING LAYOUT PLAN SHEET 2 OF 2 DRAWING NUMBER B12185-SK02 ISSUE
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LEGEND

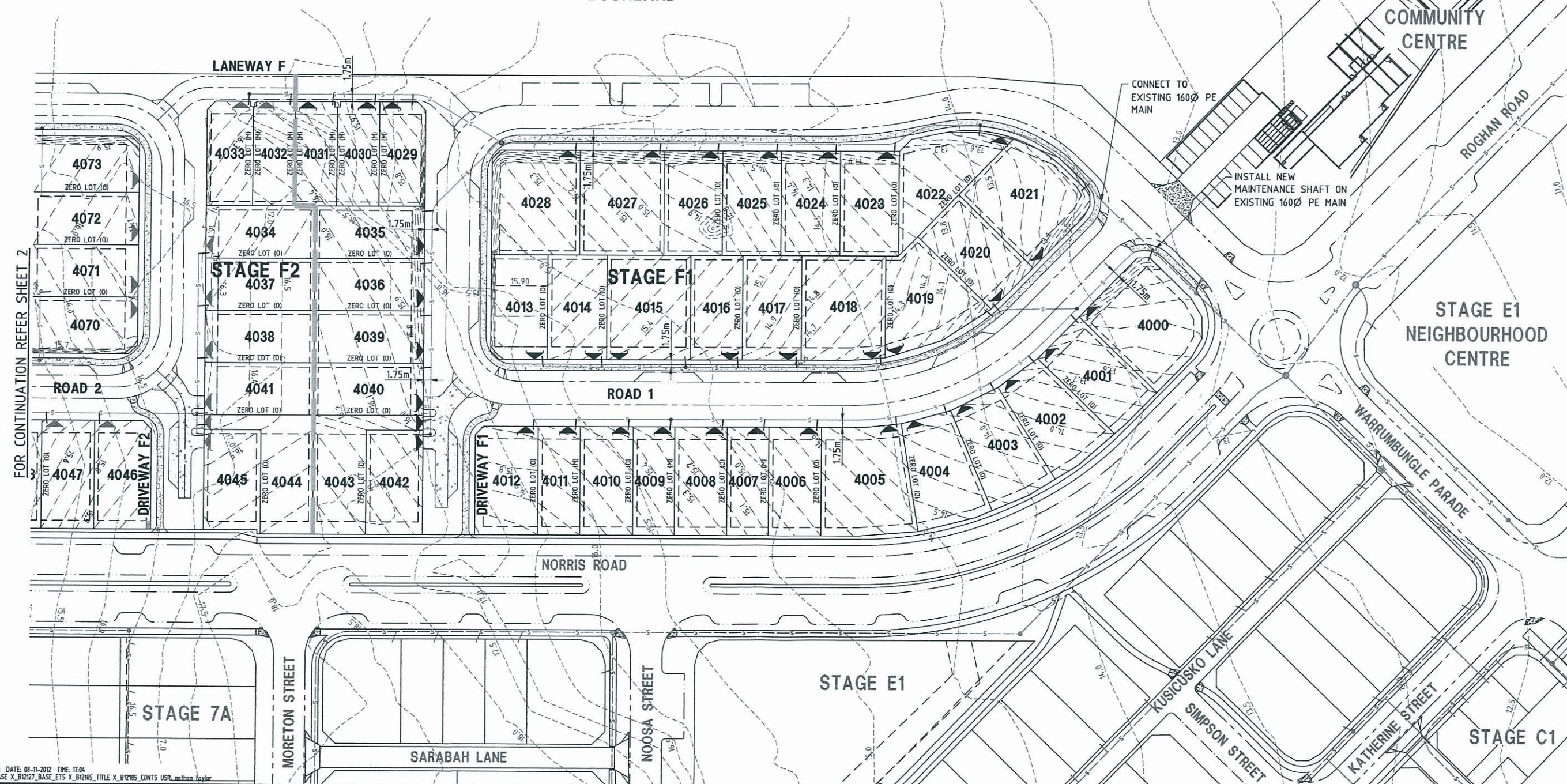
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- PROPOSED SEWER HOUSE CONNECTION
- EXISTING SEWERAGE RETICULATION
- 16.5 EXISTING CONTOURS 0.50m INTERVAL
- MOUNTBALE KERB AND CHANNEL 'TYPE D'
- BARRIER KERB AND CHANNEL 'TYPE E200'
- MOUNTABLE KERB ONLY 'TYPE D'
- BARRIER KERB ONLY 'TYPE E200'
- INVERT KERB
- ▼ DRIVEWAY LOCATION
- ZERO LOT LINE (M) MANDATORY ZERO LOT BOUNDARY
- ZERO LOT LINE (O) OPTIONAL ZERO LOT BOUNDARY
- BUILDING ENVELOPE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5 / 12 / 12

LOT 5010
SP 246550

LOT 999
SP 242271

BUSHLAND



FILE: B12185-SK03.dwg DATE: 09-11-2012 TIME: 17:04
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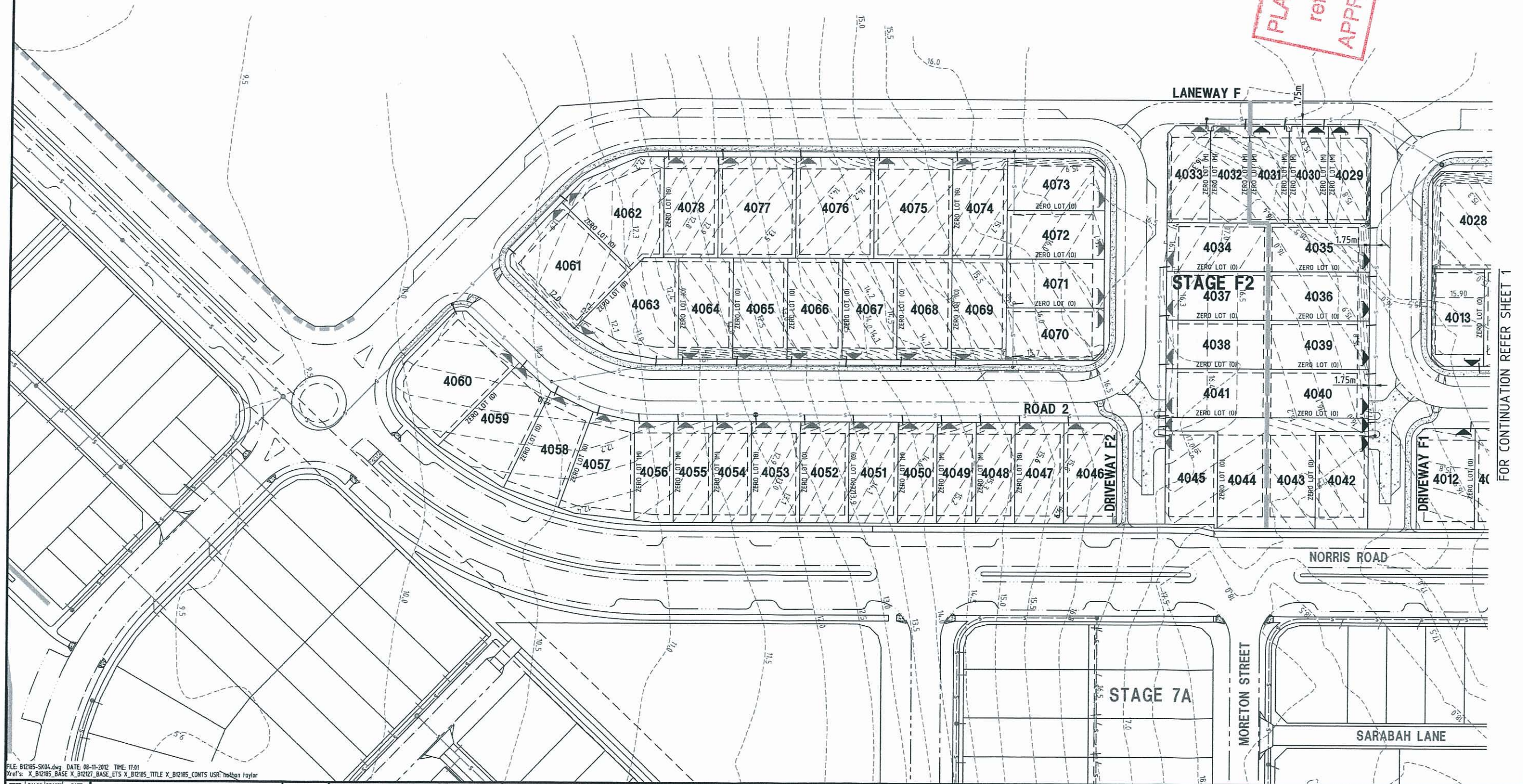
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DRAWN CHECK	1:500 10 5 0 10 20 A1 1:1000	PROJECT No. B12185	APPROVED ANDREW HUGHES, RPEQ 4921 JEFF GRIFFITHS, RPEQ 4155 BRENT THOMAS, RPEQ 7862 FOR & ON BEHALF OF BROWN CONSULTING (QLD) PTY LTD	PROJECT FITZGIBBON CHASE AREA F ROGHAN ROAD, FITZGIBBON

BROWN Smart Consulting	CONSULT AUSTRALIA Brown Consulting (QLD) Pty Ltd Level 6, 199 Grey Street, South Brisbane QLD Australia 4101 Telephone 07 3095 5444 Facsimile 07 3095 5400 Mobile 0400 600 000 Sydney Singapore London Dubai	DRAWING TITLE SEWER RETICULATION LAYOUT PLAN SHEET 1 OF 2 DRAWING NUMBER B12185-SK03 ISSUE
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LEGEND

- PROPOSED SEWERAGE RETICULATION (160Ø)
- PROPOSED SEWER HOUSE CONNECTION
- EXISTING SEWERAGE RETICULATION
- EXISTING CONTOURS 0.50m INTERVAL
- MOUNTBALE KERB AND CHANNEL 'TYPE D'
- BARRIER KERB AND CHANNEL 'TYPE E200'
- MOUNTABLE KERB ONLY 'TYPE D'
- BARRIER KERB ONLY 'TYPE E200'
- INVERT KERB
- DRIVEWAY LOCATION
- MANDATORY ZERO LOT BOUNDARY
- OPTIONAL ZERO LOT BOUNDARY
- BUILDING ENVELOPE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12



FILE: B12185-SK04.dwg DATE: 08-11-2012 TIME: 17:01
User: X_B12185_BASE X_B12185_TITLE X_B12185_CONTS User: Nathan Taylor

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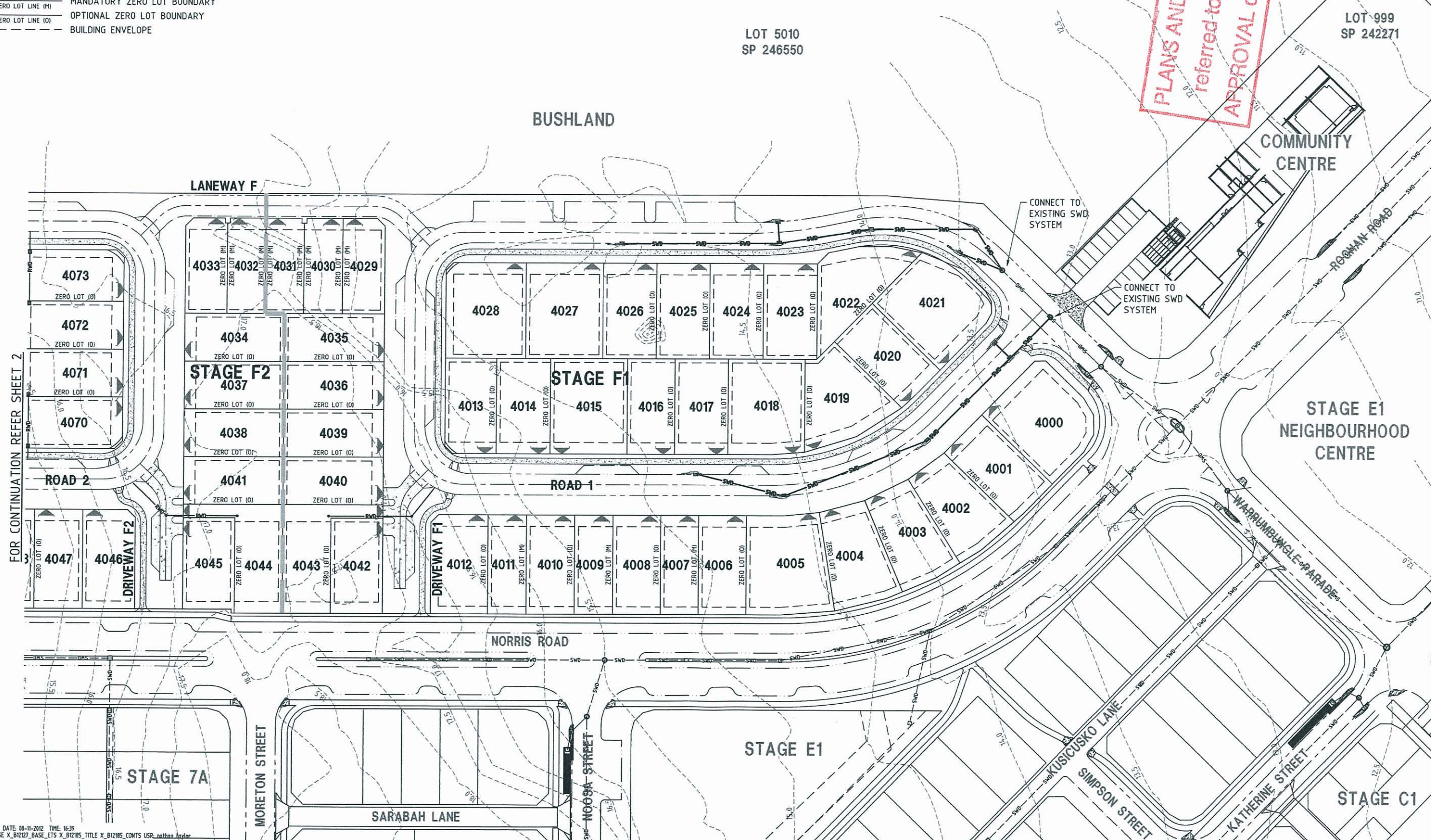
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DRAWN CHECK	1:1000	PROJECT No. B12185	APPROVED ANDREW McPHAIL RPEQ 0921 JEFF GRIFFITHS RPEQ 0415 BRENT THOMAS RPEQ 7862 FOR & ON BEHALF OF BROWN CONSULTING (QLD) PTY LTD	PROJECT FITZGIBBON CHASE AREA F ROGHAN ROAD, FITZGIBBON

BROWN Smart Consulting	CONSULT AUSTRALIA Brown Consulting (QLD) Pty Ltd Level 6, 199 Grey Street, South Brisbane QLD Australia 4101 Telephone 07 3895 3444 Facsimile 07 3895 3400 Melbourne Canberra Brisbane Sydney Singapore Sunshine Coast	DRAWING TITLE SEWER RETICULATION LAYOUT PLAN SHEET 2 OF 2
		DRAWING NUMBER B12185-SK04

LEGEND

- PROPOSED SEWERAGE RETICULATION (160Ø)
- EXISTING SEWERAGE RETICULATION
- EXISTING CONTOURS 0.50m INTERVAL
- MOUNTBALE KERB AND CHANNEL 'TYPE D'
- BARRIER KERB AND CHANNEL 'TYPE E200'
- MOUNTABLE KERB ONLY 'TYPE D'
- BARRIER KERB ONLY 'TYPE E200'
- INVERT KERB
- DRIVEWAY LOCATION
- MANDATORY ZERO LOT BOUNDARY
- OPTIONAL ZERO LOT BOUNDARY
- BUILDING ENVELOPE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12



FOR CONTINUATION REFER SHEET 2

FILE: B12185-SK05.dwg DATE: 08-11-2012 TIME: 16:39
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LEGEND

— SWS —	PROPOSED SEWERAGE RETICULATION (160Ø)
— SWD —	EXISTING SEWERAGE RETICULATION
- - - 16.5 - - -	EXISTING CONTOURS 0.50m INTERVAL
— — — — —	MOUNTBALE KERB AND CHANNEL 'TYPE D'
— — — — —	BARRIER KERB AND CHANNEL 'TYPE E200'
— — — — —	MOUNTABLE KERB ONLY 'TYPE D'
— — — — —	BARRIER KERB ONLY 'TYPE E200'
— — — — —	INVERT KERB
— — — — —	DRIVEWAY LOCATION
— — — — —	MANDATORY ZERO LOT BOUNDARY
— — — — —	OPTIONAL ZERO LOT BOUNDARY
— — — — —	BUILDING ENVELOPE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

FOR CONTINUATION REFER SHEET 1

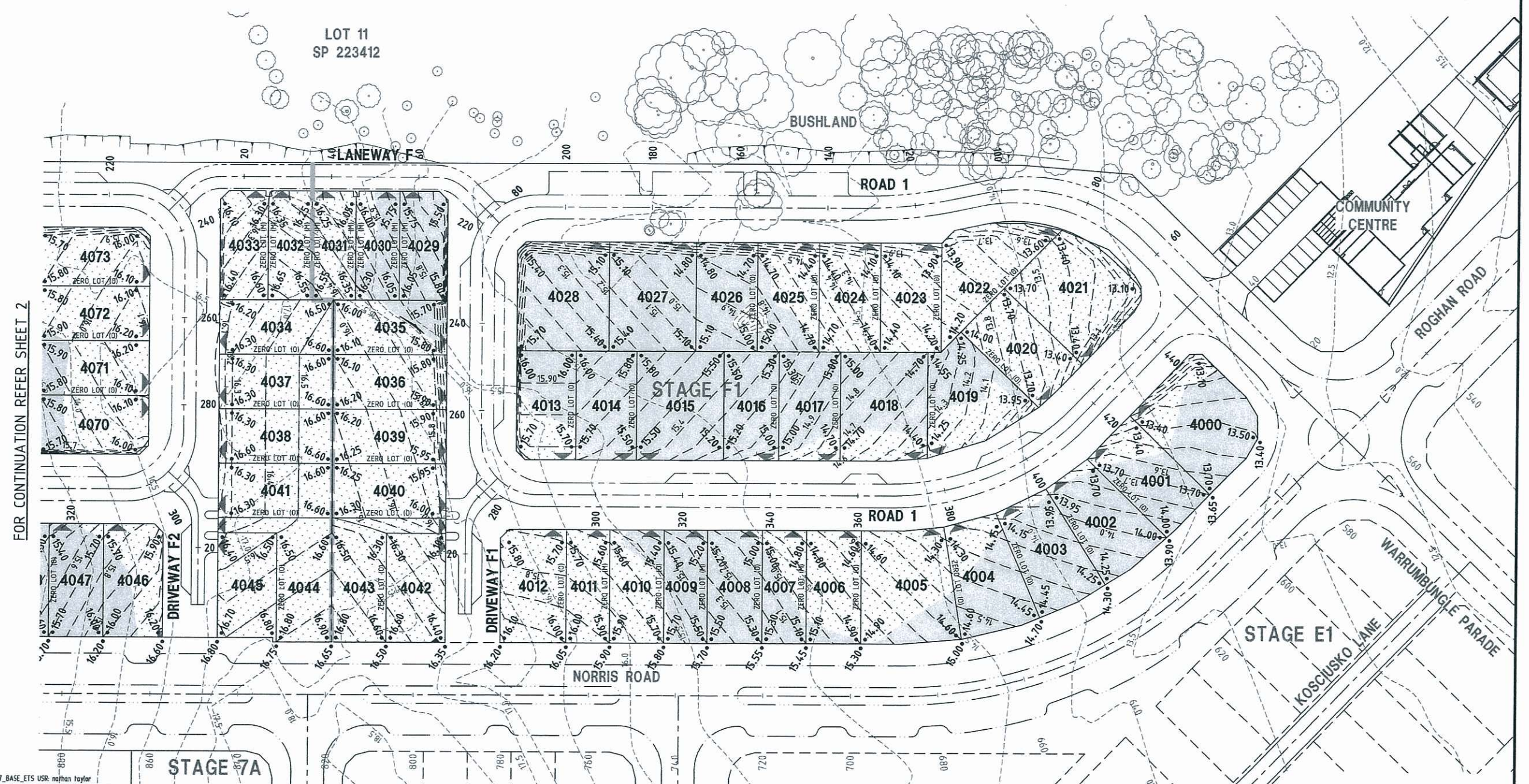
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CALCS		DRAWN		DATE		AMENDMENT DETAILS		DESIGN CHECK		SCALE (METRES)		MICROFILM No.		SURVEYOR: LAND PARTNERS LIMITED 13 Railway Terrace, Milton QLD 4064 Ph (07) 3842 1000 Fax (07) 3842 1001		CLIENT URBAN LAND DEVELOPMENT AUTHORITY		PROJECT FITZGIBBON CHASE AREA F ROGHAN ROAD, FITZGIBBON		BROWN Smart Consulting		CONSULT AUSTRALIA Brown Consulting (QLD) Pty Ltd Level 6, 199 Grey Street, South Brisbane QLD Australia 4101 Telephone 07 3895 3444 Facsimile 07 3895 3400 Website: www.brownconsulting.com.au Sydney Singapore Shanghai Seoul		DRAWING TITLE STORMWATER DRAINAGE LAYOUT PLAN SHEET 2 OF 2		DRAWING NUMBER B12185-SK03		ISSUE		
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								DRAWN CHECK				PROJECT No. B12185		APPROVED ANDREW McPHAIL RPEQ 6921 KEVIN GRIFFITHS RPEQ 4715 BRENT THOMAS RPEQ 7862																
														FOR & ON BEHALF OF BROWN CONSULTING (QLD) PTY LTD																

LEGEND

- 76.2 PROPOSED FINISHED SURFACE LEVEL
- 43.0 EXISTING SURFACE CONTOUR (0.5m INTERVAL)
- 43.0 DESIGN SURFACE CONTOUR (0.10m INTERVAL)
- PROPOSED STAGE BOUNDARY
- AREA OF CUT
- AREA OF FILL
- ZERO LOT (M) MANDATORY ZERO LOT BOUNDARY
- ZERO LOT (O) OPTIONAL ZERO LOT BOUNDARY
- DRIVEWAY LOCATION
- EXISTING TREE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5 / 12 / 12



FOR CONTINUATION REFER SHEET 2

FILE: B12185-SK07.dwg DATE: 09-11-2012 TIME: 17:08
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DRAWN CHECK	1:1000	PROJECT No. B12185	APPROVED ANDREW McPHAIL RPEQ 4921 JEFF GRIFFITHS RPEQ 4115 BRENT THOMAS RPEQ 7862 FOR & ON BEHALF OF BROWN CONSULTING (OLD) PTY LTD	PROJECT FITZGIBBON CHASE AREA F ROGHAN ROAD, FITZGIBBON

BROWN Smart Consulting	CONSULT AUSTRALIA Brown Consulting (OLD) Pty Ltd Level 6, 199 Gray Street, South Brisbane QLD Australia 4101 Telephone 07 3875 3444 Facsimile 07 3875 3400 Brisbane Canberra Melbourne Sydney Singapore Auckland Christchurch	DRAWING TITLE BULK EARTHWORKS LAYOUT PLAN SHEET 1 OF 2	DRAWING NUMBER B12185-SK07	ISSUE
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LEGEND

- STAGE BOUNDARY
- PROPOSED 100Ø mPVC CLASS PN16 WATER MAIN (U.N.O.)
- PROPOSED 150Ø mPVC CLASS PN16 WATER MAIN (U.N.O.)
- PROPOSED WATER METER
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER CONDUIT
- EXISTING WATER MAIN
- MOUNTBALE KERB AND CHANNEL 'TYPE D'
- BARRIER KERB AND CHANNEL 'TYPE E200'
- MOUNTABLE KERB ONLY 'TYPE D'
- BARRIER KERB ONLY 'TYPE E200'
- INVERT KERB
- DRIVEWAY LOCATION
- ZERO LOT LINE (M)
- ZERO LOT LINE (O)
- HP HIGH POINT
- LP LOW POINT

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

LOT 5010
SP 246550

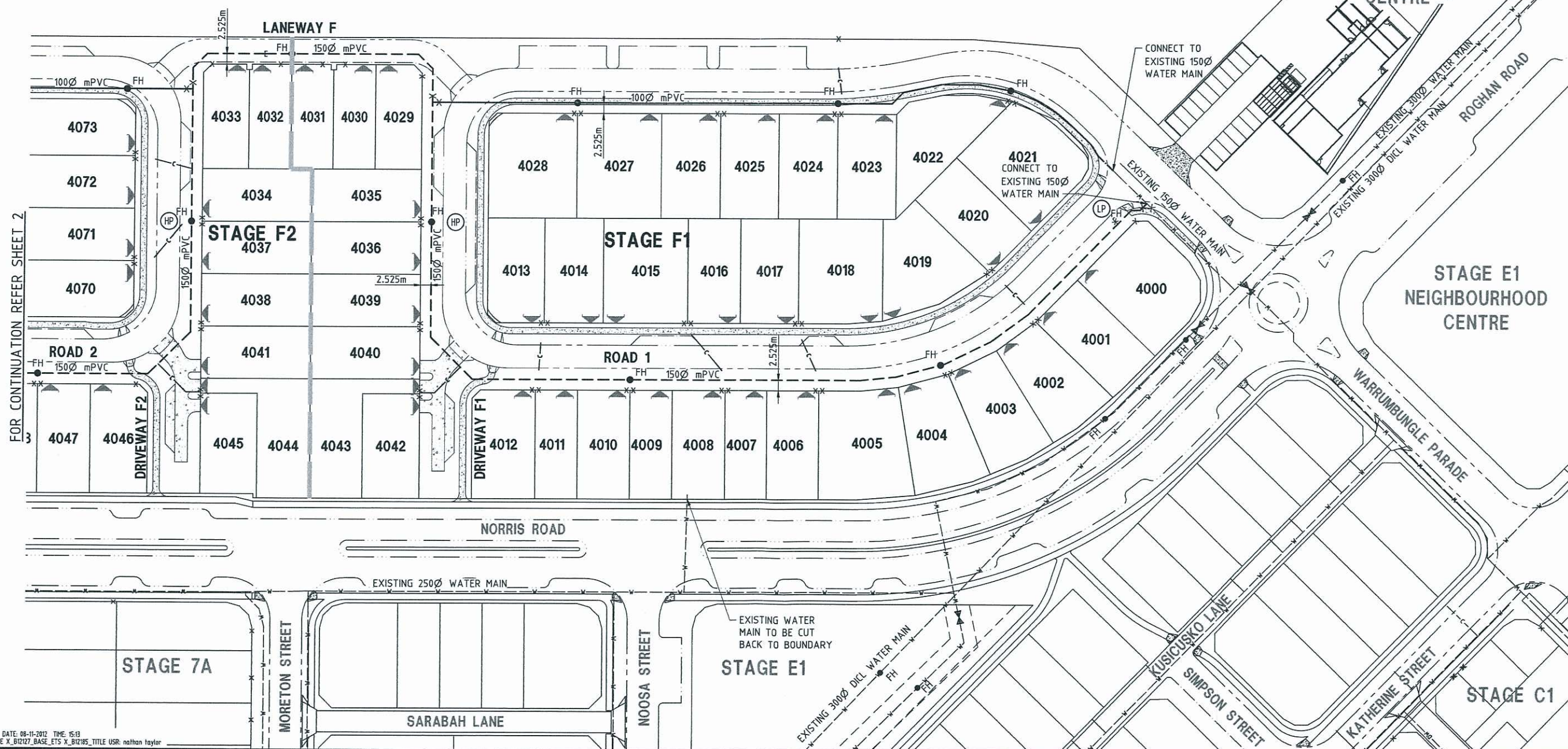
LOT 999
SP 242271

BUSHLAND

COMMUNITY
CENTRE

STAGE E1
NEIGHBOURHOOD
CENTRE

STAGE C1



FILE: B12185-WS01.dwg DATE: 08-11-2012 TIME: 15:13
Xref's: X_B12185_BASE X_B12187_BASE ETS X_B12185_TITLE USR: nathan.taylor

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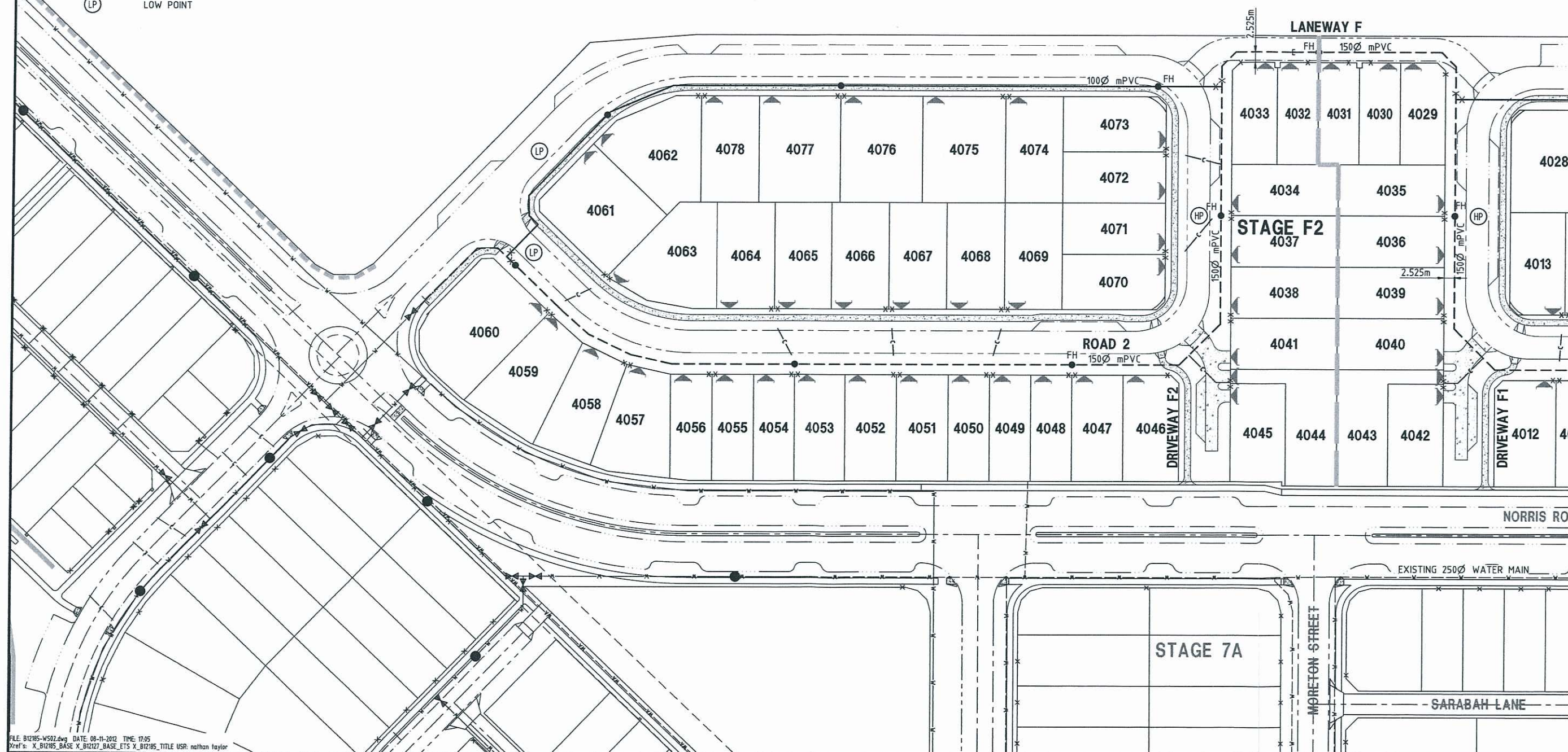
BROWN Smart Consulting	CONSULT AUSTRALIA Brown Consulting (QLD) Pty Ltd Level 4, 191 Gray Street, South Brisbane QLD Australia 4101 Telephone 07 3875 3444 Facsimile 07 3875 3400 Website Custom Brisbane Sydney Singapore Southern Coast	QUALITY Endorsed Company ISO 9001 LIC-4004
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DRAWING TITLE WATER RETICULATION SIZING LAYOUT PLAN SHEET 1 OF 2	DRAWING NUMBER B12185-WS01	ISSUE
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LEGEND

- STAGE BOUNDARY
- PROPOSED 100Ø mPVC CLASS PN16 WATER MAIN (U.N.O.)
- PROPOSED 150Ø mPVC CLASS PN16 WATER MAIN (U.N.O.)
- PROPOSED WATER METER
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER CONDUIT
- EXISTING WATER MAIN
- MOUNTBALE KERB AND CHANNEL 'TYPE D'
- BARRIER KERB AND CHANNEL 'TYPE E200'
- MOUNTABLE KERB ONLY 'TYPE D'
- BARRIER KERB ONLY 'TYPE E200'
- INVERT KERB
- DRIVEWAY LOCATION
- MANDATORY ZERO LOT BOUNDARY
- OPTIONAL ZERO LOT BOUNDARY
- HIGH POINT
- LOW POINT

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5/12/12

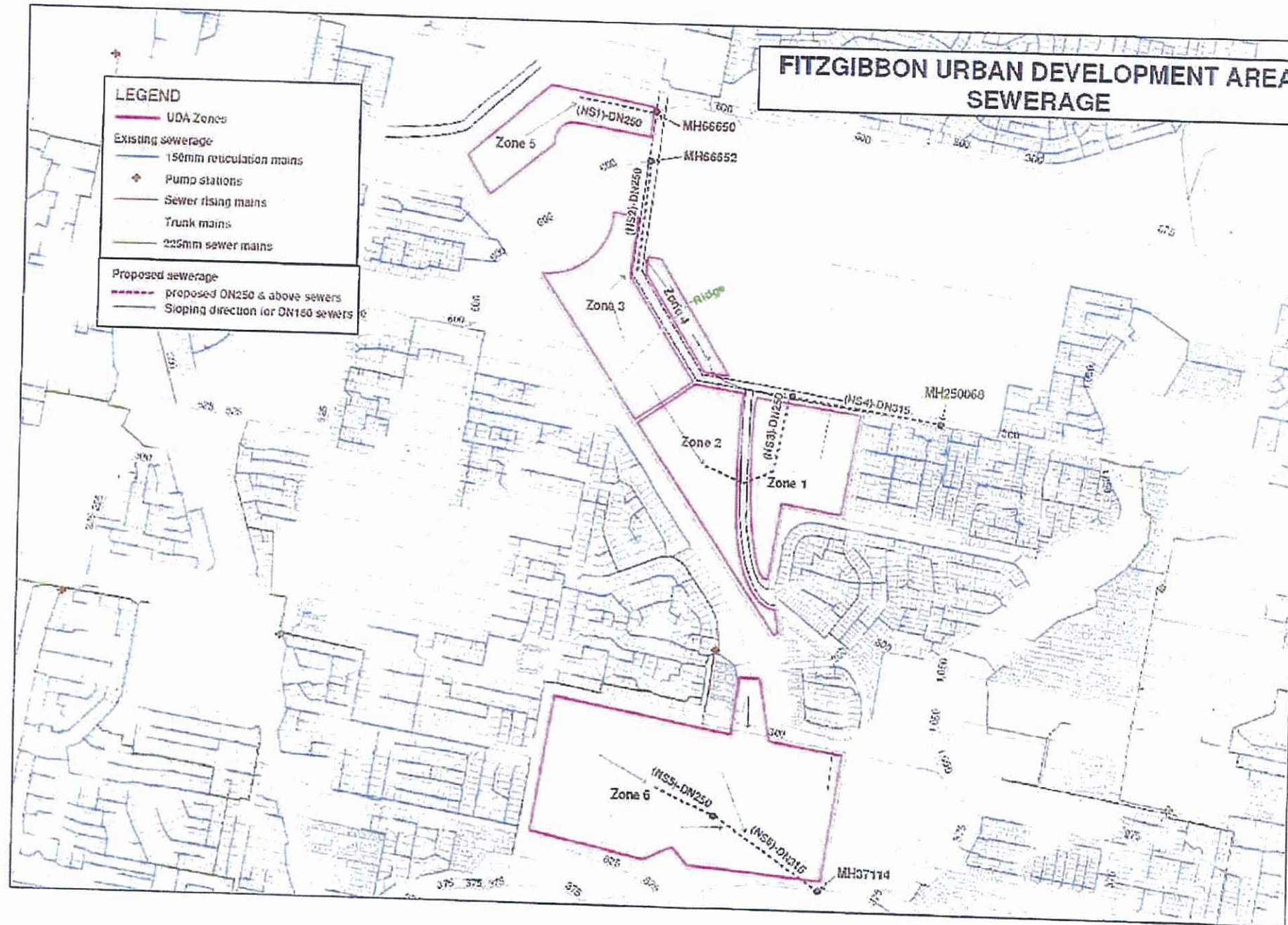


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Figure 5- Sewer layout plan proposed in January 2009.



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 5 / 12 / 12