

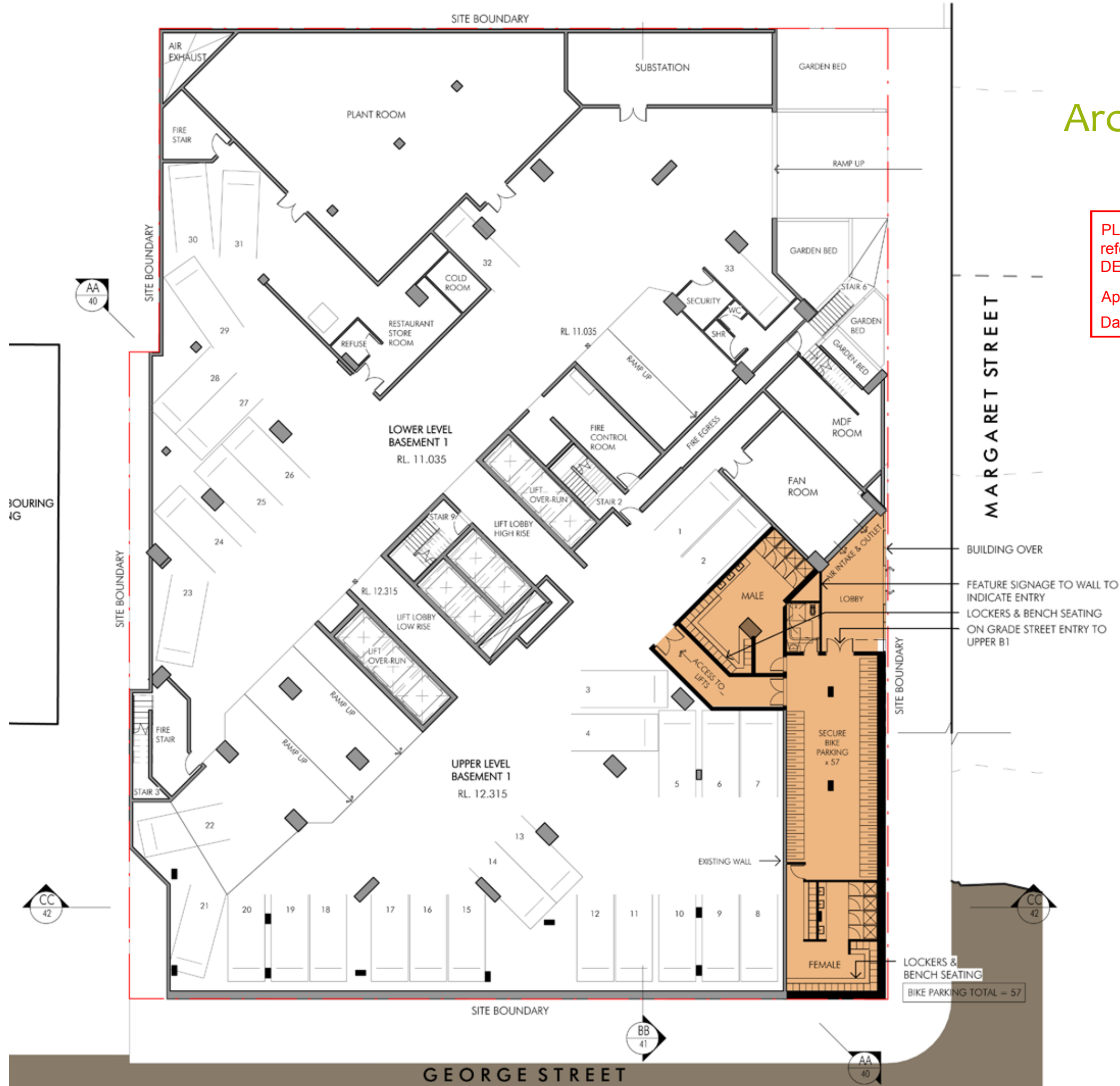
Architectural Plans 02

Plans

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2017/876

Date: 10 November 2017



- EXISTING
- PROPOSED - STAGE 1
- PROPOSED - STAGE 2

Basement 1 Plan



Scale: 1:250

Architectural Plans 02

Plans

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Scale: 1:250

Stage 1
Ground Floor Plan

Architectural Plans 02

Plans

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- PROPOSED CAFE/NEWSAGENT
- PROPOSED OFFICE
- EXISTING OFFICE
- EXISTING
- PROPOSED - STAGE 1
- PROPOSED - STAGE 2

Stage 2 Ground Floor Plan

Architectural Plans 02

Plans

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- PROPOSED OFFICE
- EXISTING OFFICE
- EXISTING
- PROPOSED - STAGE 1
- PROPOSED - STAGE 2



Scale: 1:250

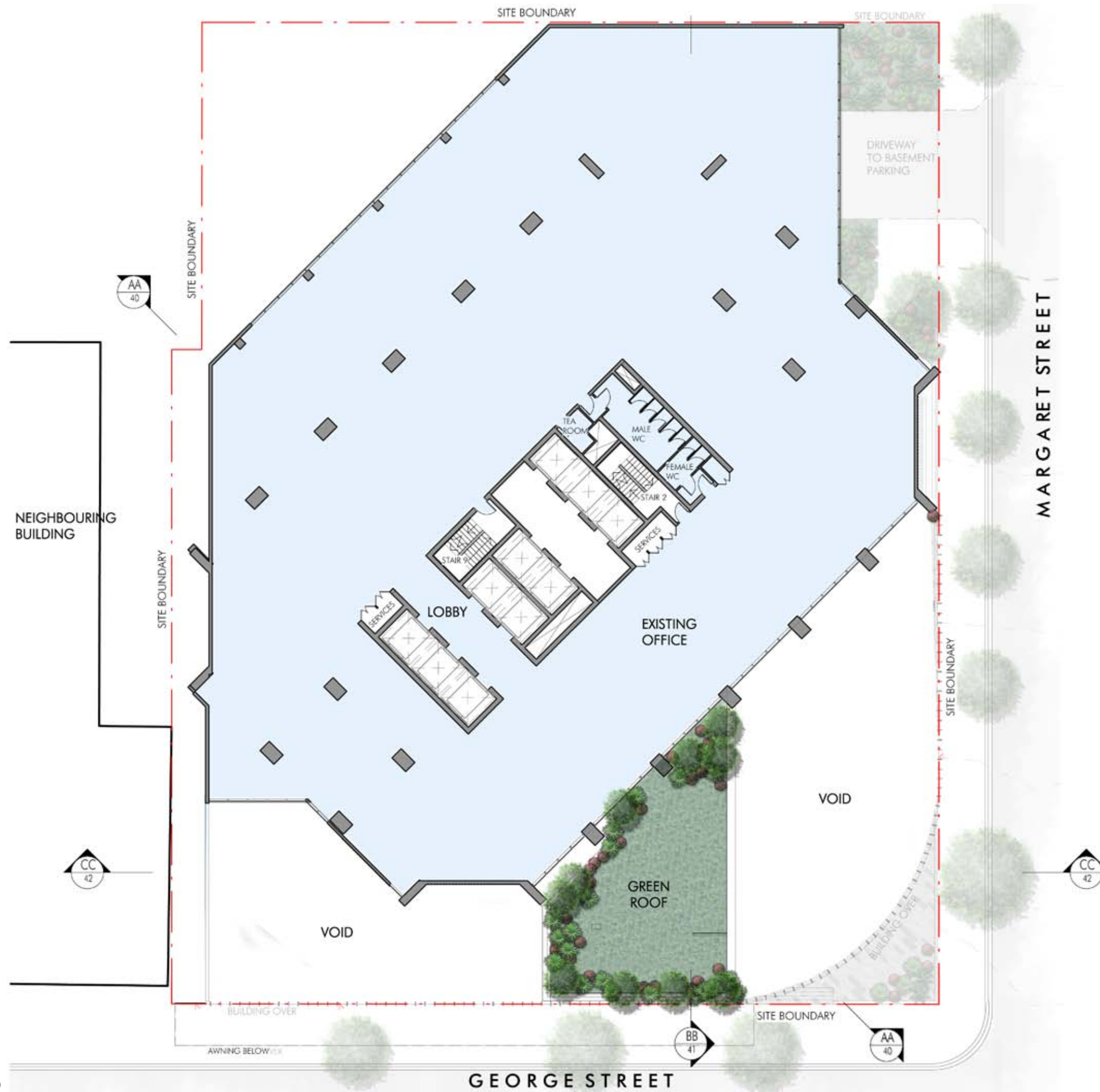
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Scale: 1:250

Proposed Level 2 Plan

Elevations 04

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DEVELOPMENT APPROVAL



Approval no: DEV2017/876
Date: 10 November 2017

AMENDED IN RED

By: Laura Shobbrook
Date: 20 October 2017



Not part of this approval
Subject to Compliance Assessment

MATERIALS LEGEND

WA1	Rendered Masonry - Painted White
WA2/COL1	Stone Cladding
WA3	Existing Facade to remain
BAL1	Glass Balustrade
GS1	Clear Glazing with Charcoal Glazing Frame
GS2	Rain Screen Glazing with Charcoal Glazing Frame
SC1	Aluminium Vertical Mullions @ 1200mm Spacing - Charcoal
AW1	Clear Glazed Awning with Charcoal Frame



Scale: 1:400

West Elevation - George St

Elevations 04

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Queensland
Government

AMENDED IN RED

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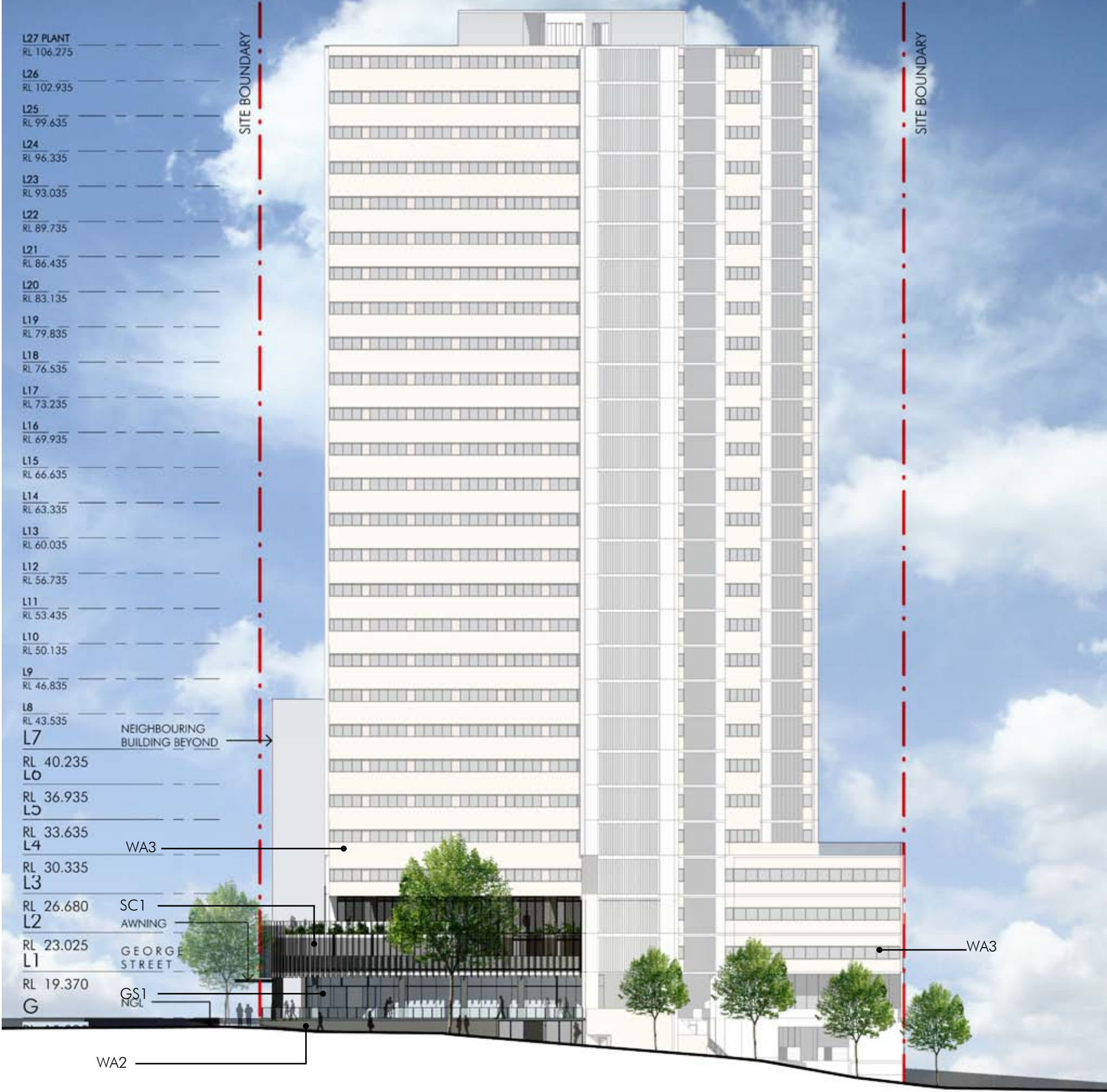


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GS2	Rain Screen Glazing with Charcoal Glazing Frame
SC1	Aluminium Vertical Mullions @ 600mm Spacing - Charcoal
AW1	Clear Glazed Awning with Charcoal Frame



Scale: 1:400

South Elevation - Margaret St

Elevations 04

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Scale: 1:250

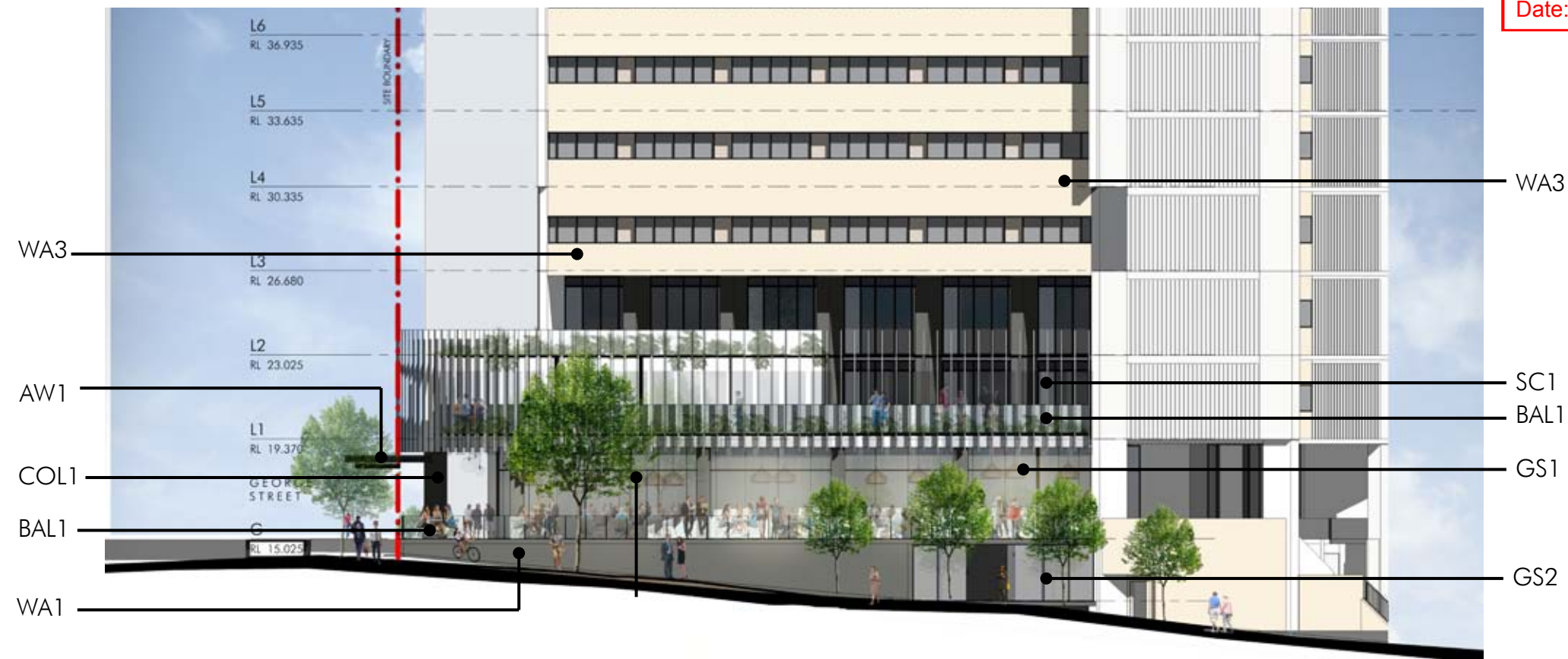
Facade Elevation - George St

Elevations 04

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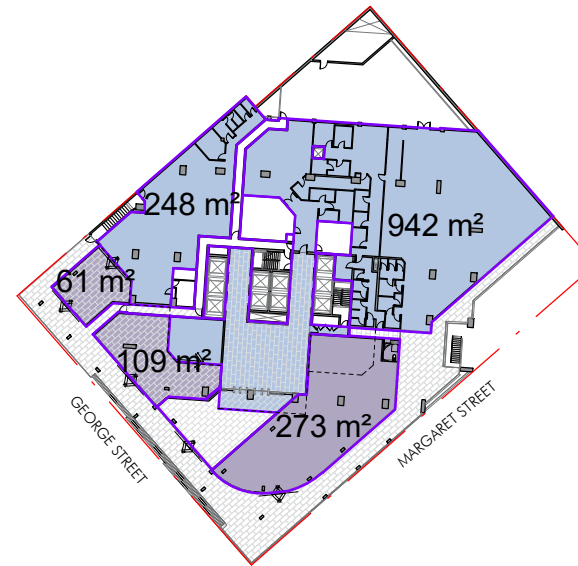


Scale: 1:250

Facade Elevation - Margaret St



Basement 1



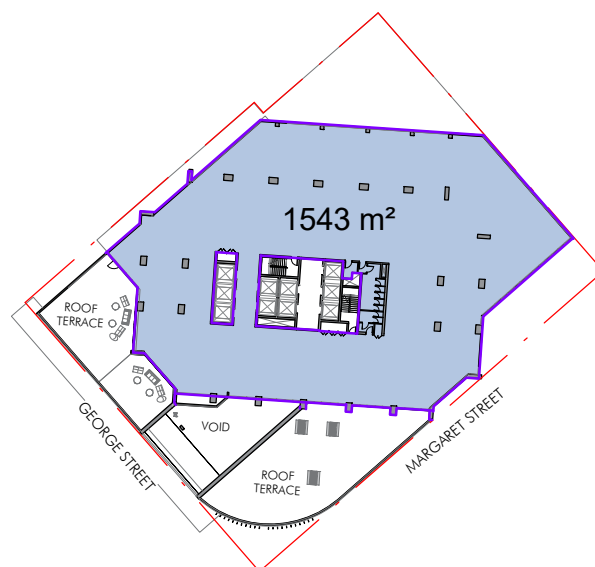
Ground Floor

Proposed Additional GFA

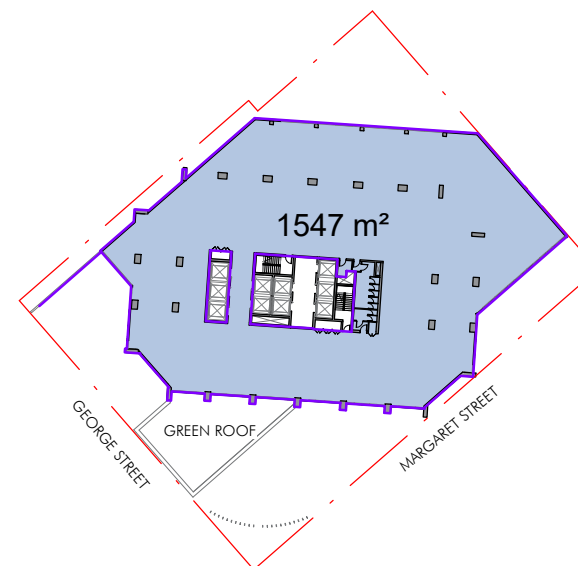
Basement 1	231	= 231m ²
Ground Floor	61 + 109 + 273	= 443m ²
Level 1		= 0m ²
Level 2		= 0m ²

Total additional GFA = 674m²

Proposed GFA
Existing GFA



level 1



level 2

Gross Floor Area:

As defined in Brisbane City Council - City Plan 2014
The total floor area of all storeys of the building (measured from the outside of the external walls or the centre of a common wall), other than areas used for the following:
(a) building services, plant and equipment;
(b) access between levels;
(c) ground floor public lobby;
(d) a mall;
(e) the parking, loading or manoeuvring of motor vehicles;
(f) unenclosed private balconies, whether roofed or not.



Scale: 1:1000

GFA Plans