

**GEORGE STREET** 

### Architectural **U** Plans

PLANS AND DOCUMENTS referred to in the PDA **DEVELOPMENT APPROVAL** 



Approval no: DEV2017/876

Date:

10 November 2017



SITE BOUNDARY

PROPOSED CAFE/NEWSAGENT

PROPOSED OFFICE

EXISTING OFFICE **EXISTING** 

PROPOSED - STAGE 1

PROPOSED - STAGE 2

Stage 1 Ground Floor Plan

# Architectural 02 Plans

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



Approval no: DEV2017/876

Date: 10 November 2017



SITE BOUNDARY

PROPOSED CAFE/NEWSAGENT

PROPOSED OFFICE

EXISTING OFFICE

EXISTING

PROPOSED - STAGE 1

PROPOSED - STAGE 2

Stage 2 Ground Floor Plan

## Architectural **02**Plans

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

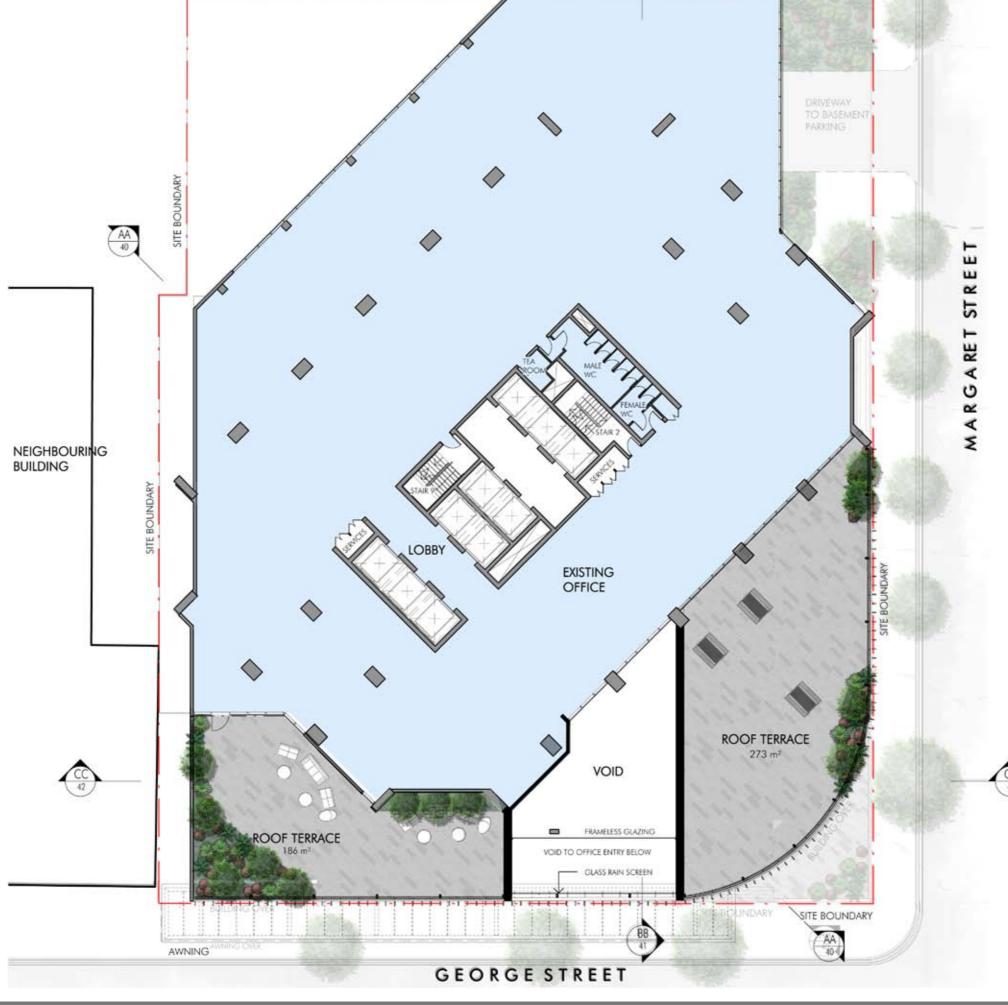
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Approval no: DEV2017/876

10 November 2017



SITE BOUNDARY

PROPOSED CAFE/NEWSAGENT
PROPOSED OFFICE

EXISTING OFFICE

EXISTING

PROPOSED - STAGE 1

PROPOSED - STAGE 2

Proposed Level 1 Plan

# Architectural **02**Plans

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SITE BOUNDARY

PROPOSED CAFE/NEWSAGENT
PROPOSED OFFICE

EXISTING OFFICE

EXISTING

PROPOSED - STAGE 1

PROPOSED - STAGE 2

Proposed Level 2 Plan



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### **AMENDED IN RED**

Queensland Government

By: Laura Shobbrook
Date: 20 October 2017

Not part of this approval Subject to Compliance Assessment

### **MATERIALS LEGEND**

WA1 Rendered Masonary - Painted White

WA2/COL1 Stone Cladding

WA3 Existing Facade to remain

BAL1 Glass Balustrade

GS1 Clear Glazing with Charcoal Glazing Frame GS2 Rain Screen Glazing with Charcoal Glazing

Frame

SC1 Aluminium Vertical Mullions @ 1200mm

Spacing - Charcoal

AW1 Clear Glazed Awning with Charcoal Frame

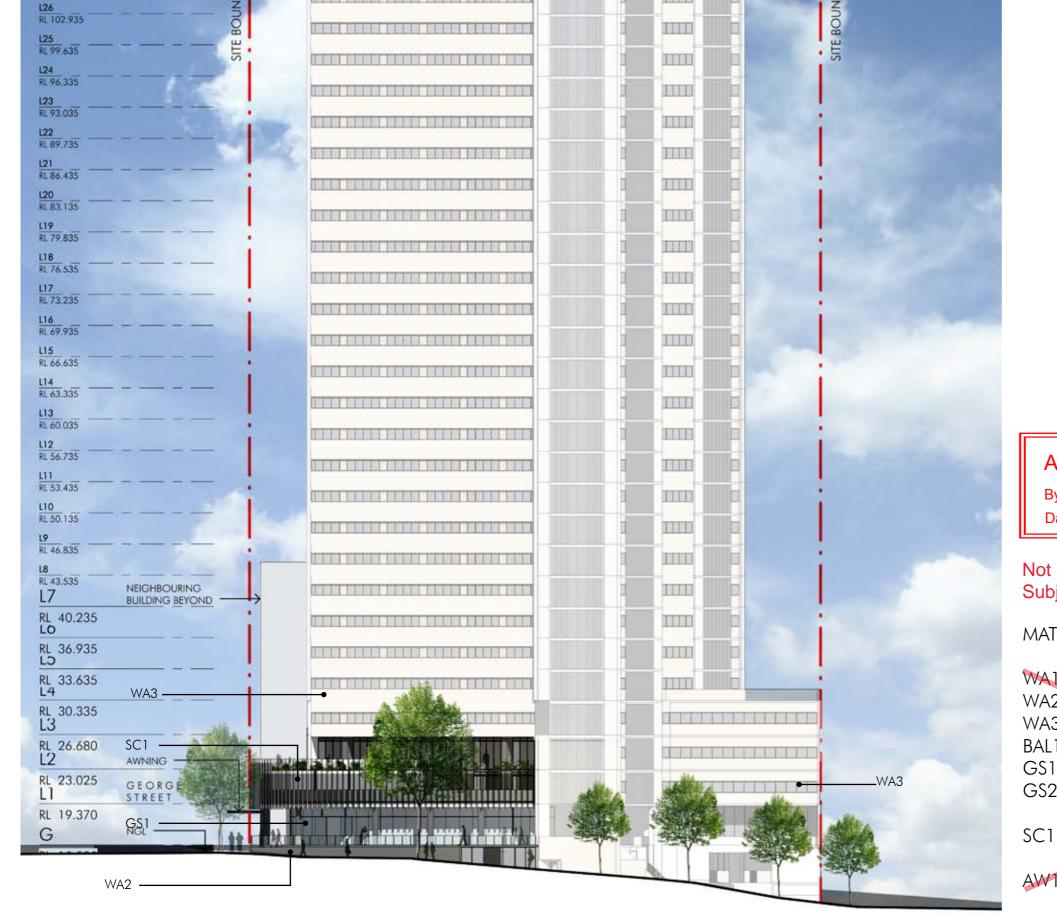


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#### MATERIALS LEGEND

WA1 Rendered Masonary - Painted White

WA2/COL1 Stone Cladding

WA3 Existing Facade to remain

BAL1 Glass Balustrade

GS1 Clear Glazing with Charcoal Glazing Frame
GS2 Rain Screen Glazing with Charcoal Glazing

Frame

SC1 Aluminium Vertical Mullions @ 600mm

Spacing - Charcoal

Clear Glazed Awning with Charcoal Frame

Scale: 1:400

South Elevation - Margaret St

## Elevations 04



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WA1 Rendered Masonary - Painted White WA2/COL1 Stone Cladding WA3 Existing Facade to remain BAL1 Glass Balustrade Clear Glazing with Charcoal Glazing Frame GS1 GS2 Rain Screen Glazing with Charcoal Glazing Frame SC1 Aluminium Vertical Mullions @ 600mm Spacing - Charcoal AW1 Clear Glazed Awning with Charcoal Frame

MATERIALS LEGEND

Facade Elevation - George St

WA2

## Elevations 04





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### MATERIALS LEGEND

AW1

WA1 Rendered Masonary - Painted White WA2/COL1 Stone Cladding WA3 Existing Facade to remain Glass Balustrade BAL1 Clear Glazing with Charcoal Glazing Frame GS1 Rain Screen Glazing with Charcoal Glazing GS2 Frame Aluminium Vertical Mullions @ 600mm SC1 Spacing - Charcoal

### AMENDED IN RED

By: Laura Shobbrook
Date: 20 October 2017

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Scale: 1:250

Clear Glazed Awning with Charcoal Frame

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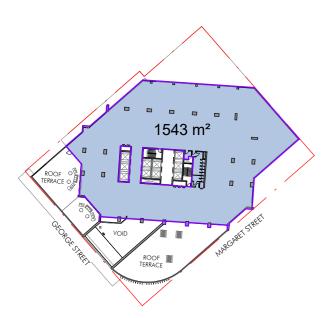
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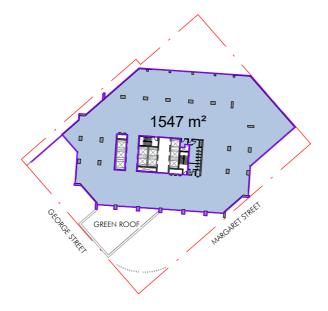




Basement 1

**Ground Floor** 





level 1 level 2

### **Proposed Additional GFA**

Basement 1 231 =  $231 \text{m}^2$ Ground Floor  $61+109+273=443 \text{m}^2$ Level 1 =  $0 \text{m}^2$ Level 2 =  $0 \text{m}^2$ 

Total additional GFA = 674m<sup>2</sup>

Proposed GFA

Existing GFA

#### Gross Floor Area:

As defined in Brisbane City Council - City Plan 2014
The total floor area of all storeys of the building (measured from the outside of the external walls or the centre of a common wall), other than areas used for the following:

- (a) building services, plant and equipment;
- (b) access between levels;
- (c) ground floor public lobby;
- (d) a mall;
- (e) the parking, loading or manoeuvring of motor vehicles;
- (f) unenclosed private balconies, whether roofed or not.

Scale: 1:1000

**GFA Plans**