



A MENDED IN RED
11 JAN 2013
By: BRIANNA FYFFE (name)
of the ULDA

— SUBJECT SITE

TABLE OF DEVELOPMENT

GROSS AREA OF SUBJECT LAND.....	7.428ha
AREA OF PROPOSED PARK AND OPEN SPACE.....	3400m ²
(INCLUDING DRAINAGE RESERVE)	
AREA OF NEW ROAD.....	5326m ²
LENGTH OF NEW ROAD (Approx).....	500m
NET AREA OF SUBDIVISION.....	7075m ²
(EXCLUDING NEW ROAD, PARK & OPEN SPACE)	
NUMBER OF PROPOSED LOTS.....	33
NUMBER OF EXISTING LOTS.....	1

Scale 1:1500 @ A3 - Lengths are in Metres.

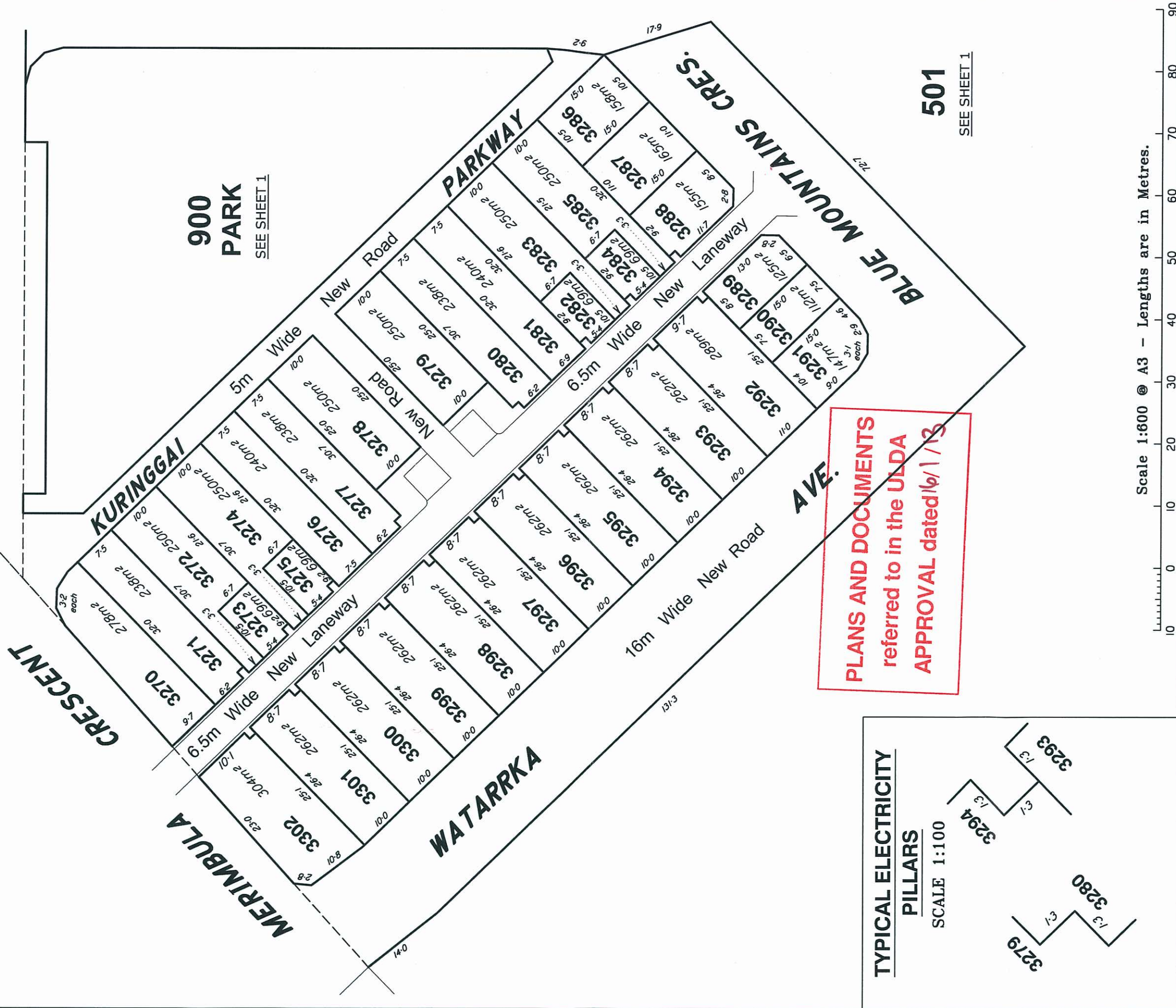
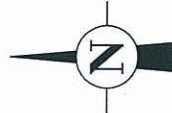
LICENSED SURVEYORS ■ TOWN PLANNERS
DEVELOPMENT CONSULTANTS

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PLAN OF RECONFIGURATION AREA C3		MERIMBULA CRESENT, FITZGIBBON	
Client :	URBAN LAND DEVELOPMENT AUTHORITY	LOT 4003 ON SP249426	
	R.P. Description	NUNDAH	
	Parish	STANLEY	
	County		
	Date Drawn		31-05-2012

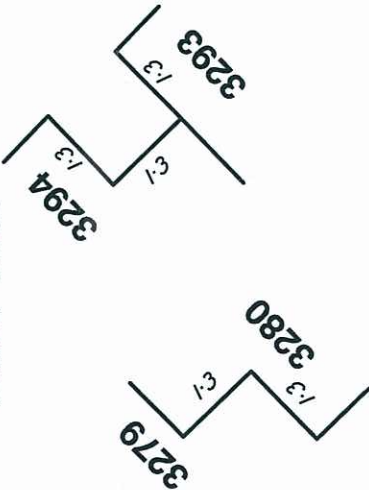
Reference Number: PL1336/C-04-H



TYPICAL ELECTRICITY

PILLARS

SCALE 1:100



Client :

URBAN LAND DEVELOPMENT AUTHORITY	LOT 4003 ON SP249426
R.P.Description	NUNDAH
Parish	STANLEY
County	31-05-2012
Date Drawn	

NOTES
1. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSES, OTHER THAN THAT FOR WHICH IT WAS PREPARED, IS RESTRICTED TO THE TERMS OF THE AGREEMENT FOR THE PREPARATION OF THE DOCUMENT, AND THE INSTRUCTING PARTY.
2. DESIGN SUBJECT TO LOCAL AUTHORITY APPROVAL & DETAILED ENGINEERING REQUIREMENTS. AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY.

**PLAN OF RECONFIGURATION
AREA C3**

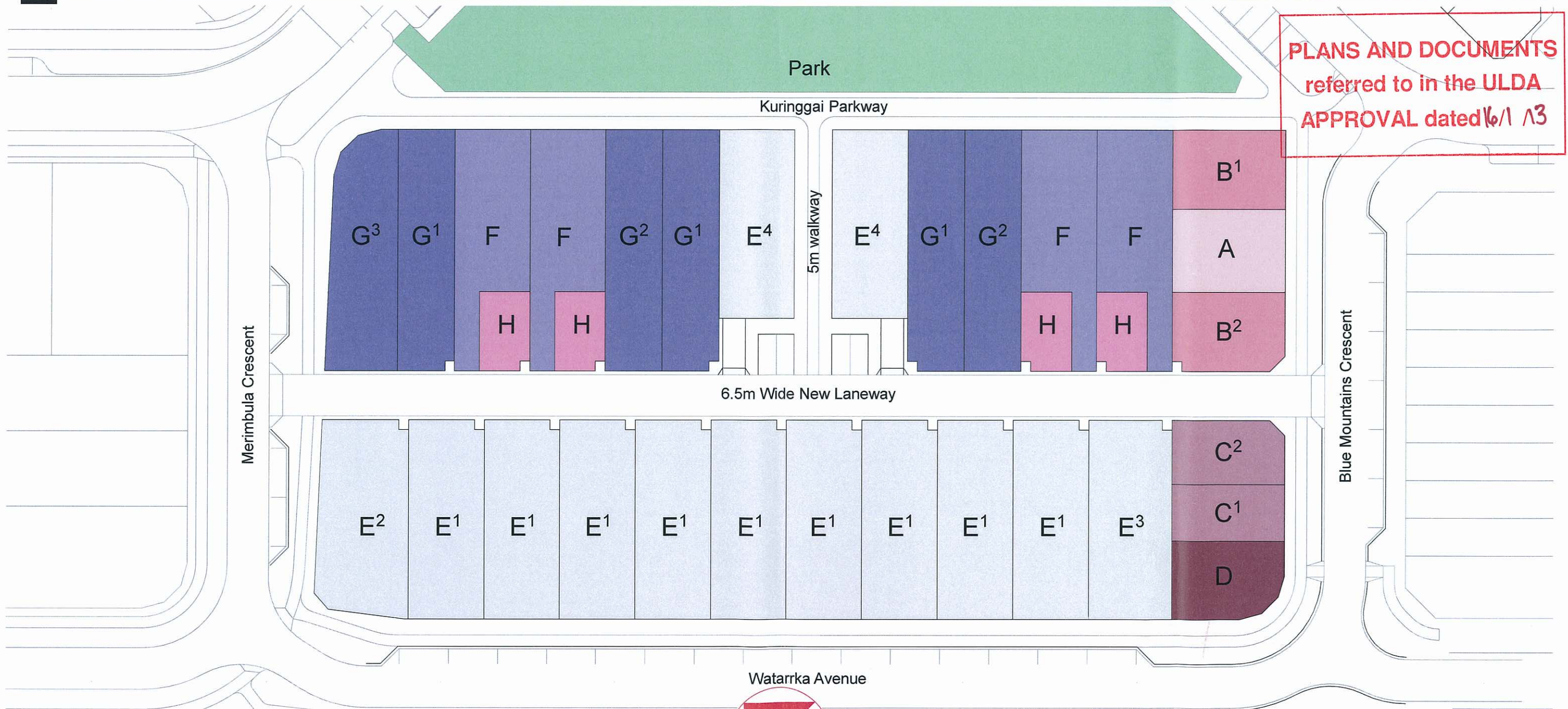
**MERIMBULA CRESENT,
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Development Statistics

DWELLING TYPES	STREET FRONTING (URBAN)						DUAL FRONTAGE (TERRACE)								LANE FRONTING (NANO)	TOTALS
Dwelling Type Code	A	B ¹	B ²	C ¹	C ²	D	E ¹	E ²	E ³	E ⁴	F	G ¹	G ²	G ³	H	A - H
Quantity	1	1	1	1	1	1	9	1	1	2	4	3	2	1	4	33.0
Total	6						23								4	29.0
Lot Area (m ²)	165	158	155	112	125	147	262	304	289	250	250	238	240	278	69	7,060
Primary Frontage (m)	11.00	10.50	10.50	7.50	8.50	10.39	10.00	13.55	11.00	10.00	10.00	7.50	7.50	8.35	6.70	306
Secondary Frontage (m)	0.00	15.00	15.00	0.00	15.00	15.00	0.00	23.00	0.00	0.00	0.00	0.00	32.00	0.00	0.00	147
Laneway Frontage (m)	0.00	0.00	0.00	0.00	0.00	0.00	10.00	11.50	11.00	10.00	3.30	7.50	7.50	9.65	6.70	220
Min Effective Depth (m)	15.00	15.00	15.00	15.00	15.00	15.00	26.39	26.39	26.39	25.00	32.00	32.00	32.00	32.00	10.50	N/A
1 Bed (+/- 0.5) dw	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2 Bed (+) dw	1	1	1	1	1	1	9	1	1	2	4	3	2	1	4	33
On Street Car Parking Required	0.75	0.75	0.75	0.75	0.75	0.75	6.75	0.75	0.75	1.50	3.00	2.25	1.50	0.75	3.00	25
Street Vehicle Access (qty)	1	1	1	1	0	1	0	0	0	0	0	0	0	0	0	5
Lane Vehicle Access (qty)	0	0	0	0	1	0	9	1	1	2	4	3	2	1	4	28



General:

1. All development is to be undertaken in accordance with the Development Approval.
2. Building height is to be a maximum of 3 storeys.
3. Dimensions may be rounded to the nearest 0.1m.
4. Areas may be rounded to the nearest 5m².
5. Refer to landscape plans for locations and extent of paved footpaths.
6. This Plan of Development (POD) is subject to relevant consultant input and review, including, but not limited to: landscape, traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

Building Siting:

7. Building setbacks are measured to the wall or column.
8. Eaves are not to encroach within 0.45m of a boundary to an adjoining dwelling lot.
9. Building corners or eaves may extend to a truncated frontage boundary where vehicle sight line compliance is maintained.
10. Bins, air conditioners, clothes lines and similar equipment are not to be positioned between the dwelling and a Street, Pathway or Park.
11. All windows are to be provided with adequate sun shading and weather protection by way of eaves, hoods or screens.
12. Primary frontage Street and Pathway setbacks are to be 1m minimum (except for truncated boundaries noted in Item 9), excluding garages/carports and Open Structures noted separately.

13. Non primary frontage Street and Pathway setbacks are to be 0.5m minimum for a maximum extent of 60% of the non primary boundary, and are otherwise to be 1.5m minimum.
14. All facades fronting a Street, Pathway or Park are to be articulated with a combination of varied roof planes, habitable room fenestration and Open Structures (refer definition).
15. Open Structures (refer definition) may extend to any boundary to a dwelling, Street, Laneway or Open Space.
16. No minimum setback is required to a Laneway, excluding garages/carports noted separately (refer Item 26).
17. A minimum Street setback of 4.5m is to be provided (as measured to the vehicle door) for all garages/carports, excluding single carports fully open to the street (i.e., with no vehicle door) noted separately.
18. A minimum Street setback of 2m is to be provided (as measured to any part of the carport structure) for all open carports having no vehicle door where an open carport is indicated on the approved dwelling plan for the lot.
19. Mandatory built-to-boundary walls are to be constructed where indicated on this POD and are to extend to a minimum of 30% of the nominated boundary, have a maximum height of 7.5m and a maximum continuous length of 15m.
20. Optional built-to-boundary walls may be constructed where indicated on the POD and are to have a maximum height of 7.5m and a maximum continuous length of 15m.
21. Built-to-boundary walls of a height greater than 4.5m are not to extend closer to a Street/Laneway/Pathway/ Open Space than 3m, unless they align with a mandatory built-to-boundary wall of an adjoining dwelling lot indicated on this POD.

22. In sections where built-to-boundary walls are not applicable or adopted, side and rear boundary setbacks to an adjoining dwelling lot are to be 0.9m minimum for all levels.

Parking:

23. Minimum off-street parking requirements:
 - Studio: 1 space per dwelling
 - 1 and 2 Bedroom: 1 space per dwelling
 - 3 or more Bedrooms: 2 spaces per dwelling (which may be in tandem)
24. At least one space per dwelling is to be covered.
25. Parking spaces on driveways do not have to comply with AS2890, but are to be 4.5m long with 2.7m clear width.
26. Garages/carports, and their associated driveways, are to be located as indicated on this POD.
27. Garages/carports served off a Laneway are to comply with ULDA Practice Note No. 12 Issued: Dec 2011 or as updated.
28. Double garages shall not be permitted for dwellings on lots with a Street vehicle access frontage of less than 12.5m frontage.

Site Cover, Private Open Space and Amenity:

29. Site coverage (as defined by the Fitzgibbon UDA Scheme) is to be a maximum of 60% of the site area on lots designated as "E".
30. No maximum site coverage applies to any other lot.
31. Private amenity space accessible from a living area on the ground floor is to be provided and is not to be less than 5m² with a minimum dimension of 1.2m for Studio and 1 Bedroom dwellings, and 9m² with a minimum dimension of 2.4m for all other dwellings, except as noted in Item 31.

32. Private amenity space for dwellings with living areas located above the ground level are to be provided in the form of a balcony directly accessible from the living area with a minimum area of 5m² and a minimum dimension of 1.2m.
33. Private Open Space is generally to be provided in the location and on the storey indicated on this POD.
34. All second storey windows addressing an adjoining dwelling lot (i.e., on side elevations) are to have fixed, external privacy screens or fixed opaque glazing at a height not less than 1.5 metres above the second storey floor level.
35. All balustrades addressing a Street, Pathway or Park are to be 50% visually permeable.
36. Dwellings on lots of less than 250m² are to be generally in accordance with the approved dwelling plans cited on this POD.
37. Dwellings on lots of less than 250m² are to include landscaping along the primary frontage boundary of a minimum depth of 0.5m in order to reinforce the dwelling entry and positively contribute to the streetscape.

Fencing:

38. Fencing on all frontages to Streets, Laneways, Pathways and Parks is to be 1.5m high maximum and 50% transparent (either consistently or through alternating sections of solid vs. transparent), or 1.2m and solid. A limited extent of 1.8m high solid fencing is permitted to a Laneway.
39. Any boundary between two dwelling lots where there is no built-to-boundary wall is to be fenced in accordance with the current Fitzgibbon Chase Design Guidelines or, if not specified by those guidelines, with a good neighbour timber paling fence of 1.8m

height with capping to finish a minimum of 1m behind the front building wall.

40. If a fence is constructed on the boundary between two dwelling lots and a built-to-boundary wall is then constructed on that boundary, the fence is to be removed to the extent that it aligns with a built-to-boundary wall.

Special Requirements for Laneway Lots:

41. For any Laneway lots with a cut-out of the site making provision for the installation of a power supply pillar, the following conditions are to be met:
 - Unrestricted access is to be provided to the front and two sides of each and every service pillar site (1.3m x 1.3m typical)
 - Balustrades or fences are permitted to the sides of the pillar sites if they are constructed entirely outside of the pillar site (including foundations), are of light-weight construction and are easily removable.
 - The surface of the pillar site is to be finished entirely with turf, avoiding the use of pavers, stones or other finishes.

Definitions:

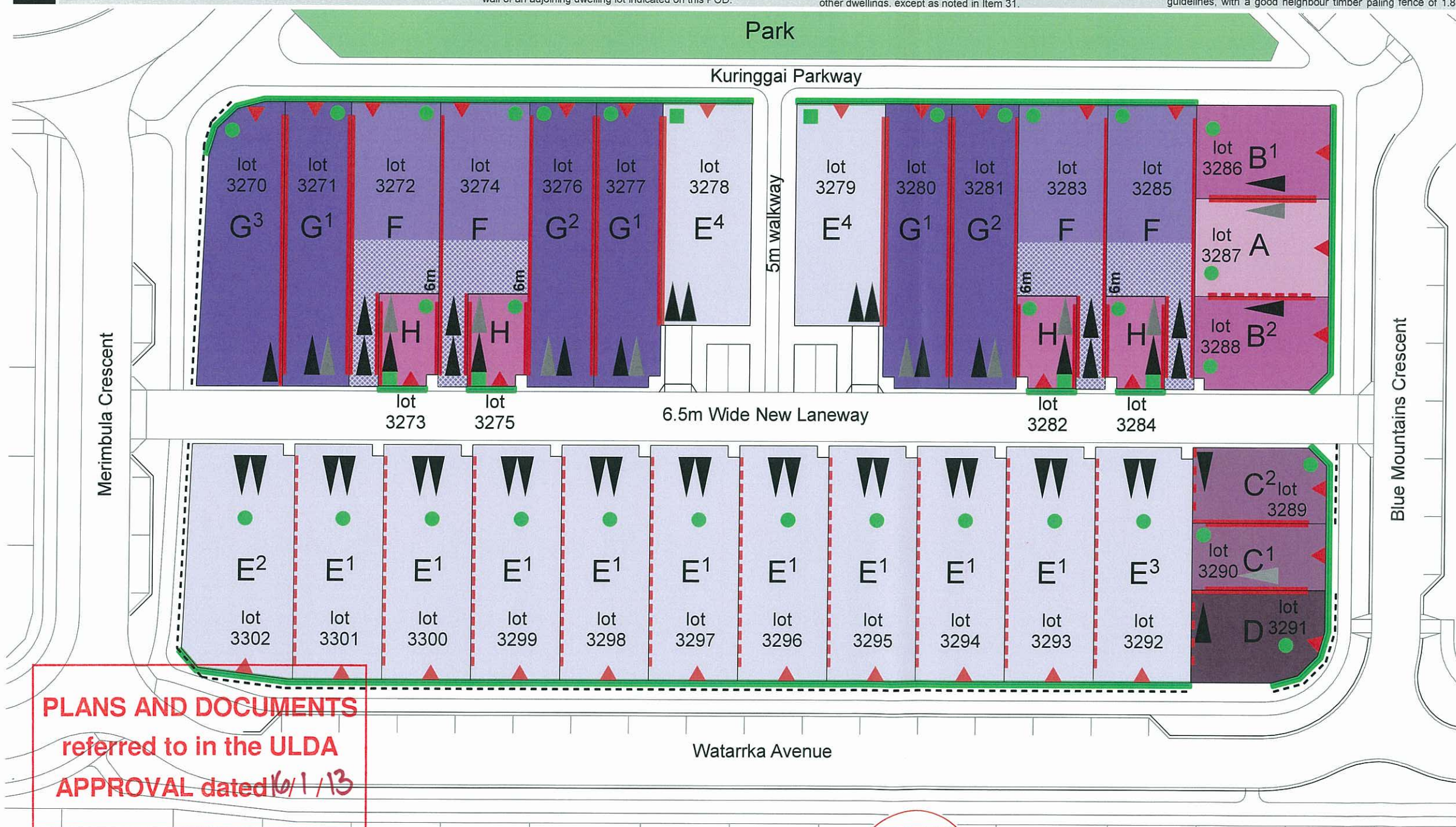
Laneway: A narrow public road (6.5m) that primarily provides vehicle access and services to dwellings.
Pathway: A public pedestrian walkway within a road reserve.
Park: An park or open space as noted on the legend of this POD.
Open Structures: Balconies, hoods, porticoes, verahdahs, etc. that are visually permeable at the ground level.
Street: A public road (typically 15m or greater) that provides vehicle access and services to dwellings and Open Spaces.

Legend

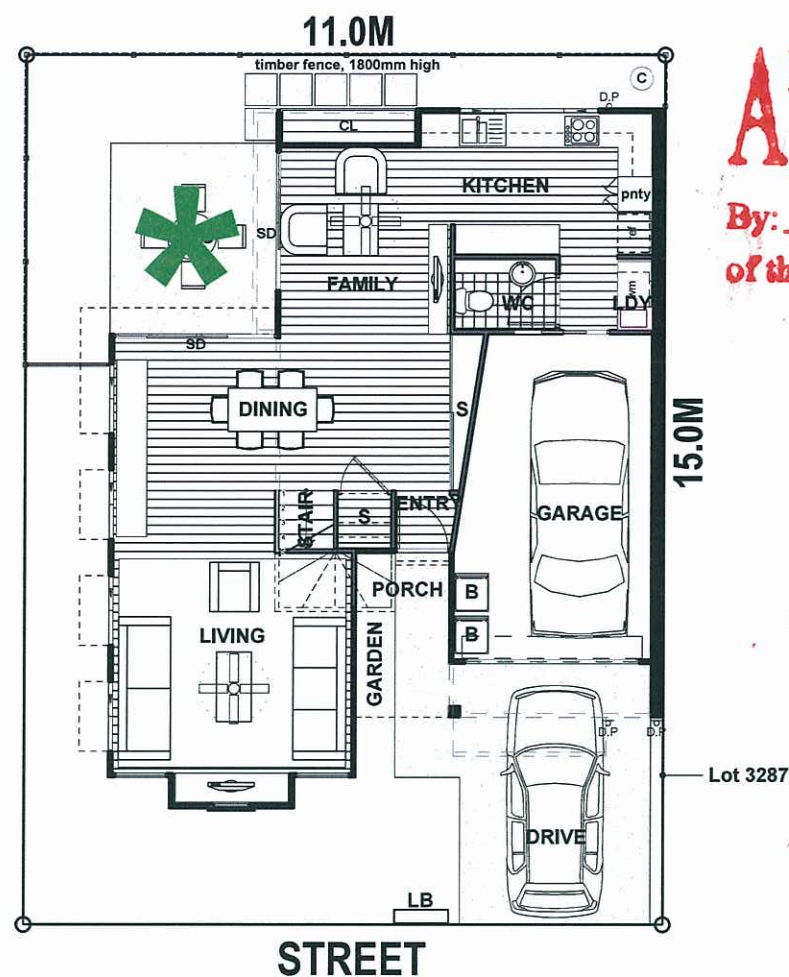
- A¹** Dwelling Type Code
- ▲ Mandatory Position of Covered Car
- ▲ Suggested Position of Covered Car
- ▲ Pedestrian Entry Frontage
- Ground Flr Private Open Space
- First Flr Private Open Space
- Maximum Height of 4.5m (hatched)
- 6m** Extent of max 4.5m height
- Mandatory Built-to-Bdy Walls
- Optional Built-to-Bdy Walls
- Primary Frontage
- No Vehicle Access
- Proposed Park / Open Space

Below are the approved dwelling design options for lots <250m²:

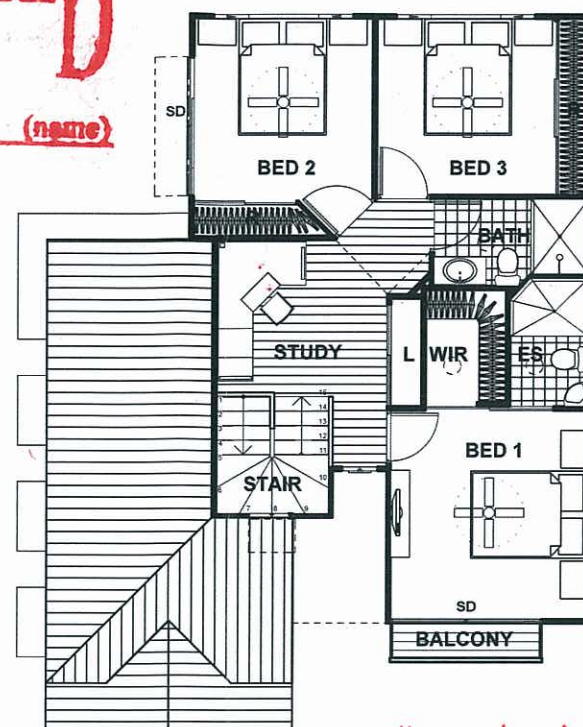
Lot 3287: [A] Urban 3 04 (11.0)
 Lots 3288 & 3286: [B] Urban 3 04 (10.5)
 Lot 3288: [B] Urban 2 06 (10.5)
 Lot 3290: [C] Urban 2 02 (7.5), [C] Urban 2 03 (7.5) & [C] Urban 3 02 (7.5)
 Lot 3289: [C] Urban 2 01 (8.5)
 Lot 3291: [D] Urban 2 01 (10.4)
 Lots 3271, 3276, 3277, 3280 & 3281: [G] Terrace 2 02 (7.5), [G] Terrace 3 02 (7.5) & [G] Terrace 4 02 (7.5)
 Lots 3273, 3275, 3282 & 3284: [H] Nano Loft 2 02 & [H] Nano 3 01 (6.7)



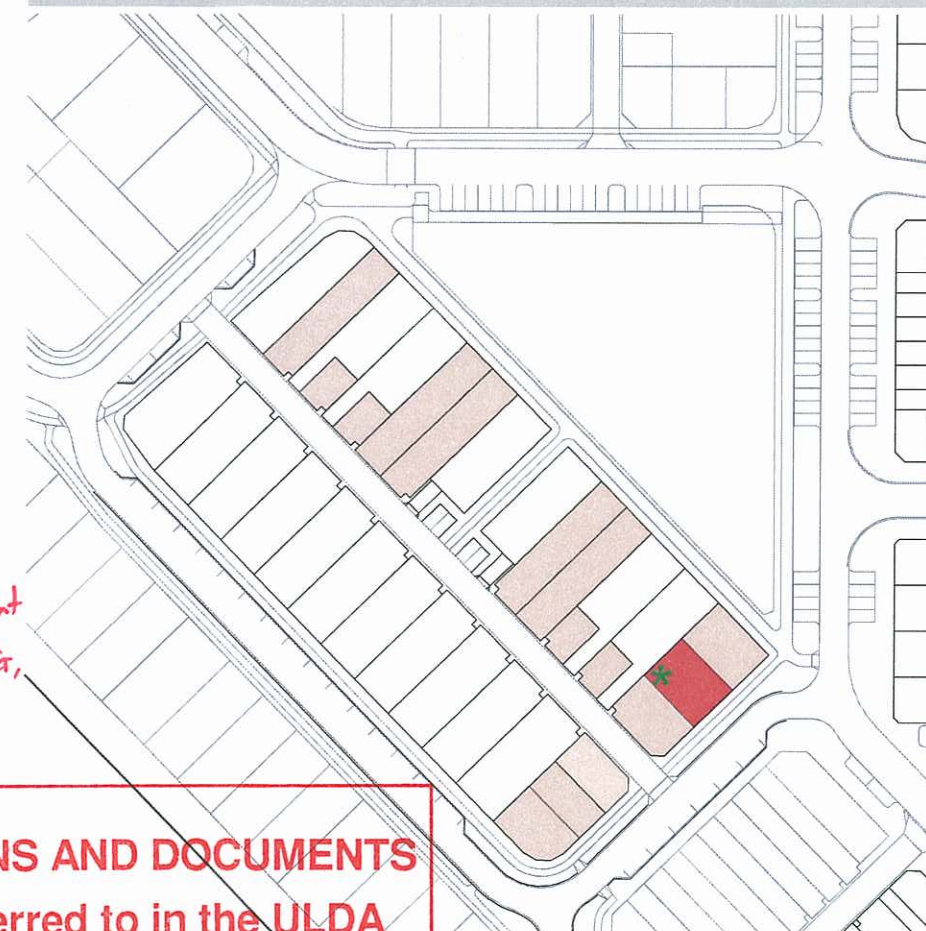
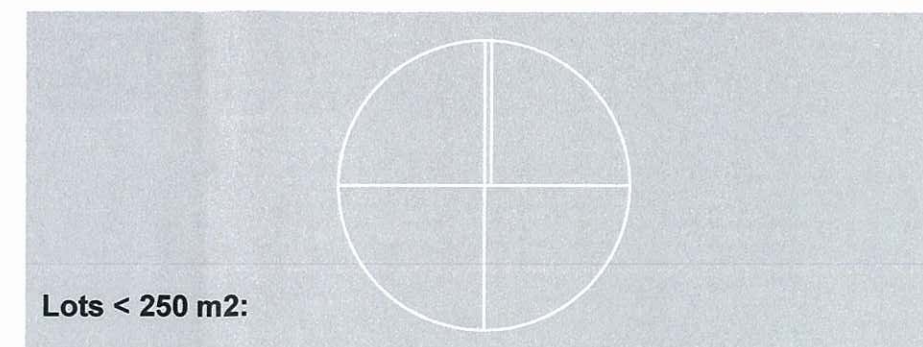
PLANS AND DOCUMENTS
 referred to in the ULDA
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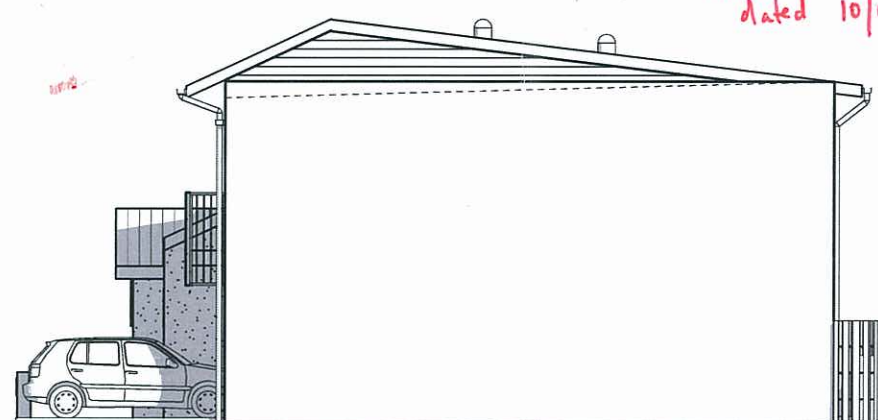
House plans for proposed
Lot 3287 as shown on
approved Plan of Development
(ULD036 DA 01.02, Issue G,
dated 10/01/13).



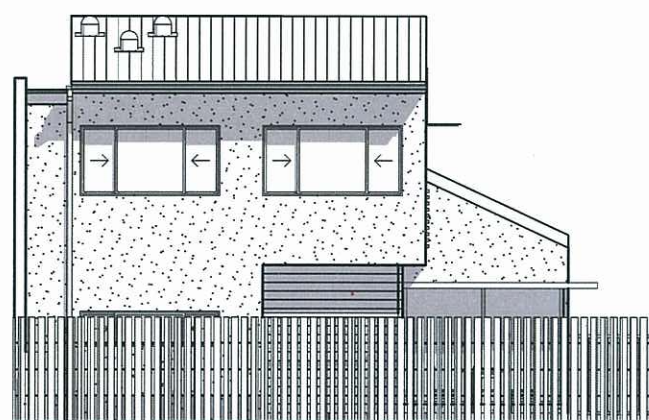
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APPROVAL dated 16/1/13



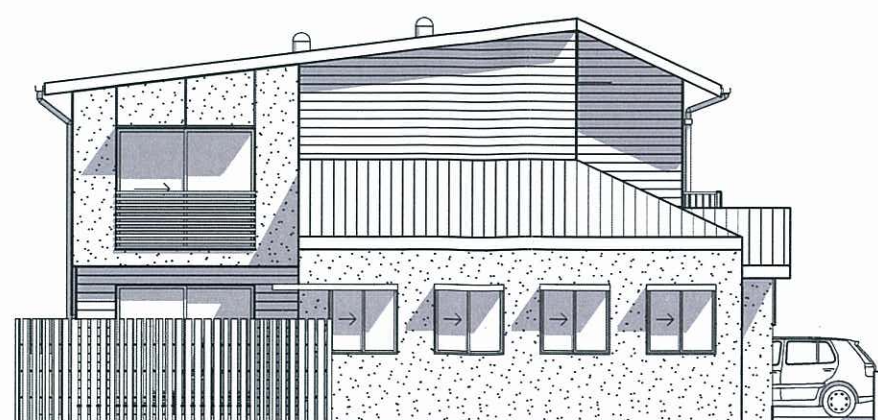
STREET ELEVATION



SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2



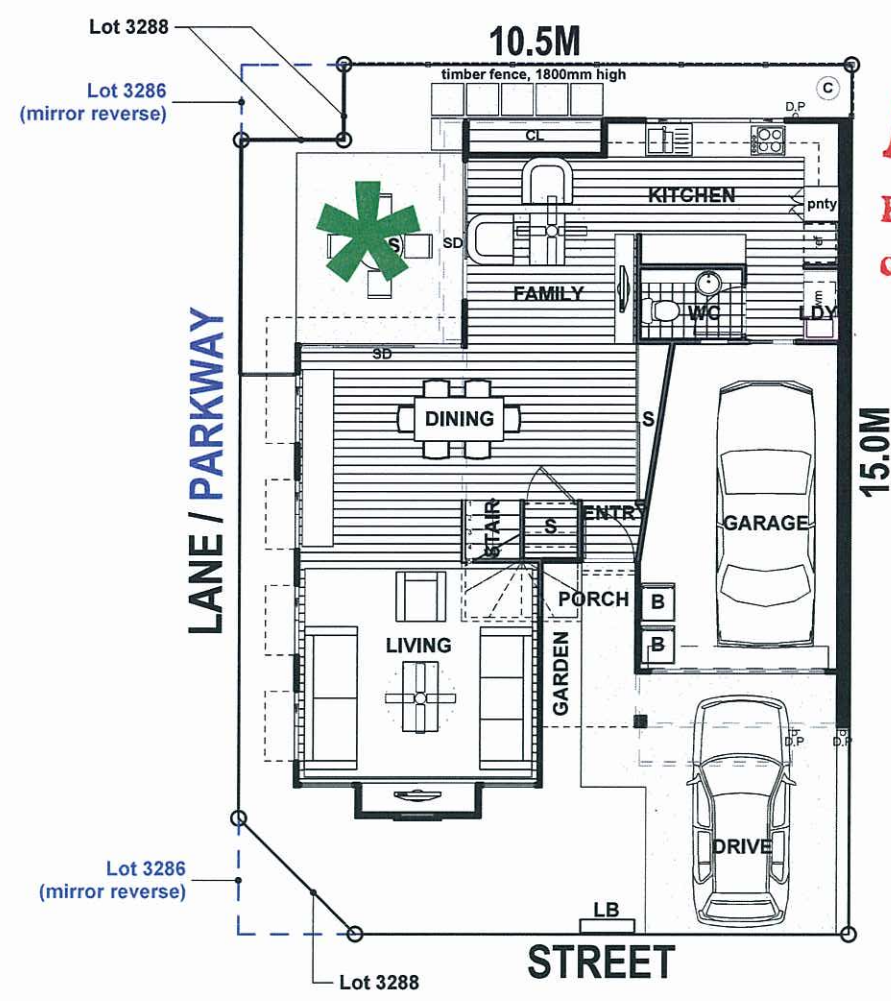
[A] Urban 3 04 (11.0) for Urban Land Development Authority

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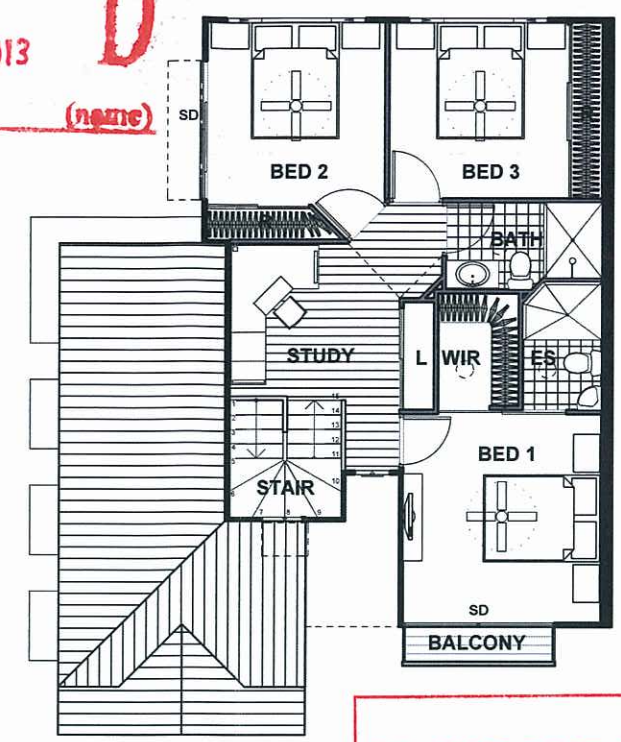
27/11/12 ■ ISSUE B

GFA: 128 m2

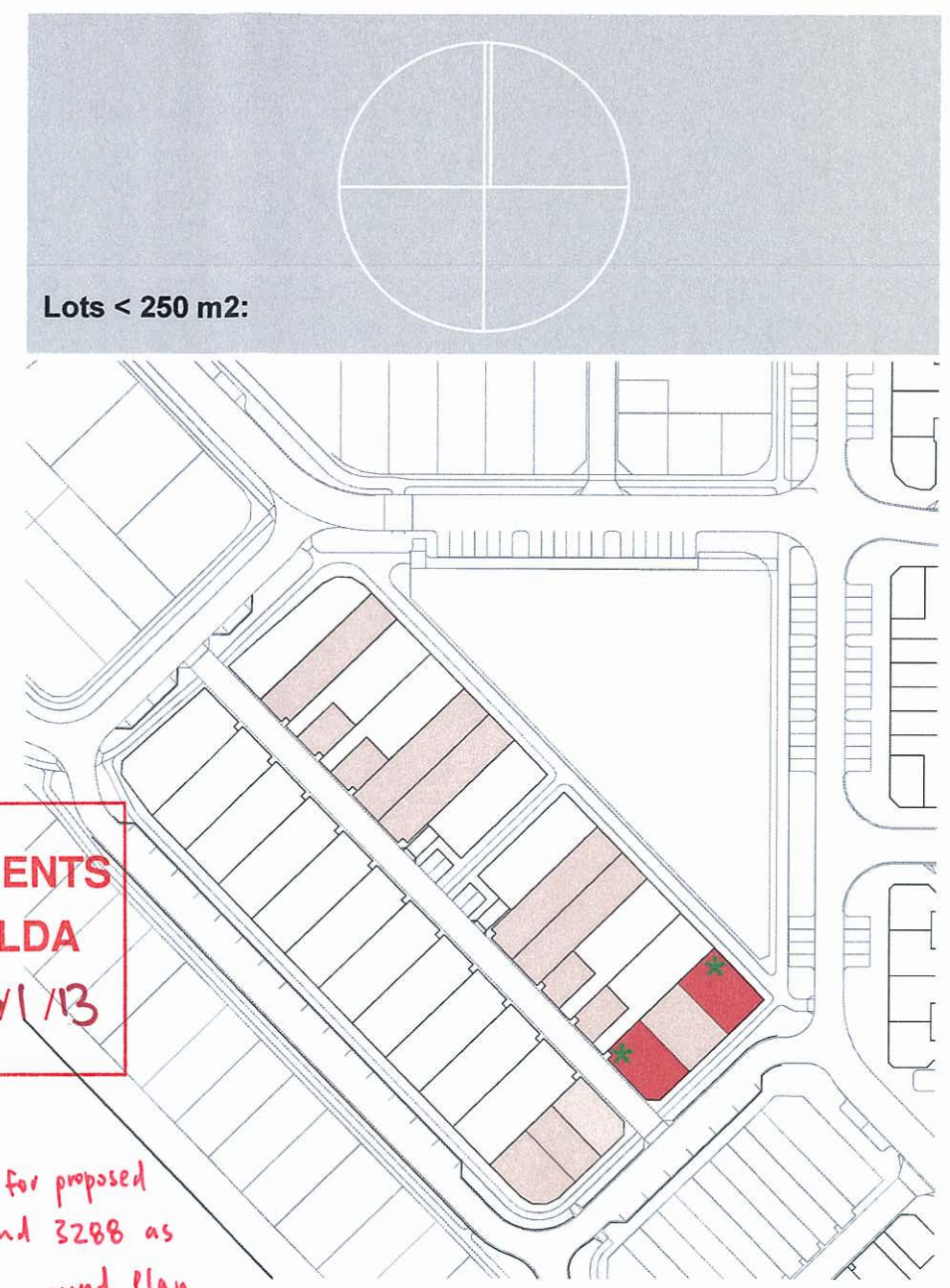
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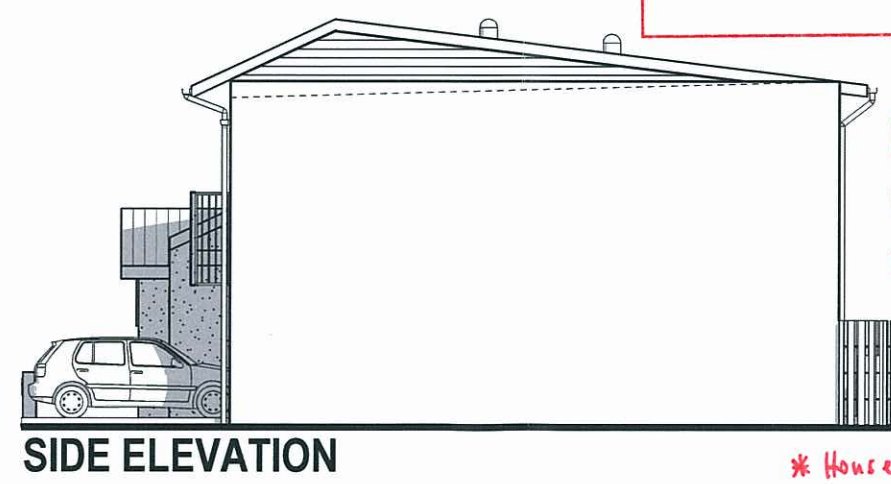
PLANS AND DOCUMENTS
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Lots < 250 m2:



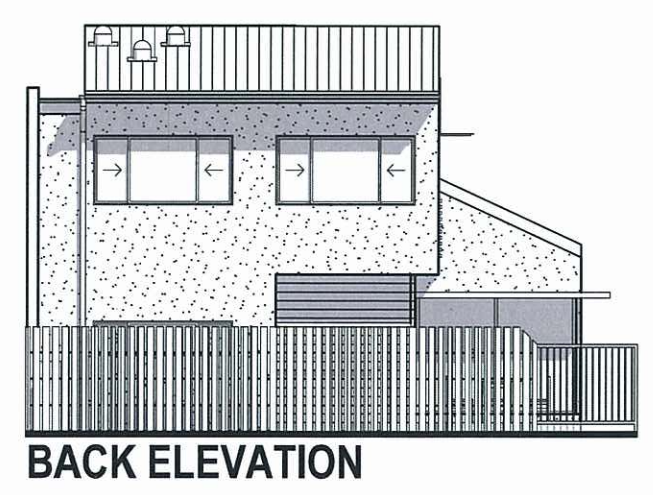
STREET ELEVATION



SIDE ELEVATION

House plans for proposed
Lots 3286 and 3288 as
shown on approved Plan
of Development (ULD 036
DA 01.02, Issue G, dated
10/01/13).

* House plans to be mirrored
for Lot 3286.



BACK ELEVATION



LANE/PARKWAY ELEVATION

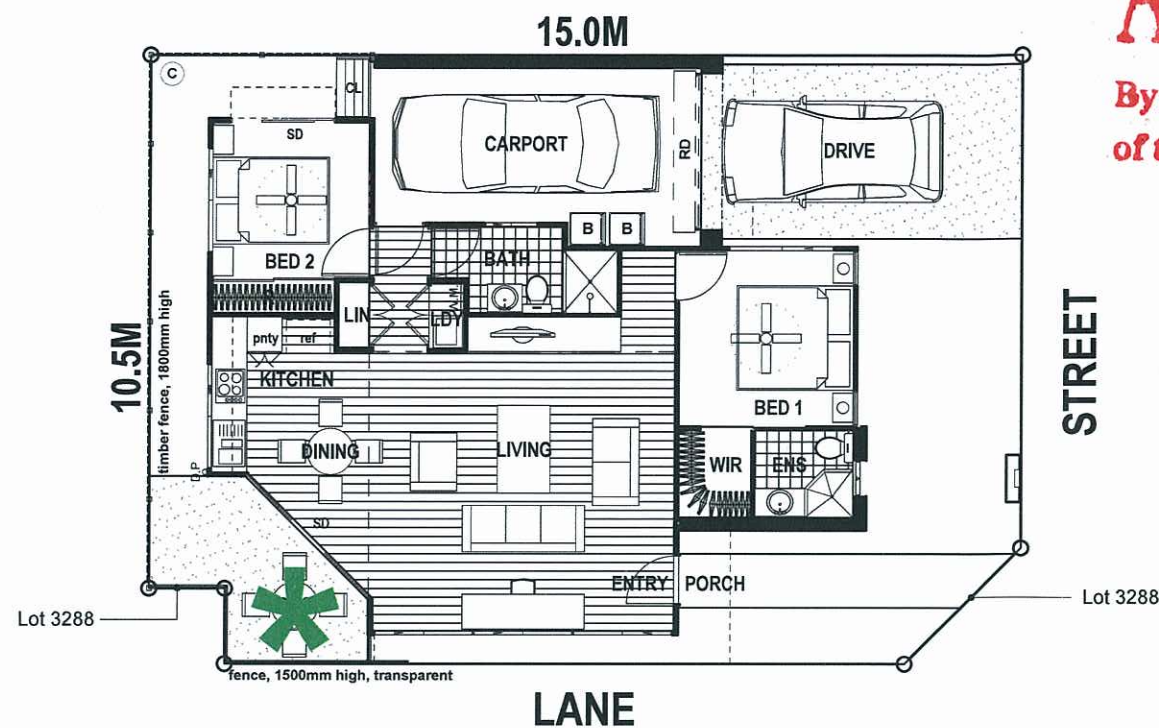


[B] Urban 3 04 (10.5) for Urban Land Development Authority

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27/11/12 ■ ISSUE B

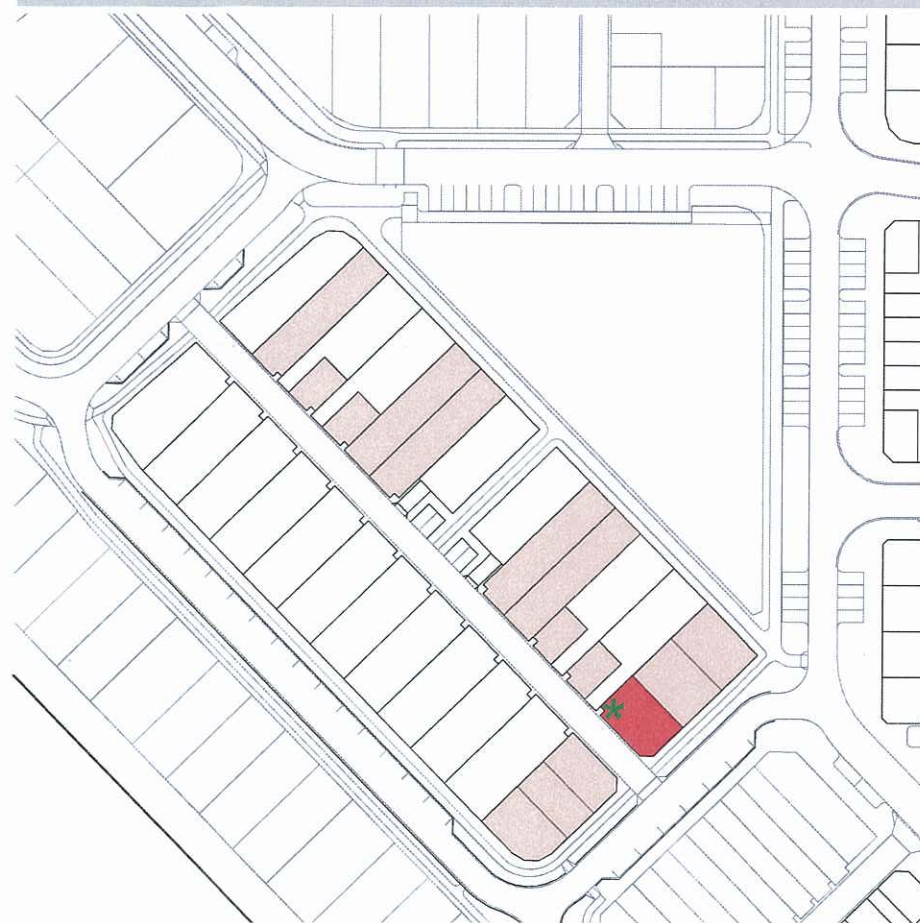
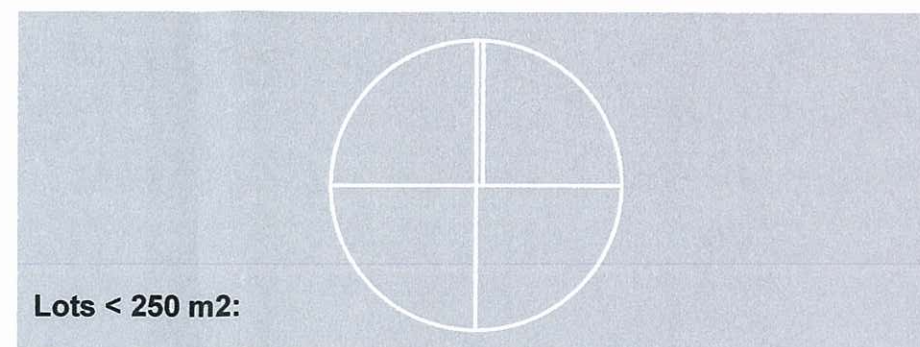
GFA: 128 m2

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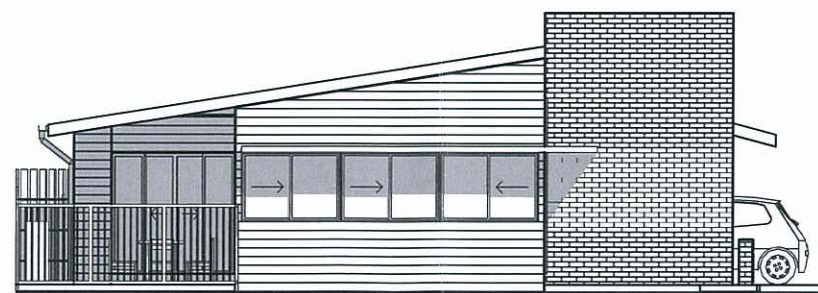


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House plans for proposed
Lot 3288 as shown on
approved Plan of Development
(ULD036 DA01.02, Issue G, dated
10/01/13).

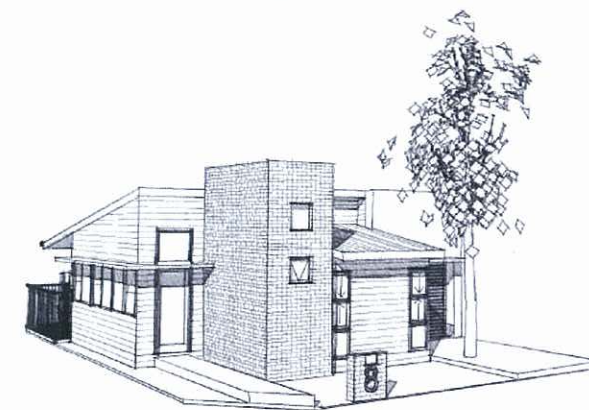


STREET ELEVATION



LANE ELEVATION

PLANS AND DOCUMENTS
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APPROVAL dated 10/1/13



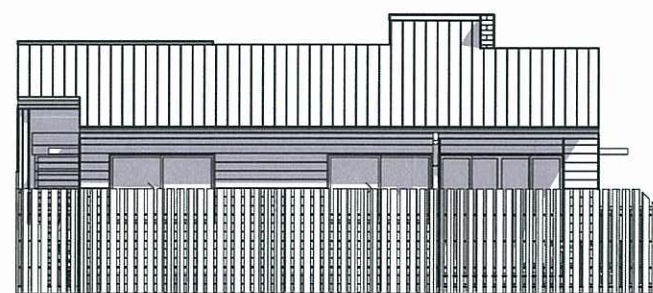
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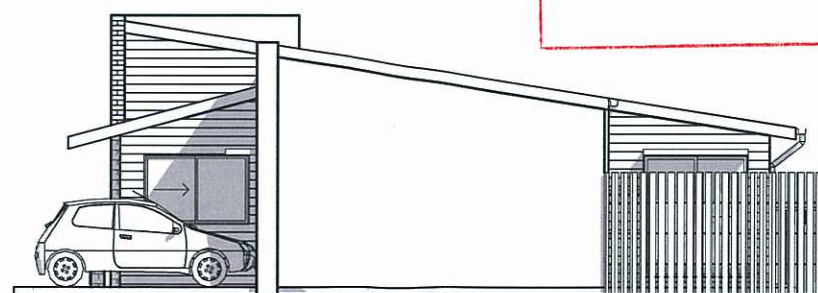
27/11/12 ■ ISSUE B

GFA: 74 m²

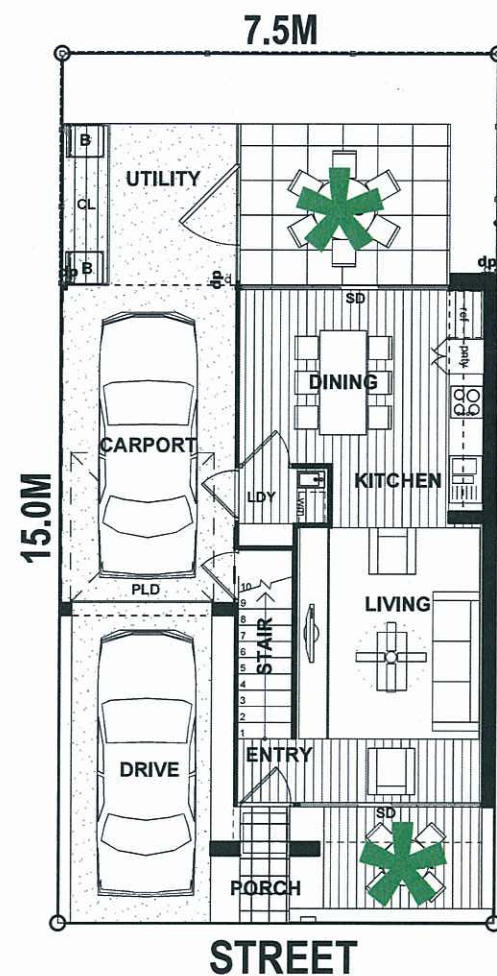
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BACK ELEVATION



SIDE ELEVATION

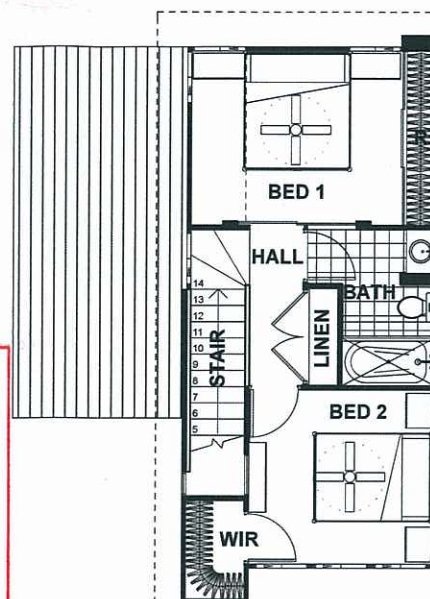


Lot 3290

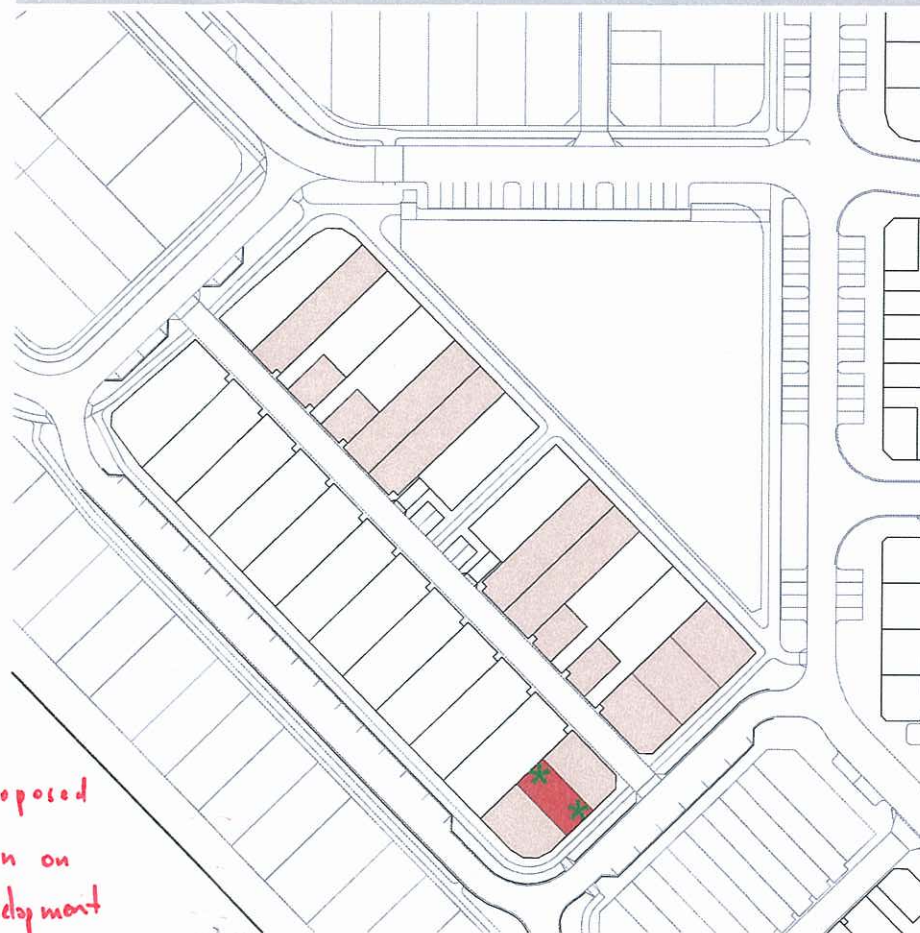
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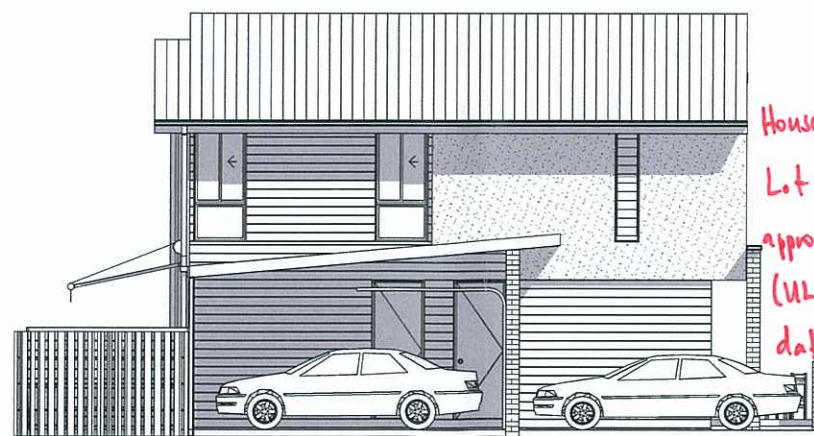
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Lots < 250 m2:



STREET ELEVATION

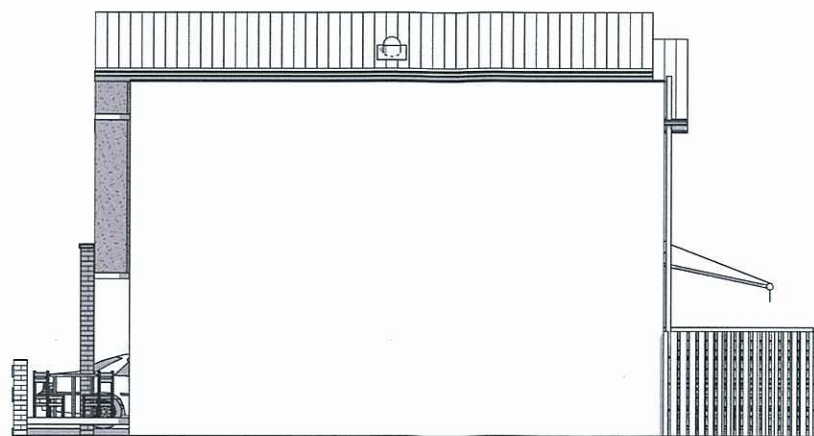


SIDE ELEVATION 1

House plans for proposed
Lot 3290 as shown on
approved Plan of Development
(ULD 036 DA 01.02, issue G,
dated 10/01/13).



BACK ELEVATION



SIDE ELEVATION 2



[C] Urban 2 02 (7.5) for Urban Land Development Authority

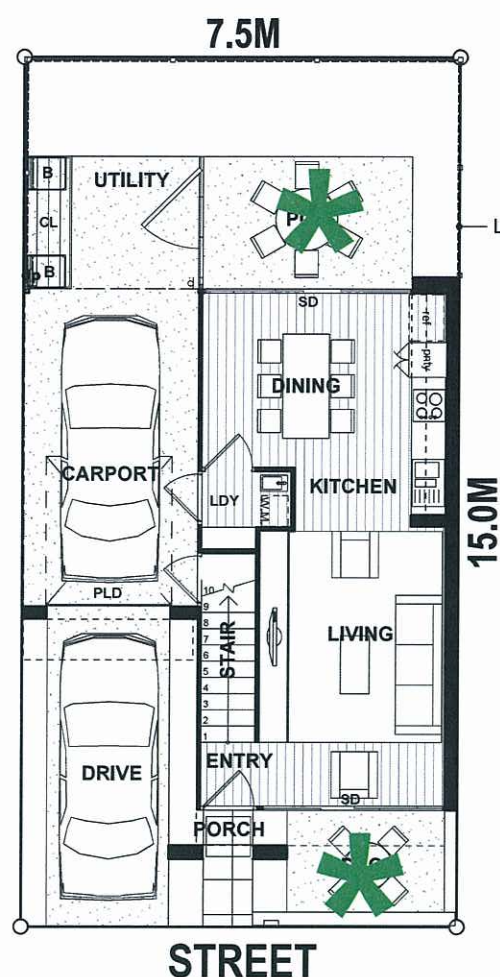
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27/11/12 ■ ISSUE B

GFA: 81 m2

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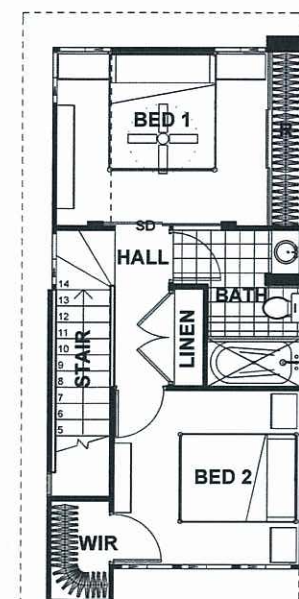




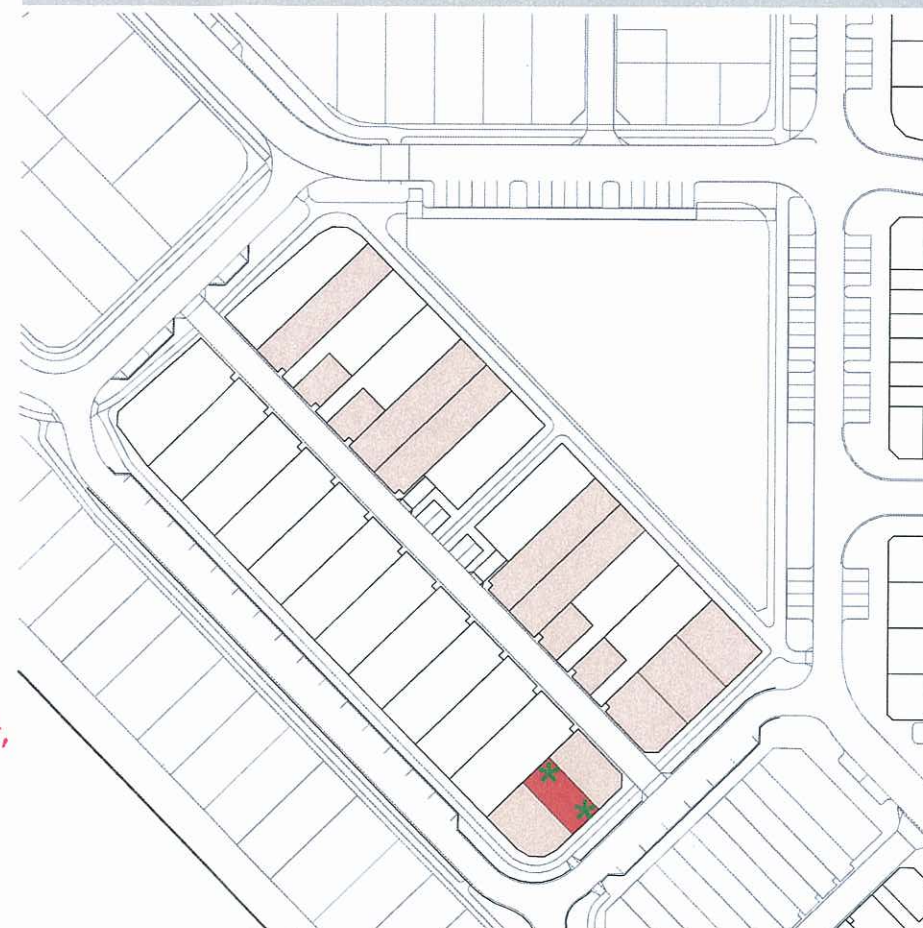
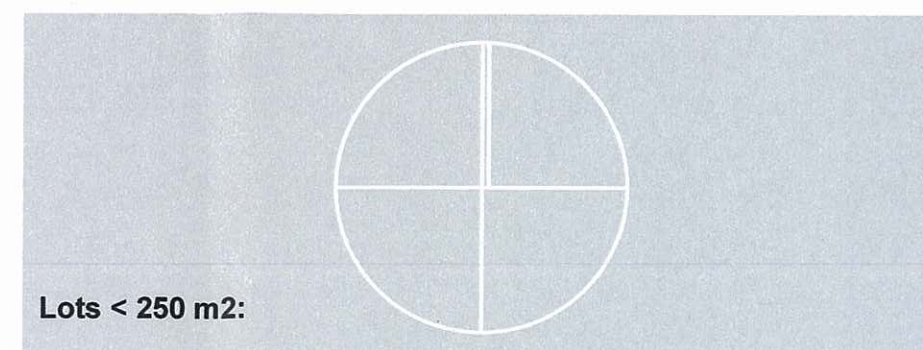
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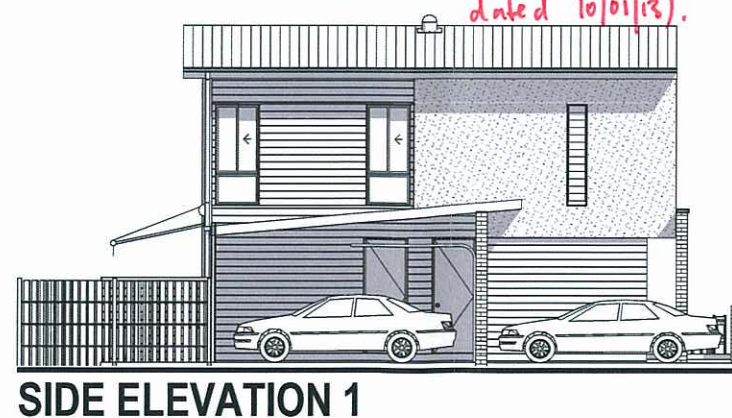
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APPROVAL dated 10/1/13



House plans for proposed Lot 3290
as shown on approved Plan of
Development (ULD036 DA01.02, issued,
dated 10/01/13).



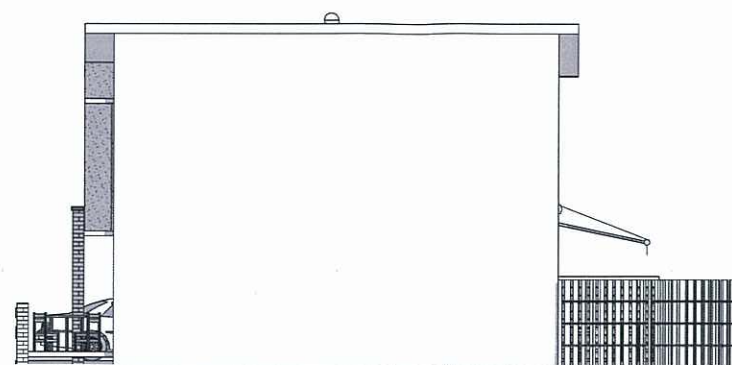
STREET ELEVATION



SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2



[C] Urban 2 03 (7.5) for Urban Land Development Authority

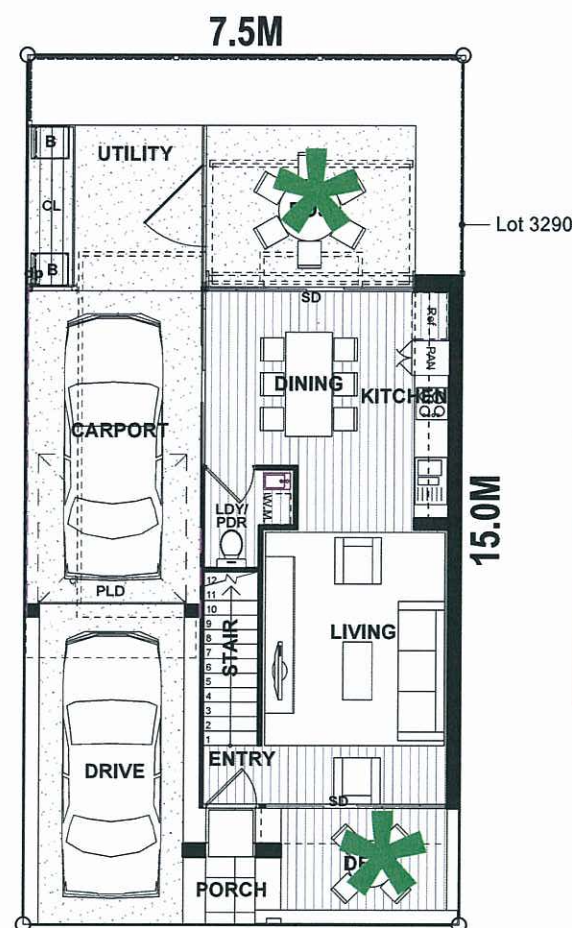
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27/11/12 ■ ISSUE B

GFA: 81 m2

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SHEDD





STREET



STREET ELEVATION



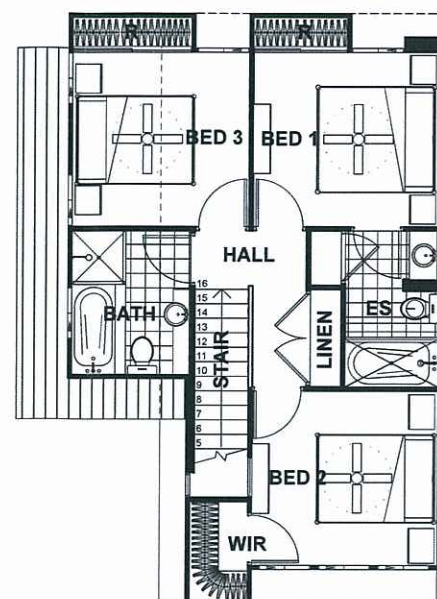
BACK ELEVATION



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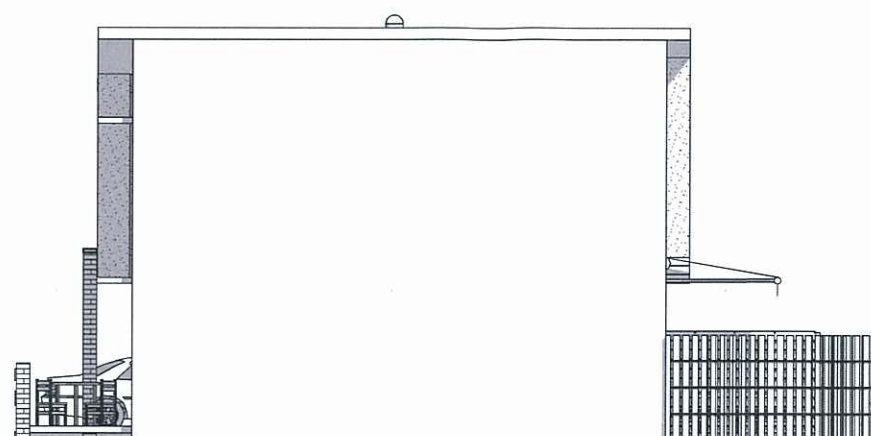
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referred to in the ULDA
APPROVAL dated 6/1/13



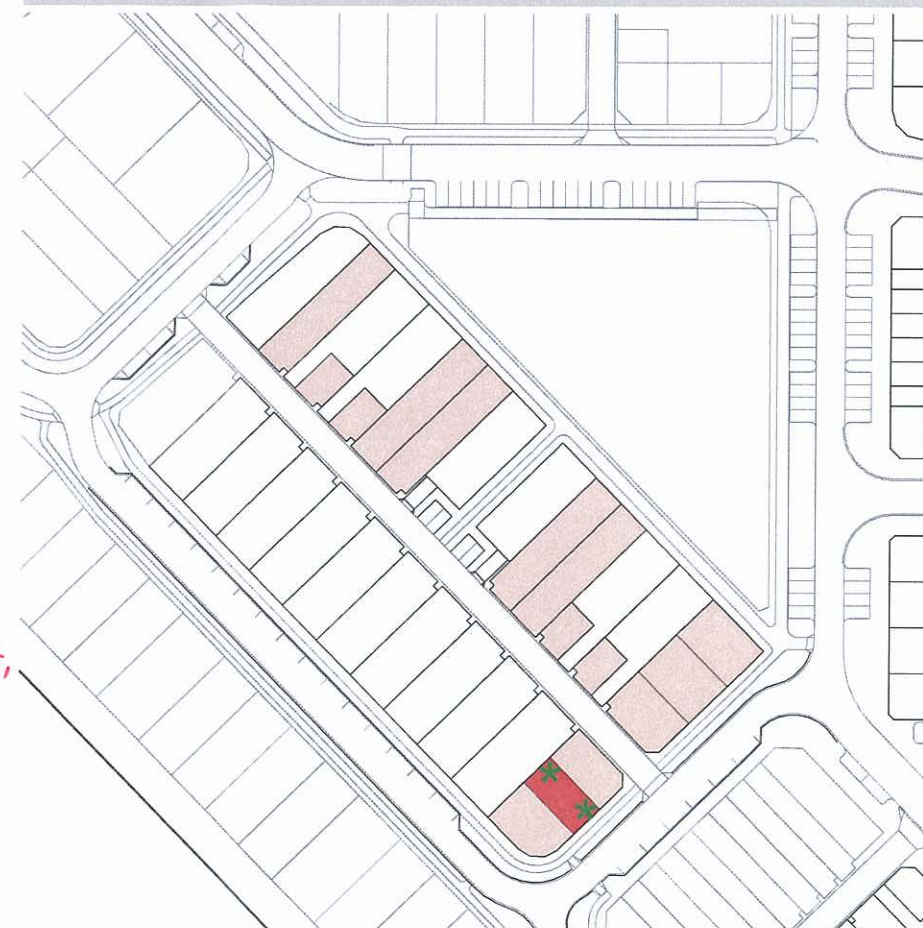
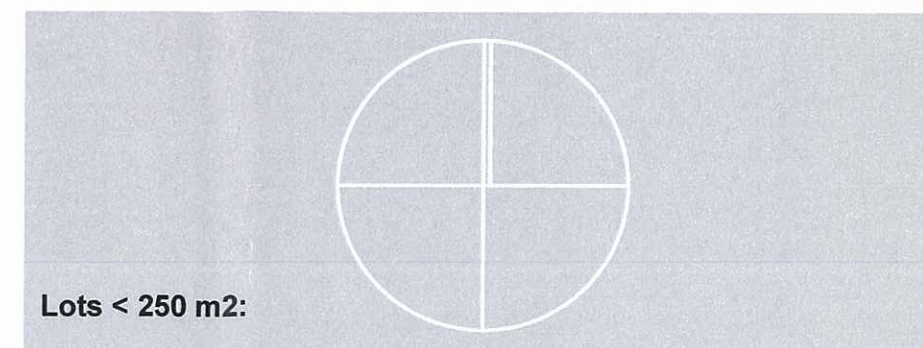
House plans for proposed Lot 3290
as shown on approved Plan of
Development (ULD036 DA01-02, issue G,
dated 10/01/13).



SIDE ELEVATION 1



SIDE ELEVATION 2



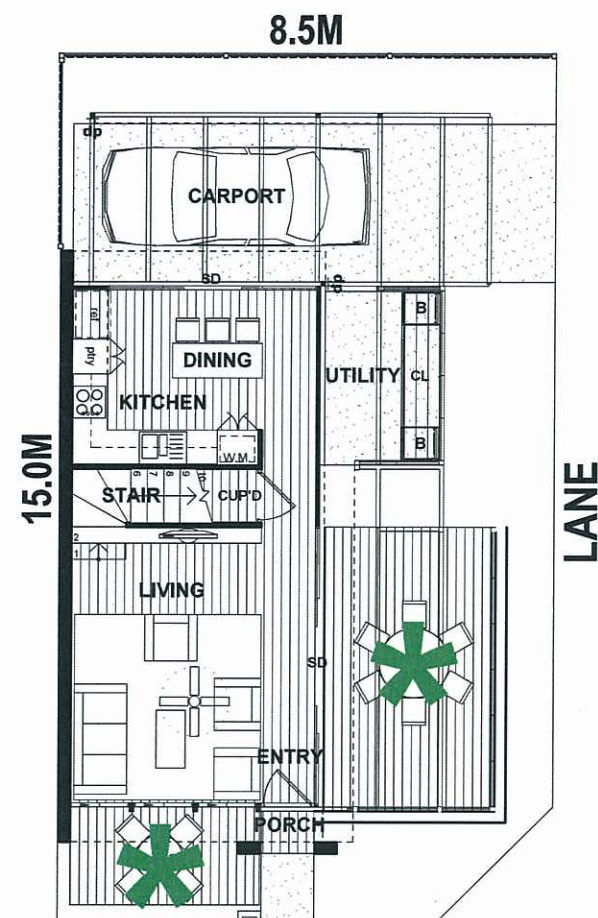
[C] Urban 3 02 (7.5) for Urban Land Development Authority

1:125/1:1500 @ A3 ■ ULD036 DA 03.06

27/11/12 ■ ISSUE B

GFA: 96 m2

degenhart
SHEDD

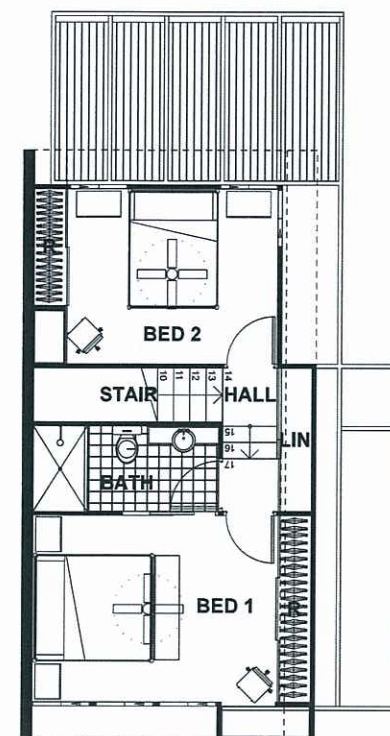


STREET

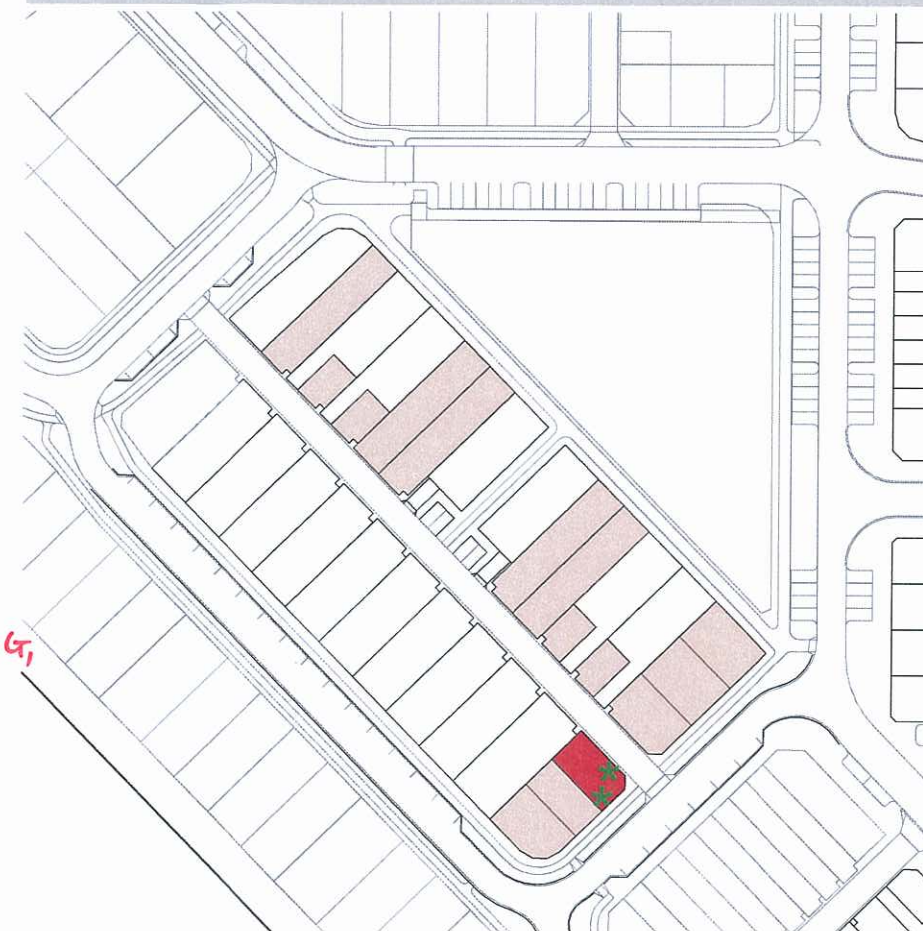
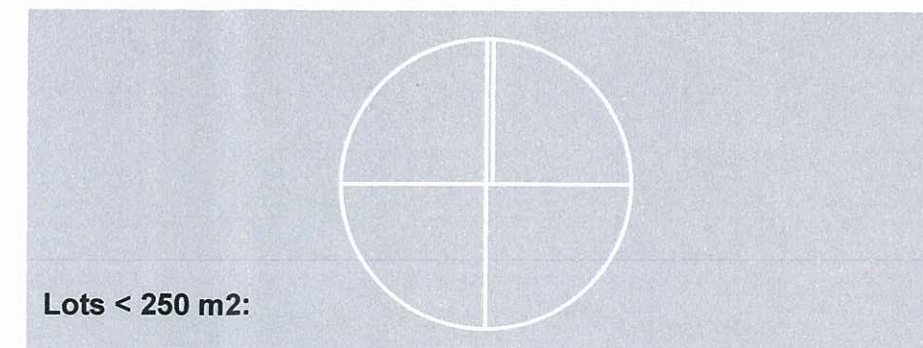
LANE

AMENDED IN RED
11 JAN 2013
By: BRIANNA FYFFE (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 16/1/13



House plans for proposed Lot 3289
as shown on approved Plan of
Development (ULD036 DA01.02, issue 6,
dated 10/01/13).



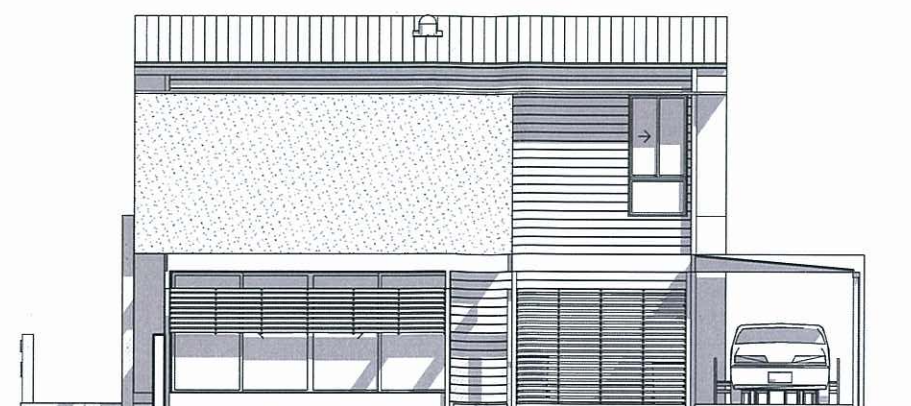
STREET ELEVATION



SIDE ELEVATION 1



SIDE ELEVATION 2



LANE ELEVATION

[C] Urban 2 01 (8.5) for Urban Land Development Authority

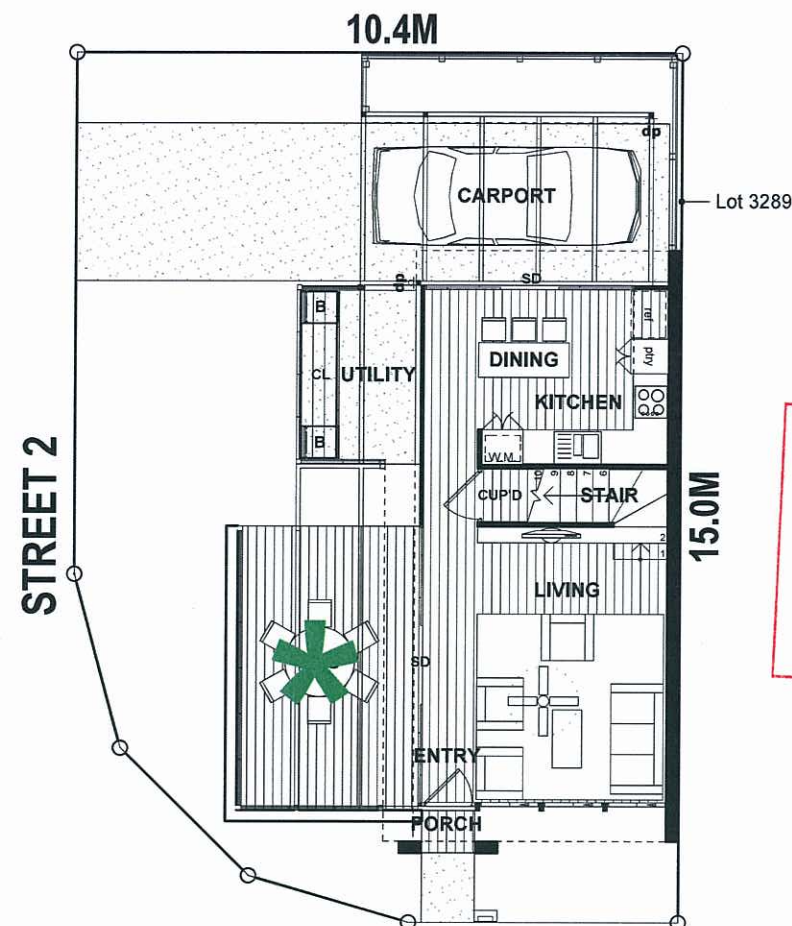
1:125/1:1500 @ A3 ■ ULD036 DA 03.07

27/11/12 ■ ISSUE B

GFA: 84 m2

degenhart
SHEDD





STREET 1



STREET ELEVATION 1



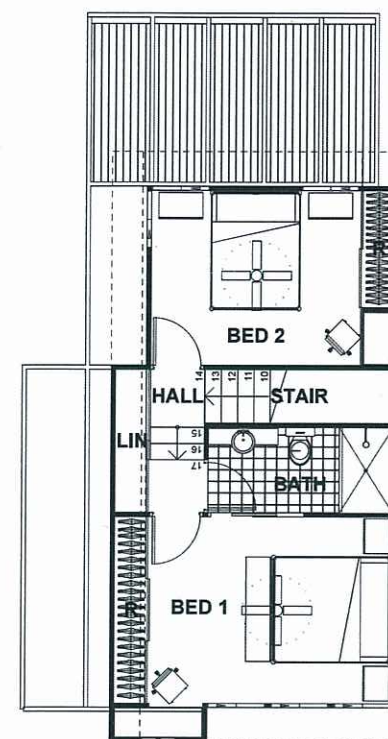
SIDE ELEVATION



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11 JAN 2013

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of the ULDA

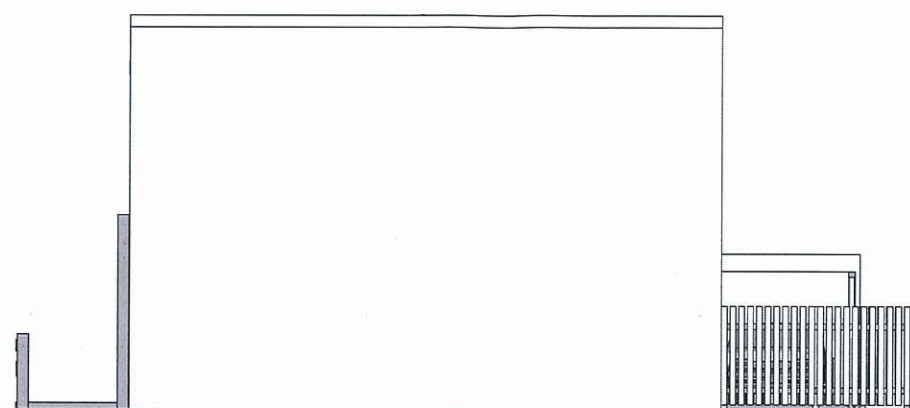
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 10/1/13



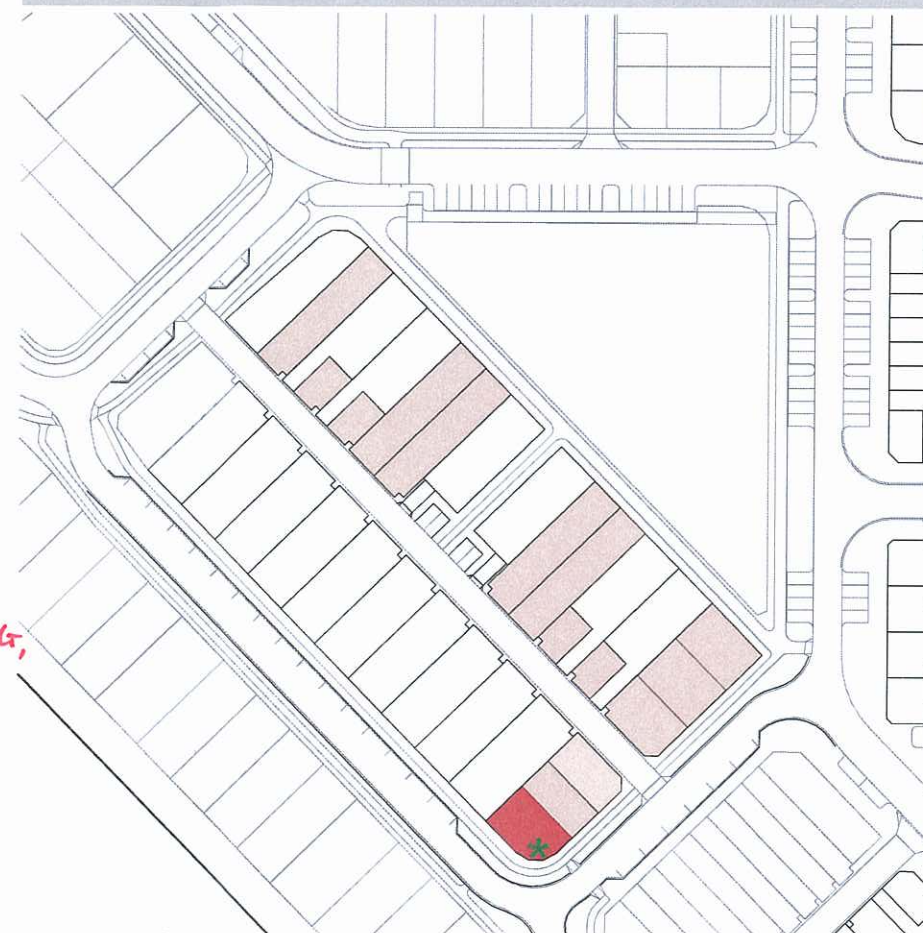
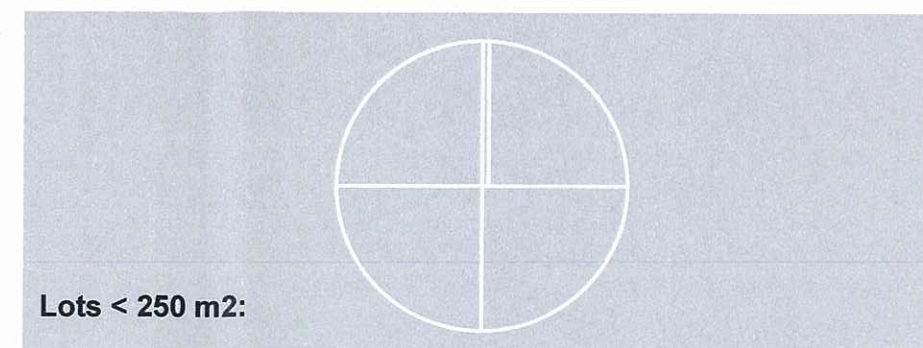
House plans for proposed Lot 3291
as shown on approved Plan of
Development (ULD 036 DA01.02, issue G,
dated 10/01/13).



STREET ELEVATION 2



BACK ELEVATION



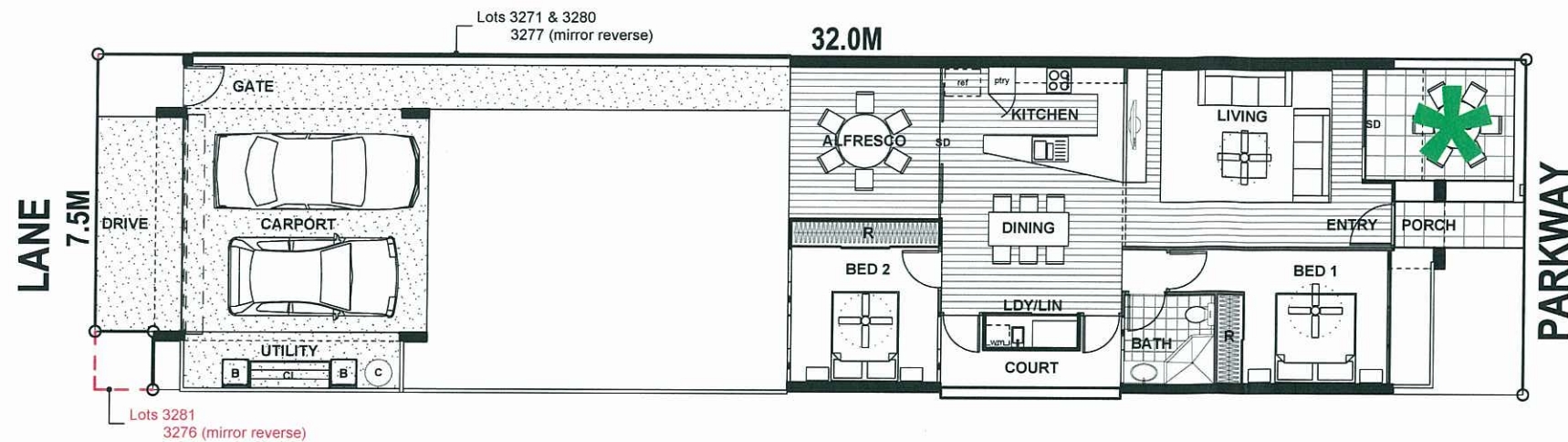
[D] Urban 2 01 (10.4) for Urban Land Development Authority

1:125/1:1500 @ A3 ■ ULD036 DA 03.08

27/11/12 ■ ISSUE B

GFA:80 m2

degenhart
SHEDD



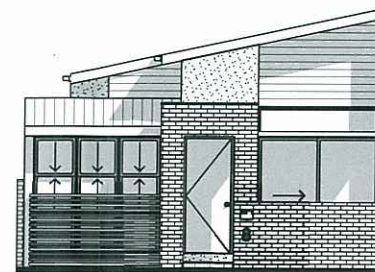
A MENDED IN **RED**
11 JAN 2013

By: BRIANNA FYFFE (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 16/1/13

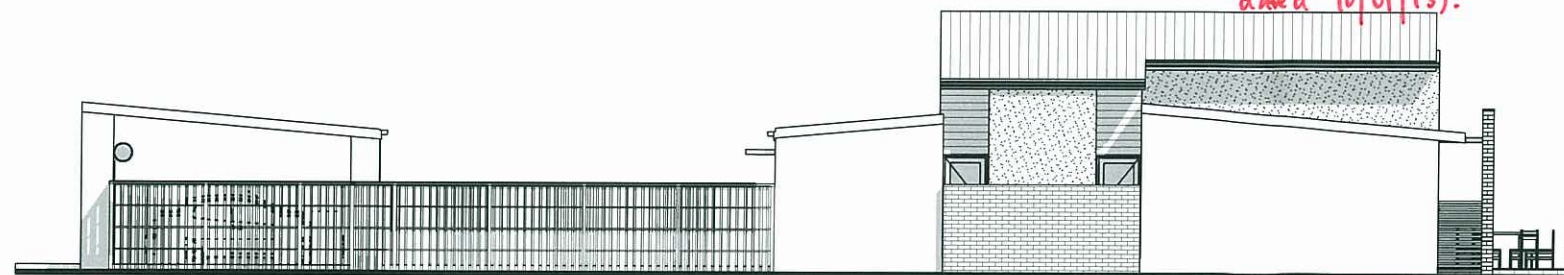


LANE ELEVATION



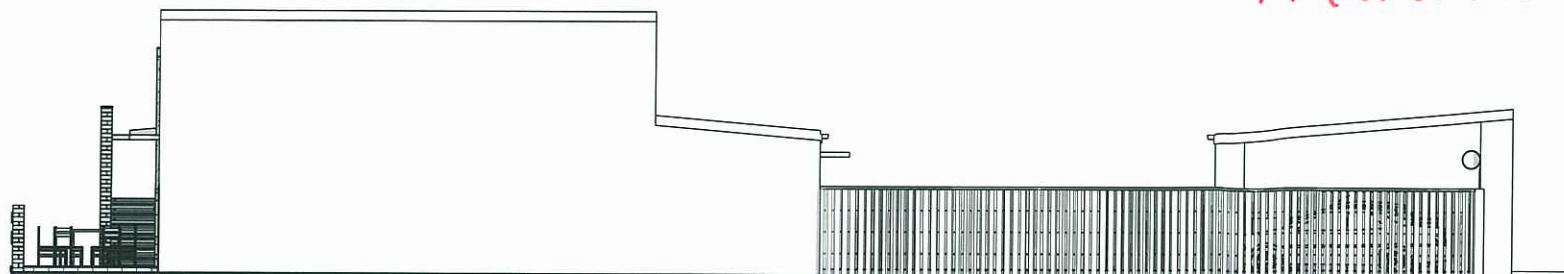
STREET ELEVATION

House plans for proposed Lots 3271, 3276,
3277, 3281 and 3281 as shown on approved
Plan of Development (ULD 036 DA01.02, issue 6,
dated 10/01/13).

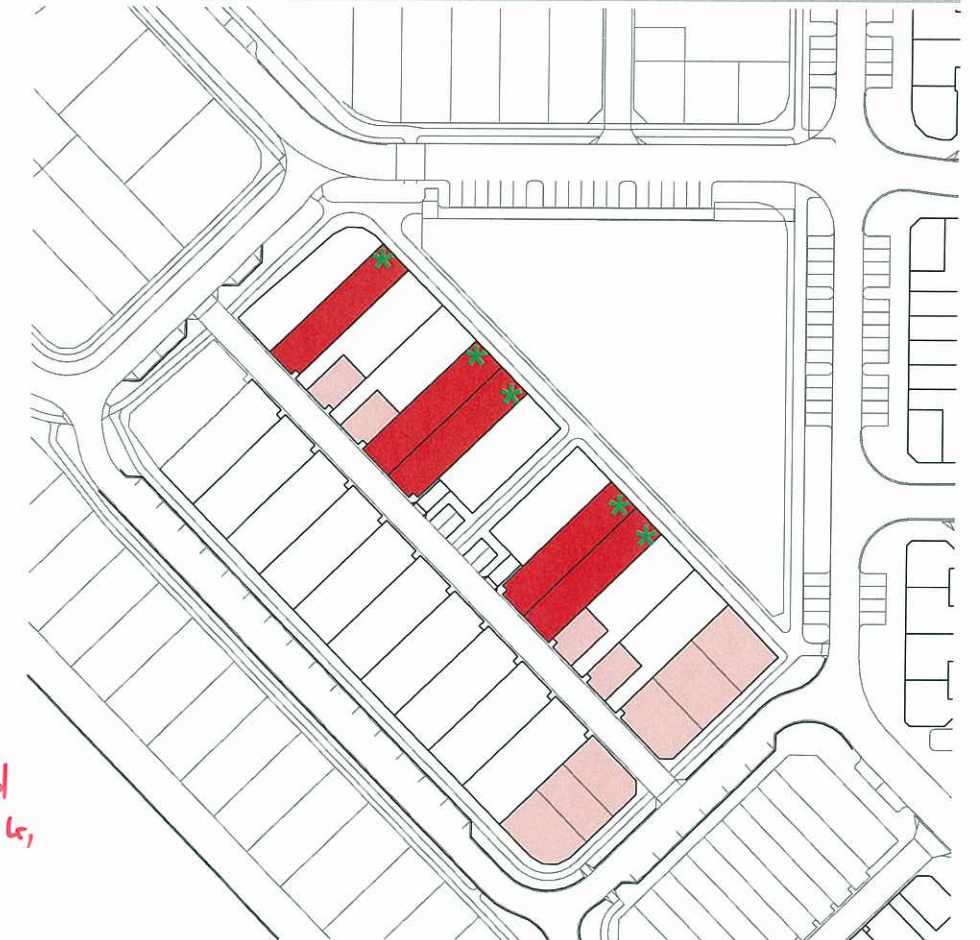
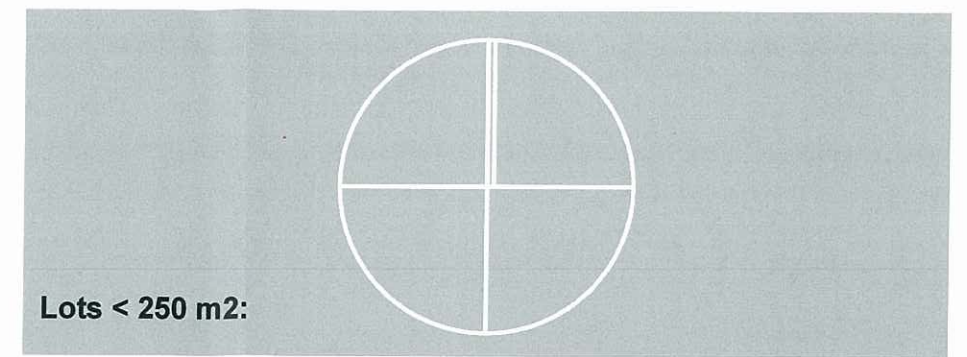


SIDE ELEVATION 1

* House plans to be mirrored where the
driveway location and built-to-boundary
walls are consistent with the approved
POP (ULD 036 DA01.02, Issue 6, dated 10/01/13).



SIDE ELEVATION 2



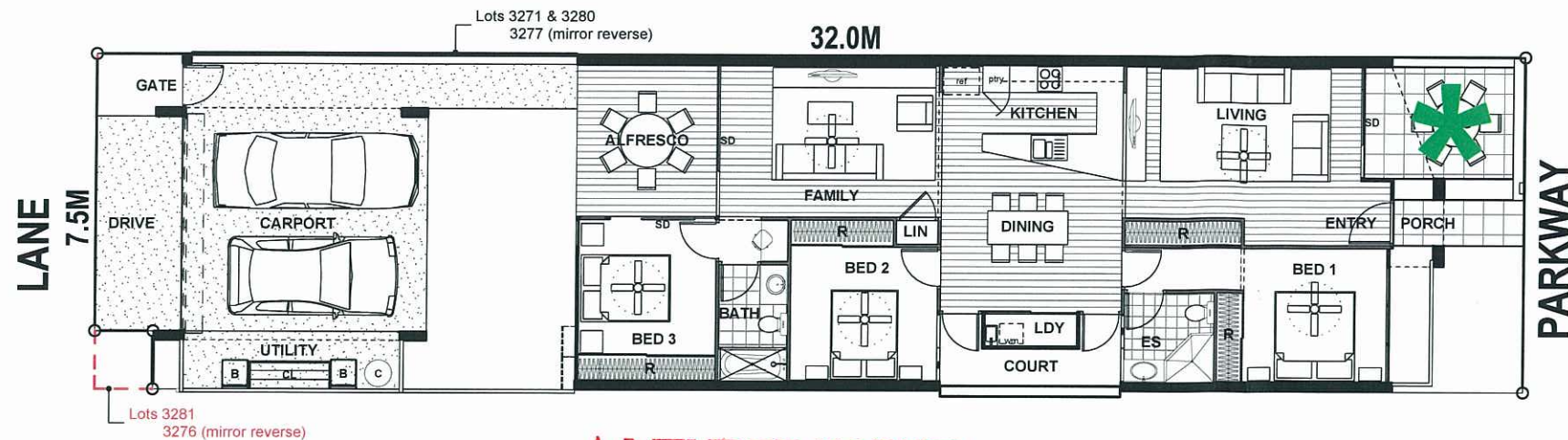
[G] Terrace 2 02 (7.5) for Urban Land Development Authority

1:150/1:1500 @ A3 ■ ULD036 DA 03.09

03/12/12 ■ ISSUE C

GFA: 82 m2

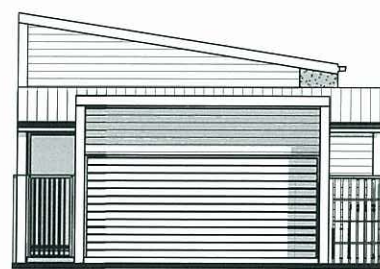
degenhart
SHEDD



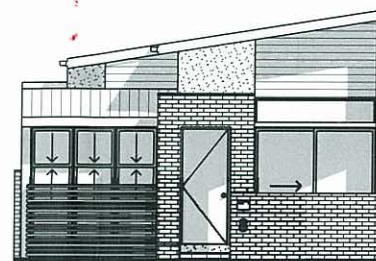
AMENDED IN RED
11 JAN 2013

By: BRIANNA FUFFE (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 16/1/13

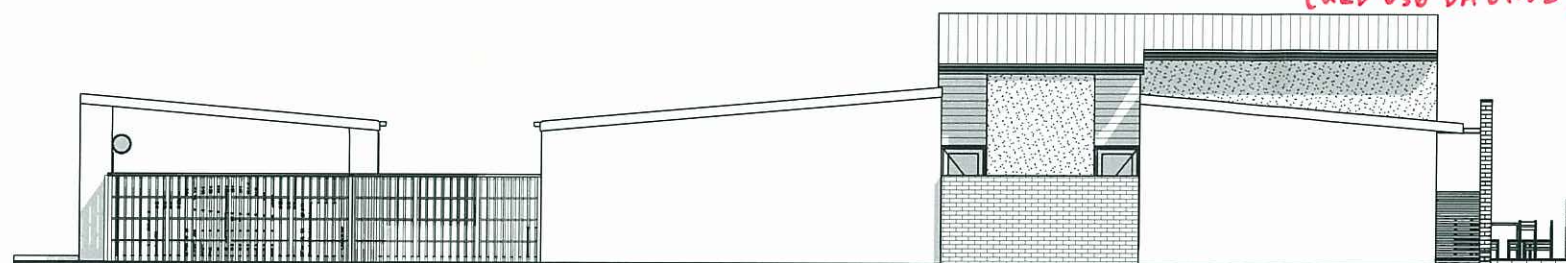


LANE ELEVATION



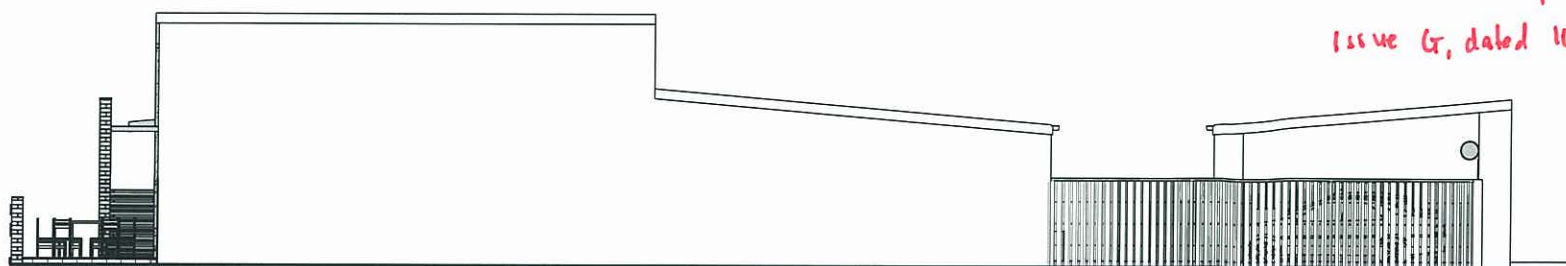
STREET ELEVATION

House plans for proposed Lots 3271,
3276, 3277, 3280 and 3281 as shown
on approved Plan of Development
(ULD 036 DA 01.02, issue G, dated 10/01/13).

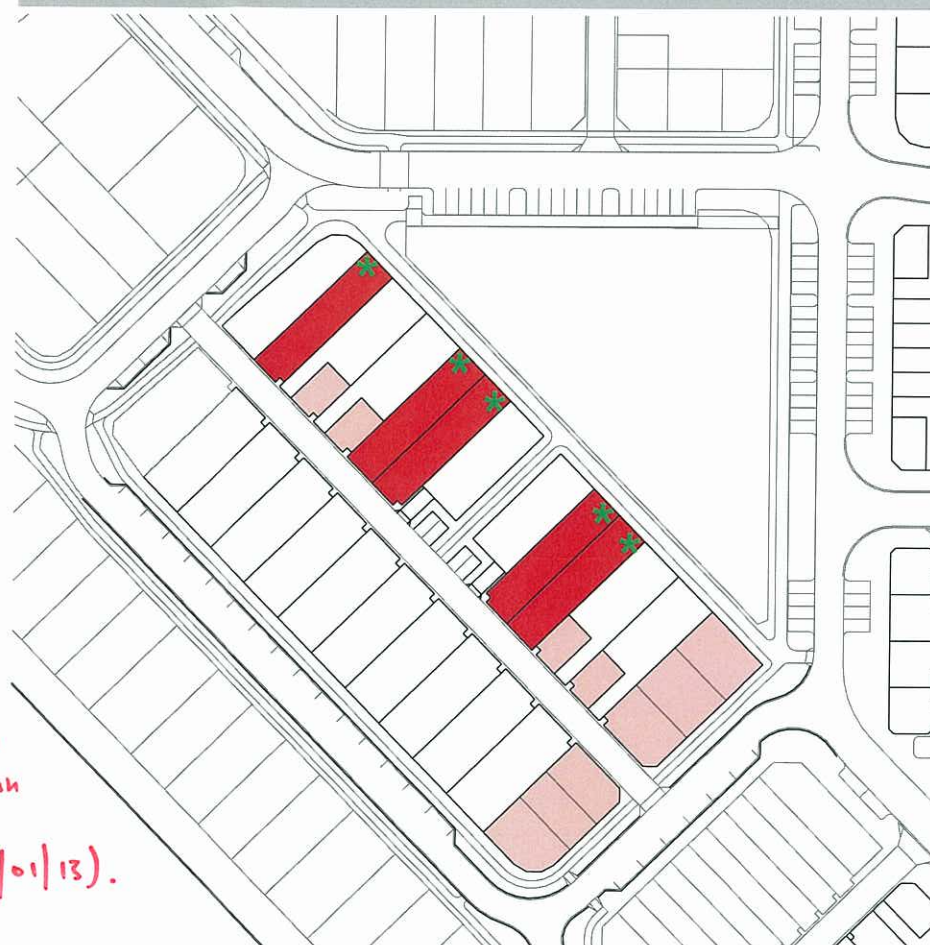
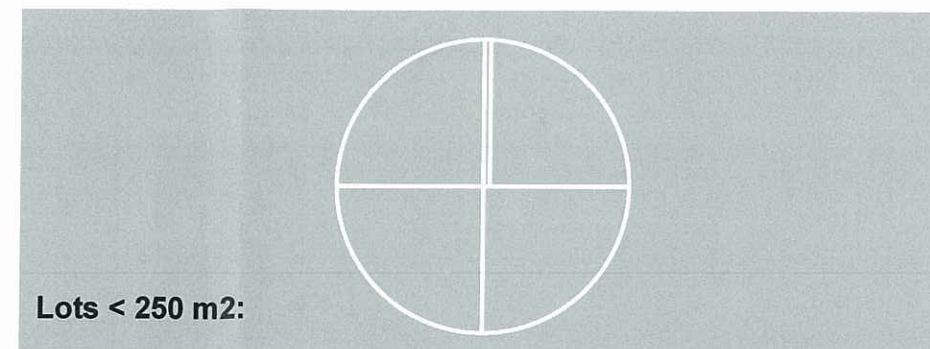


SIDE ELEVATION 1

* House plans to be mirrored where the
driveway location and built-to-boundary
walls are consistent with the approved
Plan of Development (ULD 036 DA 01.02,
issue G, dated 10/01/13).



SIDE ELEVATION 2



[G] Terrace 3 02 (7.5) for Urban Land Development Authority

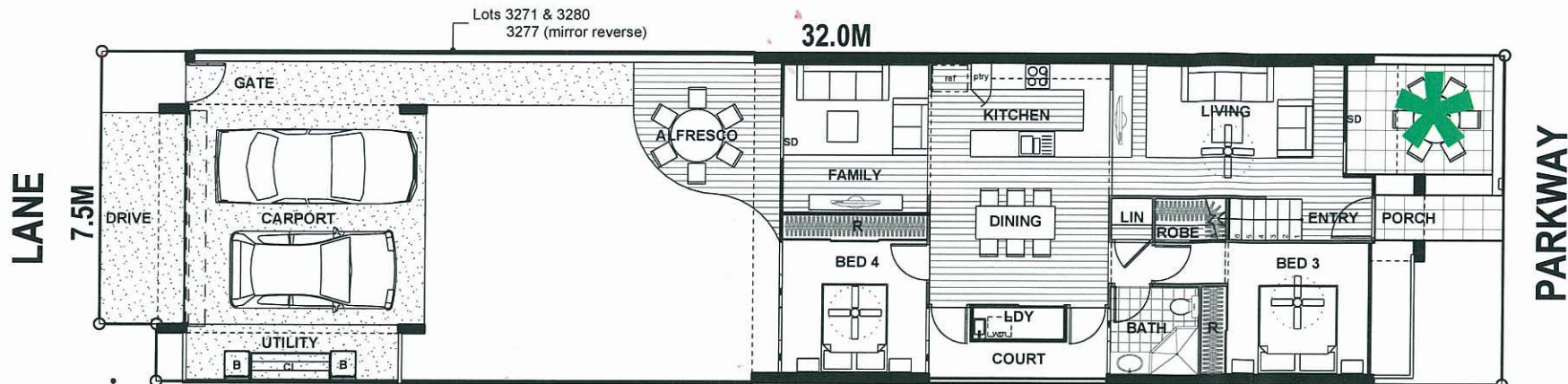
1:150/1:1500 @ A3 ■ ULD036 DA 03.10

03/12/12 ■ ISSUE C

GFA: 119 m2

degenhart
SHEDD

10 M
15 M
15 M
10 M



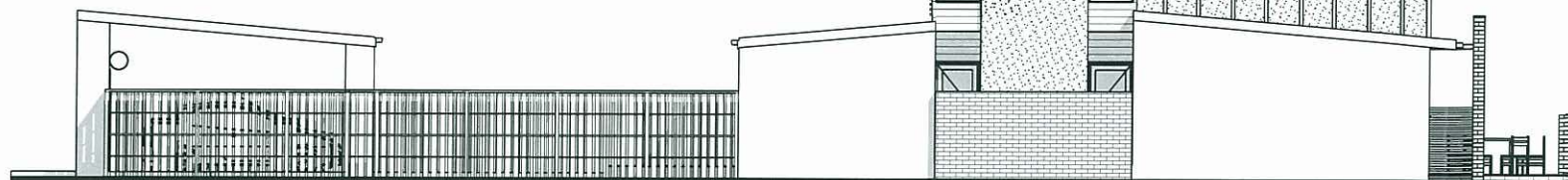
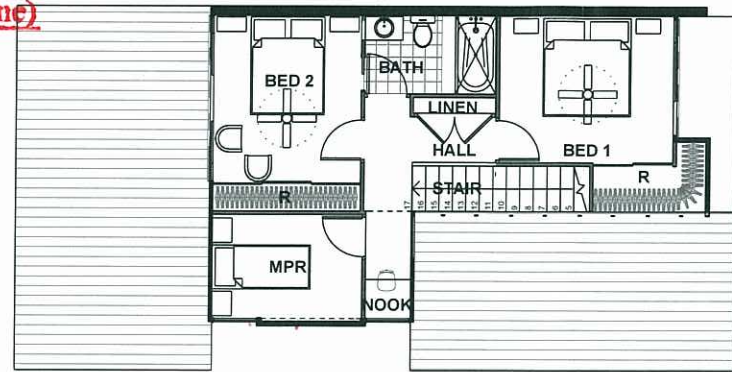
AMENDED IN RED
11 JAN 2013

House plans for proposed Lots 3271, 3276, 3277, 3280 and 3281 as shown on approved Plan of Development (ULD036 DA01.02, issue G, dated 10/01/13).

By: BRIANNA FYFFE (name)
of the ULDA

* House plans to be mirrored where the driveway location and Built-to-boundary walls are consistent with the approved POD (ULD036 DA01.02, Issue G, dated 10/01/13).

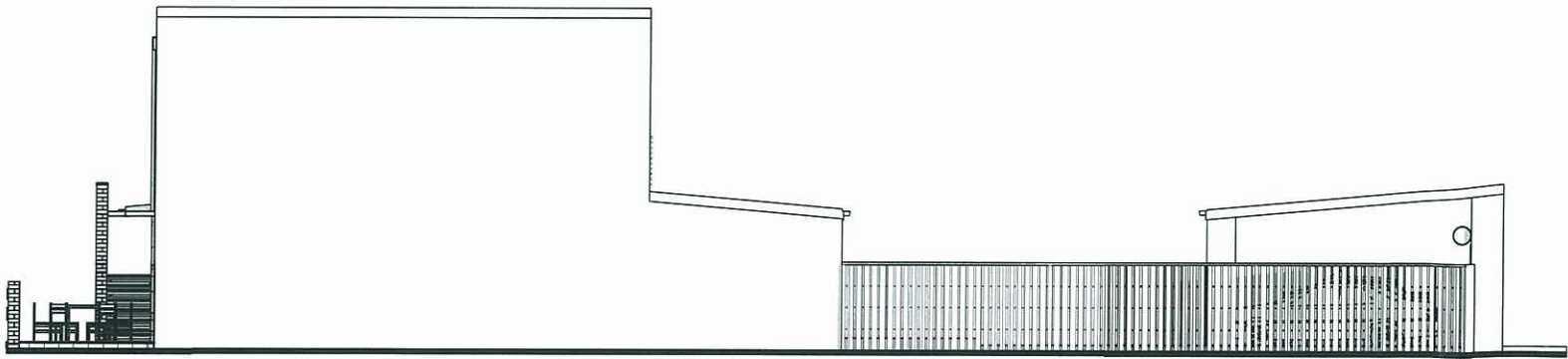
PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 16/1/13



SIDE ELEVATION 1



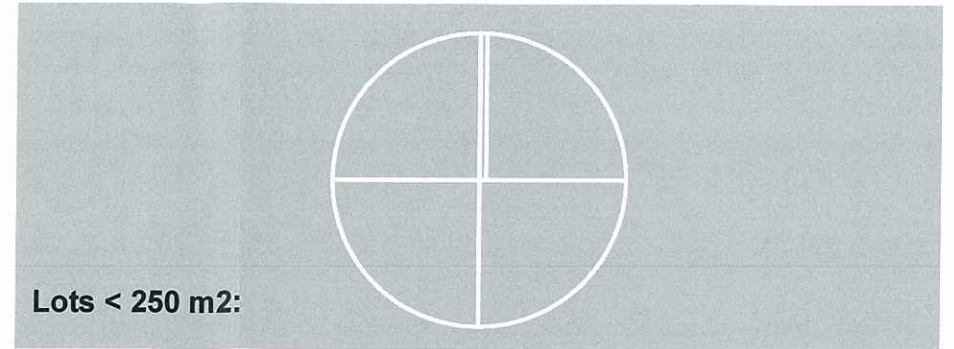
STREET ELEVATION



SIDE ELEVATION 2



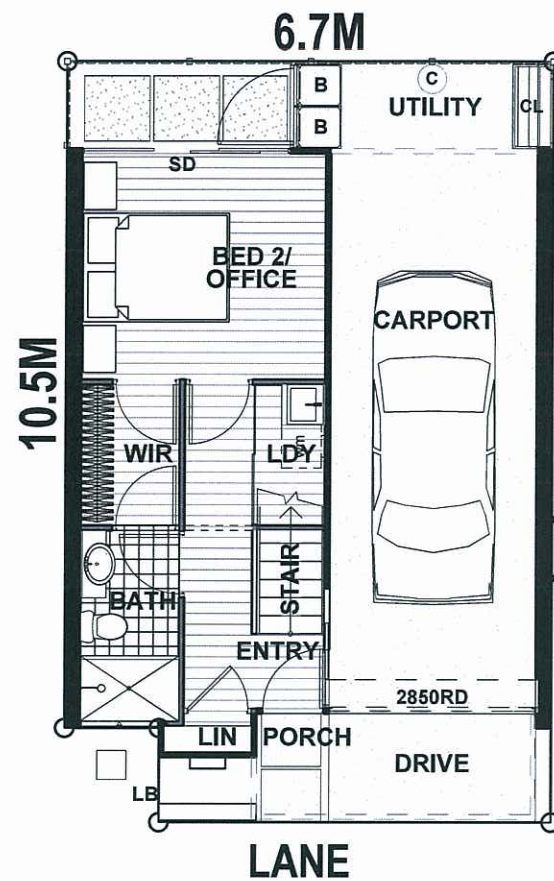
LANE ELEVATION



[G] Terrace 4 02 (7.5) for Urban Land Development Authority

1:150/1:1500 @ A3 ■ ULD036 DA 03.11
07/12/12 ■ ISSUE C

GFA: 145 m2
degenhart
SHEDD



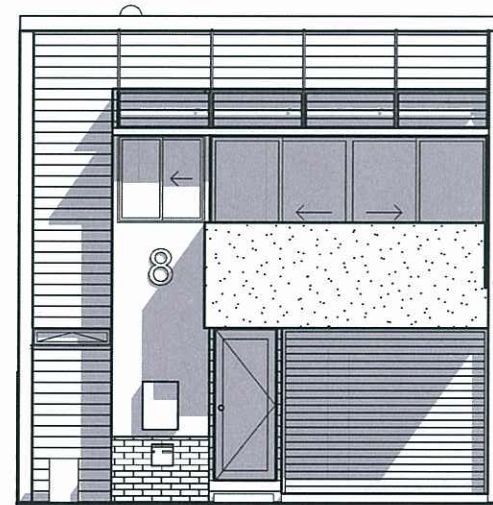
Lot 3282, 3284

Lots 3273, 3275 (mirror reverse)

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 11/1/13

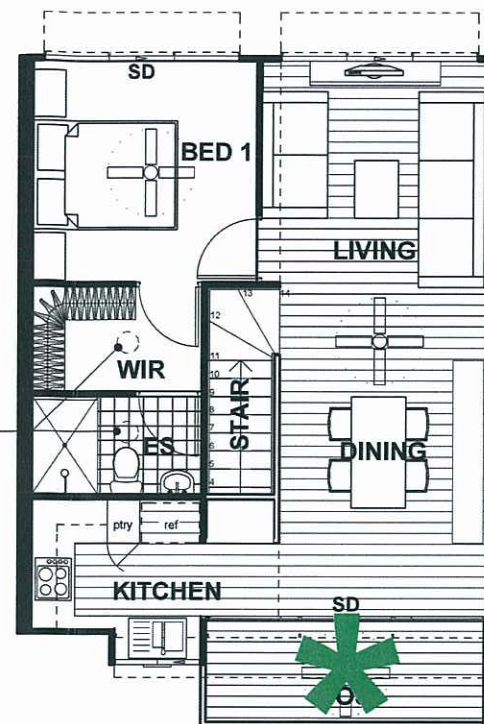
House plans for proposed Lots 3273,
3275, 3282 and 3284 as shown on
approved Plan of Development (ULD 036
DA01.02, Issue 5, dated 10/01/13).

* House plans to be mirrored where the
driveway location and built-to-boundary
walls are consistent with the approved
POD (ULD 036 DA01.02, Issue 6, dated 10/01/13).

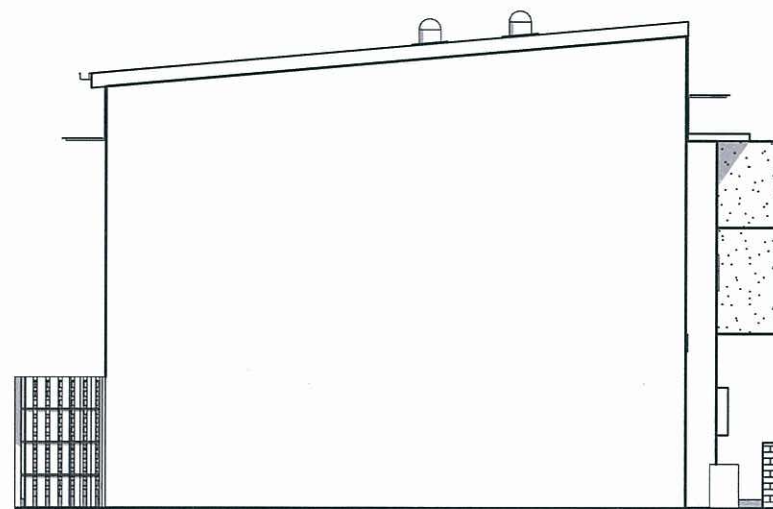


LANE ELEVATION

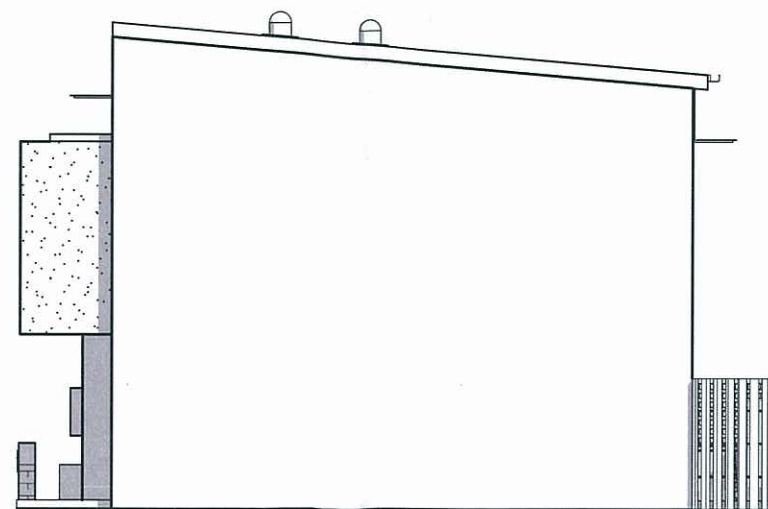
skylights
(sola-tube)



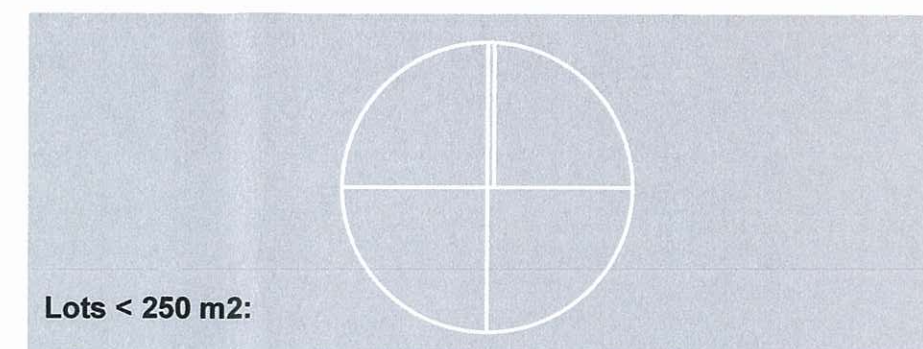
BACK ELEVATION



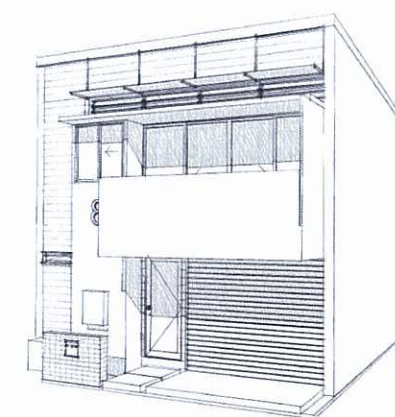
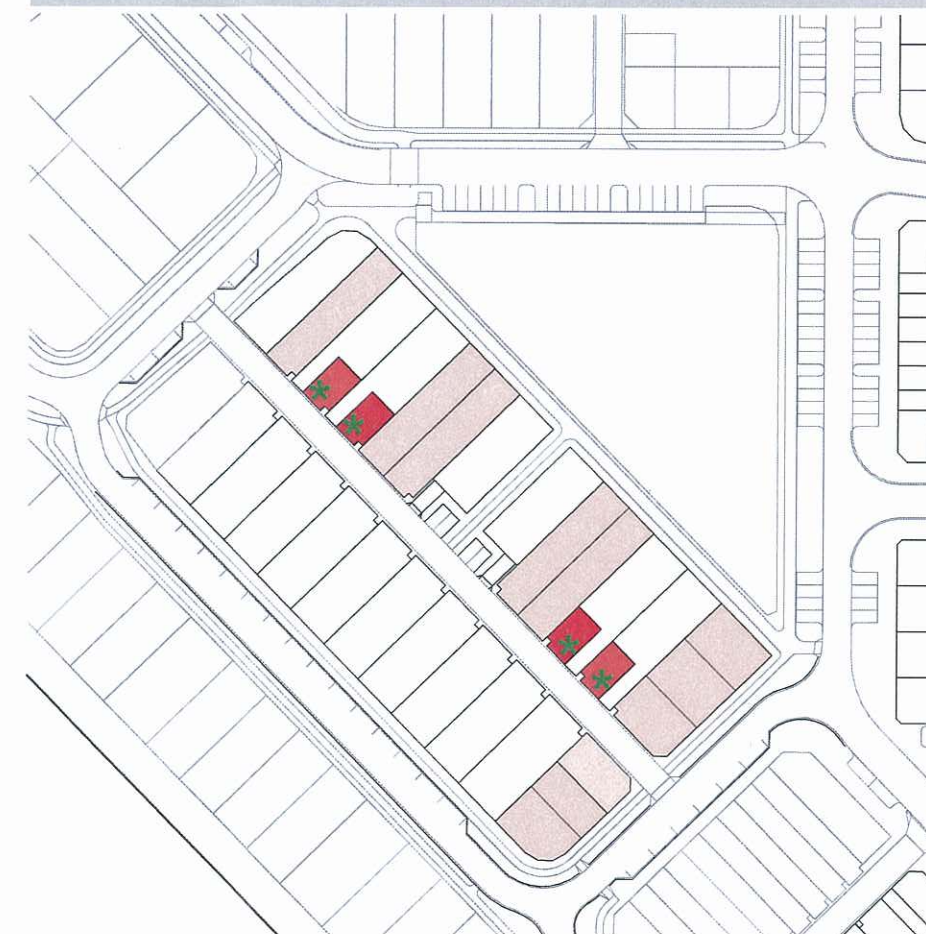
SIDE ELEVATION 1



SIDE ELEVATION 2



Lots < 250 m2:



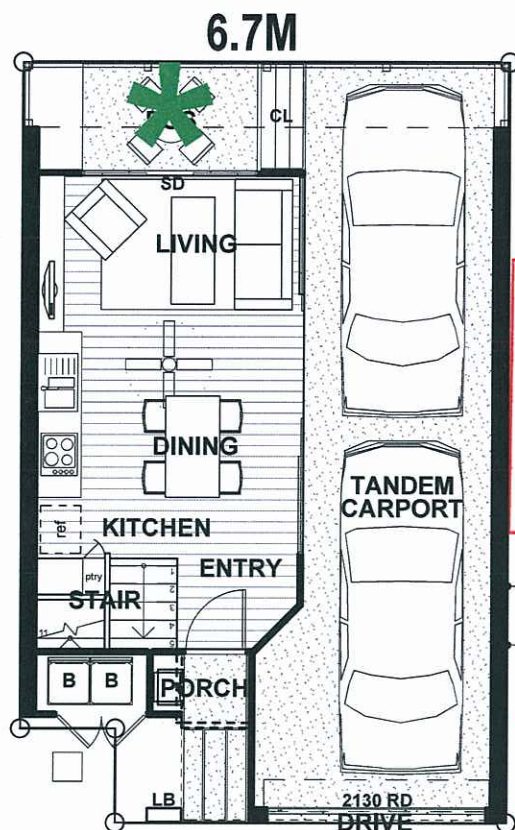
[H] Nano Loft 2 02 for Urban Land Development Authority

1:150/1:1500 @ A3 ■ ULD036 DA 03.12

27/11/12 ■ ISSUE A

GFA: 81 m2

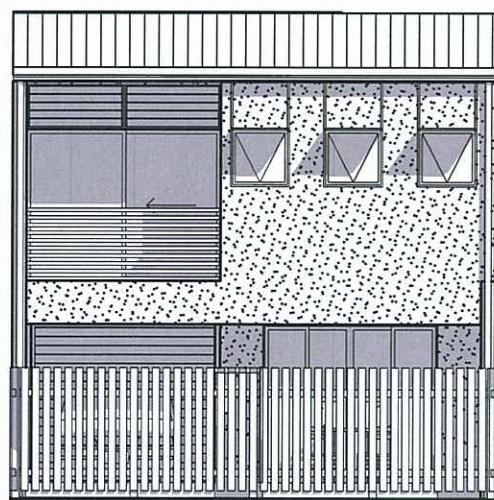
degenhart
SHEDD



LANE



LANE ELEVATION



BACK ELEVATION

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of the ULDA

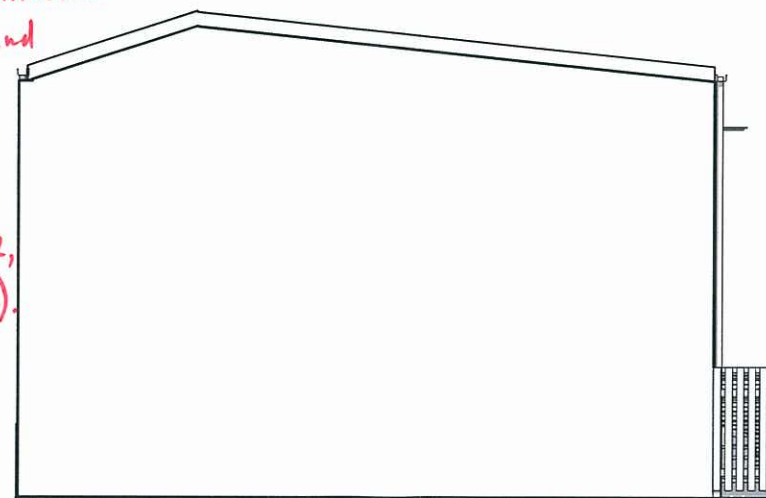
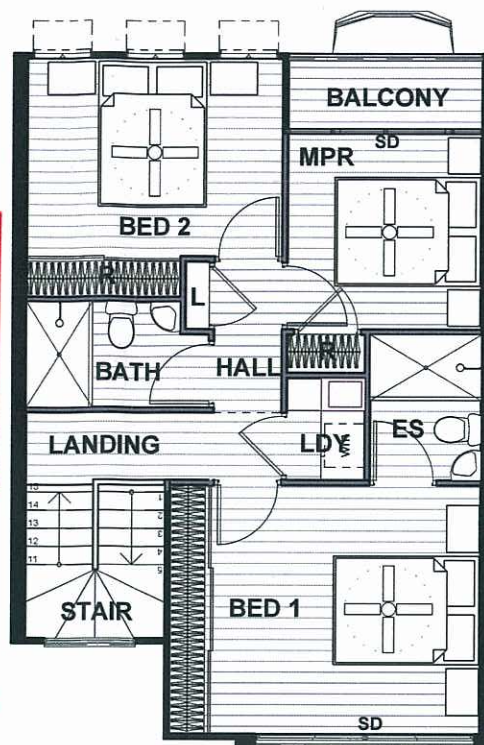
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 10/1/13

Lot 3282, 3284

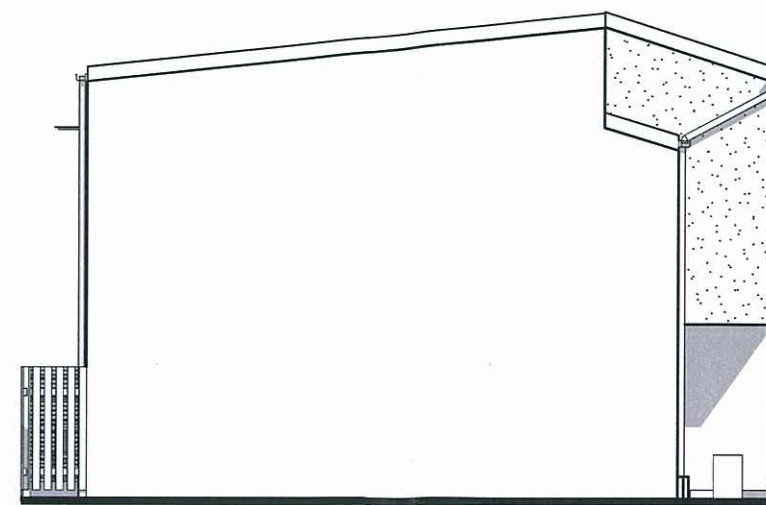
Lots 3273, 3275 (mirror reverse)

House plans for proposed Lots 3273,
3275, 3282 and 3284 as shown on
approved Plan of Development (ULD036
DA01.02, Issue G, dated 10/01/13).

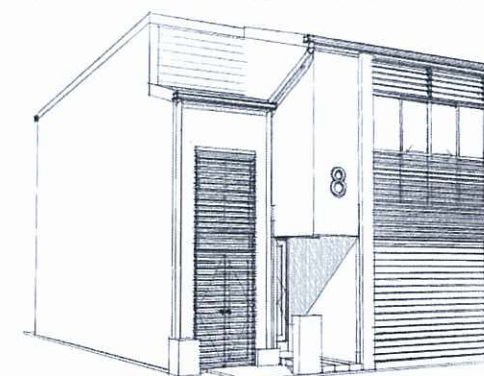
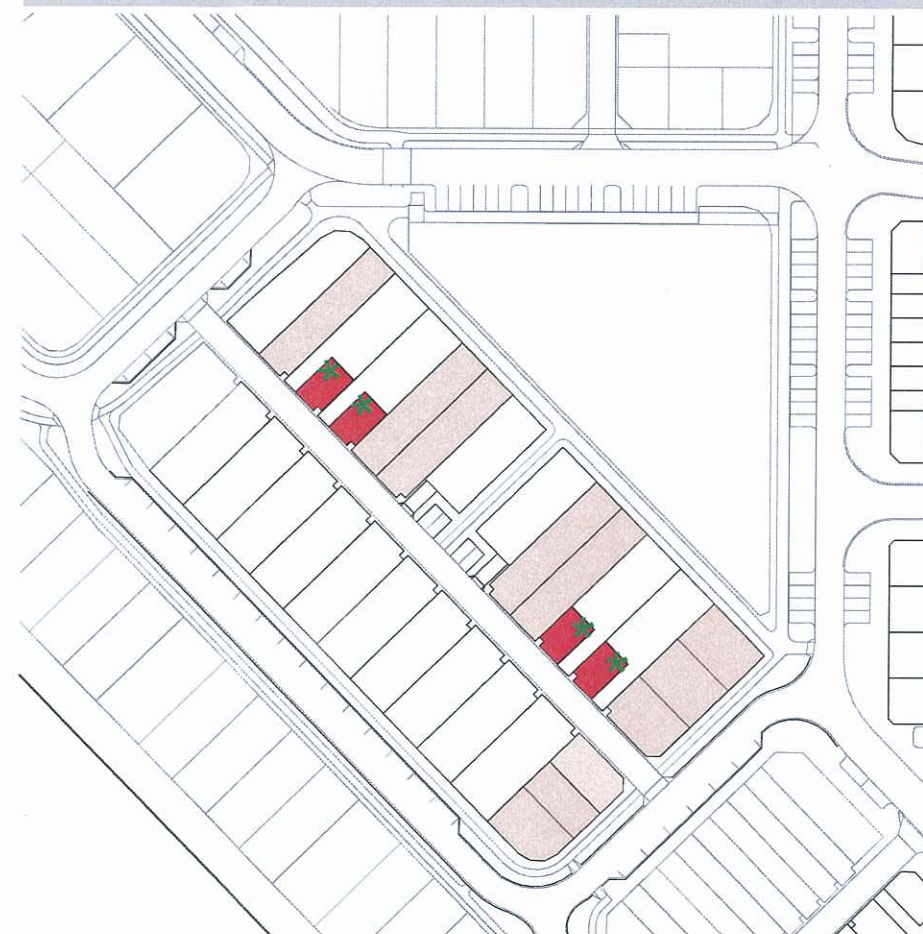
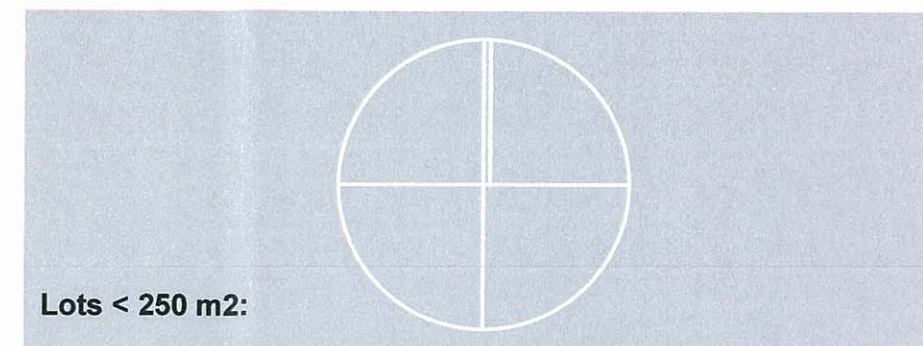
*House plans to be mirrored where the
driveway location and
built-to-boundary
walls are consistent
with the approved
POD (ULD036 DA01.02,
Issue G, dated 10/01/13).



SIDE ELEVATION 1



SIDE ELEVATION 2



[H] Nano 3 01 (6.7) for Urban Land Development Authority

1:100/1:1500 @ A3 ■ ULD036 DA 03.13

27/11/12 ■ ISSUE A

GFA: 81 m2

degenhart
SHEDD