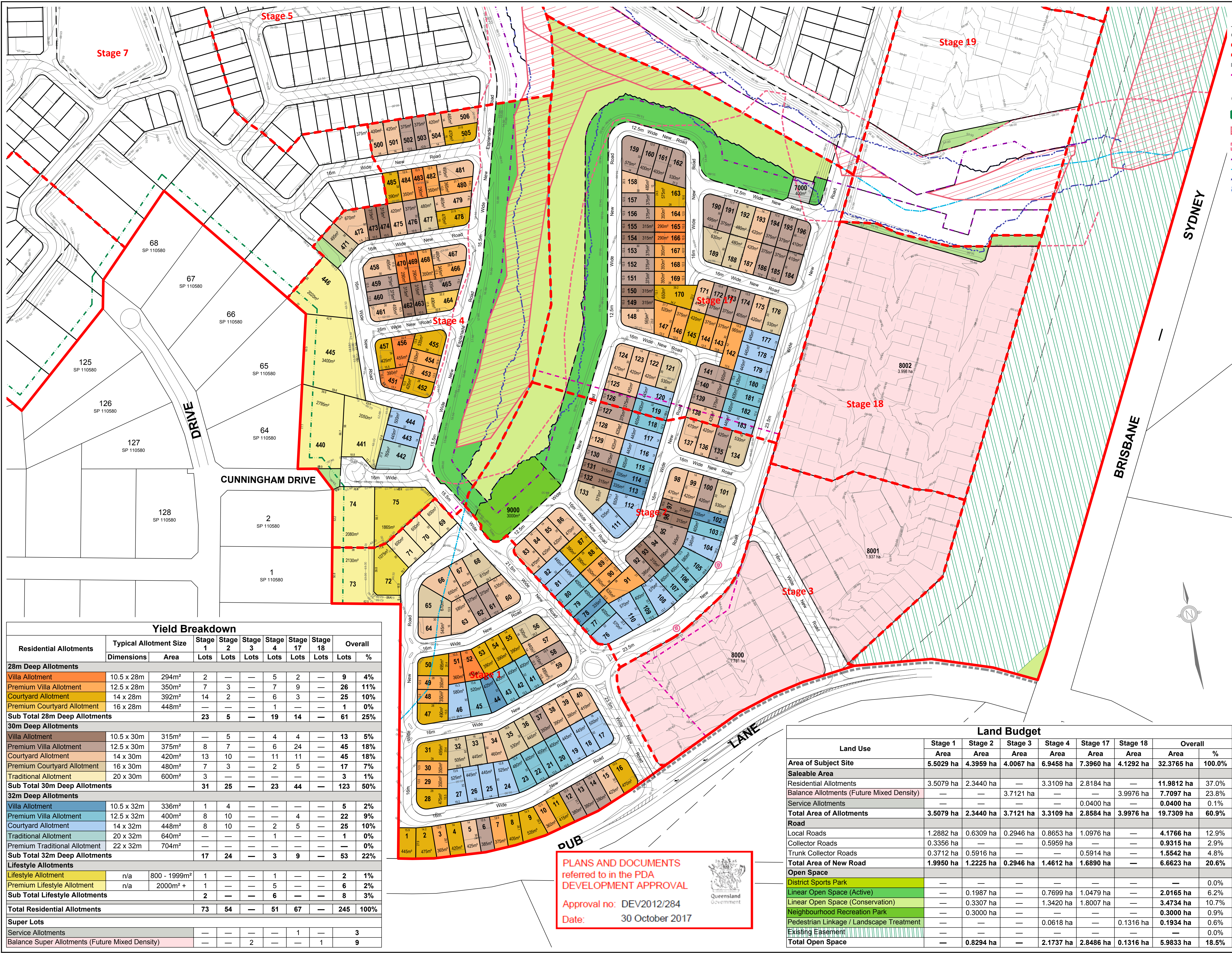




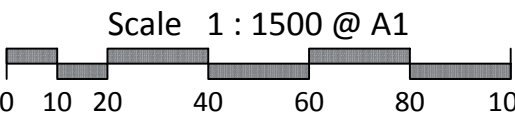
Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- In-Line Bus Stop

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Drainage Centerline
- BMD Q100
- 50m Buffer to Sewer Pump Station



REVISION

- A: 06/03/2017 - Council feedback amendments
- B: 02/08/2017 - Layout and POD amendments
- C: 28/08/2017 - Amend Stages 20 - 25
- D: 14/09/2017 - Amend Stages 17 POD
- E: 19/09/2017 - Amend Stage 1 POD

Note:

- All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
- Dimensions have been rounded to the nearest 0.1 metres.
- Areas have been rounded down to the nearest 5m².
- The boundaries shown on this plan should not be used for final detailed engineers design.
- Source Information:
 - Site boundaries: Land Partners.
 - Adjoining information: DCDB.
 - Contours: Land Partners
 - Flood: BMD

CLIENT

VILLA GREEN PTY LTD

PROJECT

TEVIOT VILLAGE

Plan of Subdivision
Precinct 1
Allotment Layout
Application1 (Amendment)

Date:	19 September 2017
Comp By:	WNW
Checked By:	PHE
DWG Name:	132965 ROL
Job Ref:	132965
Local Authority:	Economic Development Queensland

Locality: Teviot Downs

Scale	Sheet
1 : 1500	A1

Plan Ref	Rev
132965 - 11	E

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Yield Breakdown

Residential Allotments	Typical Allotment Size		Stage 1	Stage 2	Stage 3	Stage 4	Stage 17	Stage 18	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments										
Villa Allotment	10.5 x 28m	294m²	2	—	—	5	2	—	9	4%
Premium Villa Allotment	12.5 x 28m	350m²	7	3	—	7	9	—	26	11%
Courtyard Allotment	14 x 28m	392m²	14	2	—	6	3	—	25	10%
Premium Courtyard Allotment	16 x 28m	448m²	—	—	—	1	—	—	1	0%
Sub Total 28m Deep Allotments			23	5	—	19	14	—	61	25%
30m Deep Allotments										
Villa Allotment	10.5 x 30m	315m²	—	5	—	4	4	—	13	5%
Premium Villa Allotment	12.5 x 30m	375m²	8	7	—	6	24	—	45	18%
Courtyard Allotment	14 x 30m	420m²	13	10	—	11	11	—	45	18%
Premium Courtyard Allotment	16 x 30m	480m²	7	3	—	2	5	—	17	7%
Traditional Allotment	20 x 30m	600m²	3	—	—	—	—	—	3	1%
Sub Total 30m Deep Allotments			31	25	—	23	44	—	123	50%
32m Deep Allotments										
Villa Allotment	10.5 x 32m	336m²	1	4	—	—	—	—	5	2%
Premium Villa Allotment	12.5 x 32m	400m²	8	10	—	—	4	—	22	9%
Courtyard Allotment	14 x 32m	448m²	8	10	—	2	5	—	25	10%
Traditional Allotment	20 x 32m	640m²	—	—	—	1	—	—	1	0%
Premium Traditional Allotment	22 x 32m	704m²	—	—	—	—	—	—	—	0%
Sub Total 32m Deep Allotments			17	24	—	3	9	—	53	22%
Lifestyle Allotments										
Lifestyle Allotment	n/a	800 - 1999m²	1	—	—	1	—	—	2	1%
Premium Lifestyle Allotment	n/a	2000m² +	1	—	—	5	—	—	6	2%
Sub Total Lifestyle Allotments			2	—	—	6	—	—	8	3%
Total Residential Allotments			73	54	—	51	67	—	245	100%
Super Lots										
Service Allotments			—	—	—	—	1	—	3	
Balance Super Allotments (Future Mixed Density)			—	—	2	—	—	1	9	

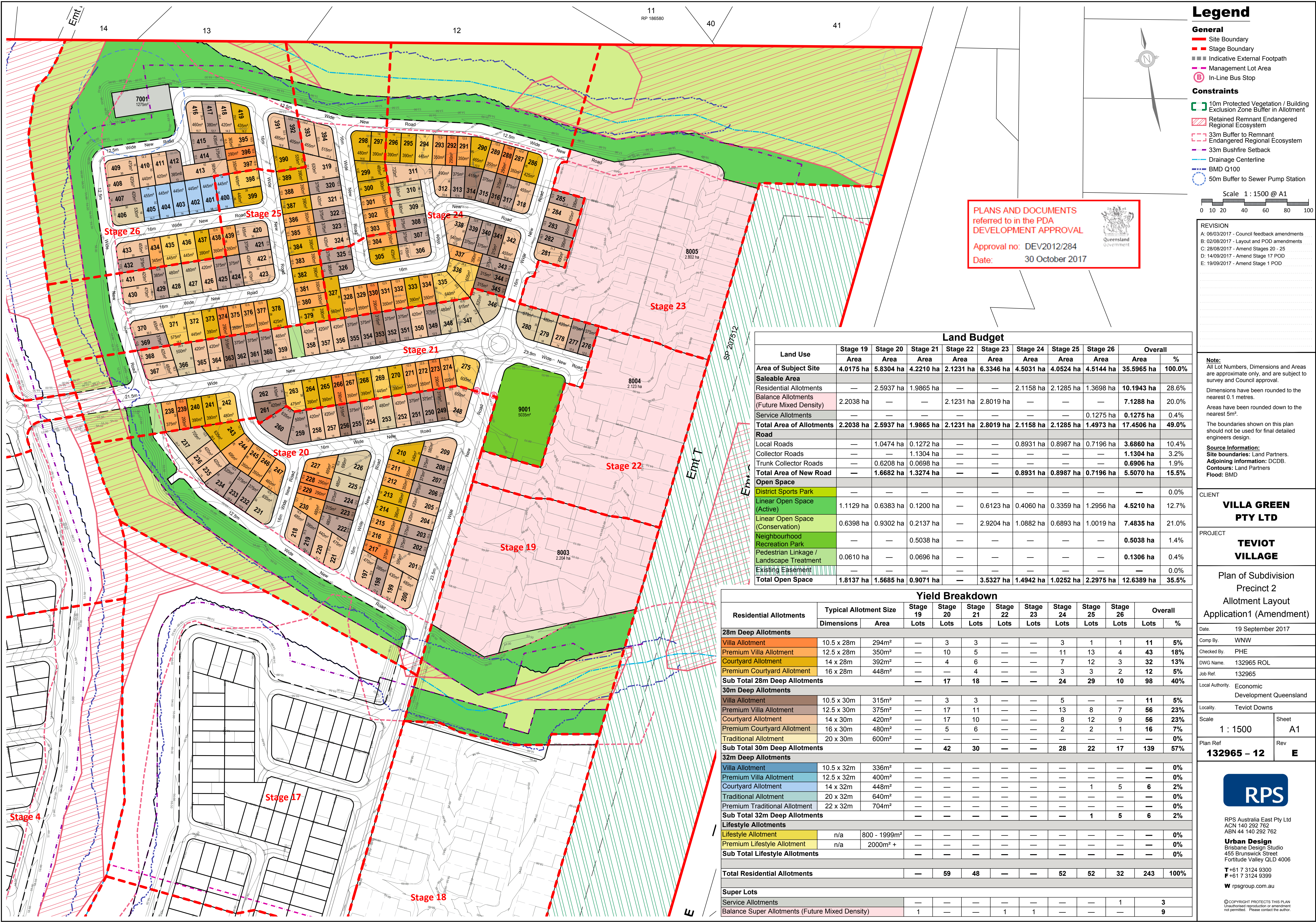
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284
Date: 30 October 2017



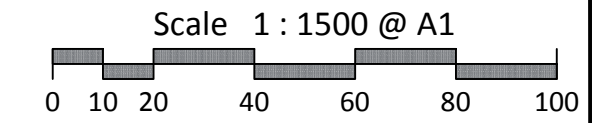
Land Budget

Land Use	Stage 1	Stage 2	Stage 3	Stage 4	Stage 17	Stage 18	Overall	
	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	5.5029 ha	4.3959 ha	4.0067 ha	6.9458 ha	7.3960 ha	4.1292 ha	32.3765 ha	100.0%
Saleable Area								
Residential Allotments	3.5079 ha	2.3440 ha	—	3.3109 ha	2.8184 ha	—	11.9812 ha	37.0%
Balance Allotments (Future Mixed Density)	—	—	3.7121 ha	—	—	3.9976 ha	7.7097 ha	23.8%
Service Allotments	—	—	—	—	0.0400 ha	—	0.0400 ha	0.1%
Total Area of Allotments	3.5079 ha	2.3440 ha	3.7121 ha	3.3109 ha	2.8584 ha	3.9976 ha	19.7309 ha	60.9%
Road								
Local Roads	1.2882 ha	0.6309 ha	0.2946 ha	0.8653 ha	1.0976 ha	—	4.1766 ha	12.9%
Collector Roads	0.3356 ha	—	—	0.5959 ha	—	—	0.9315 ha	2.9%
Trunk Collector Roads	0.3712 ha	0.5916 ha	—	—	0.5914 ha	—	1.5542 ha	4.8%
Total Area of New Road	1.9950 ha	1.2225 ha	0.2946 ha	1.4612 ha	1.6890 ha	—	6.6623 ha	20.6%
Open Space								
District Sports Park	—	—	—	—	—	—	—	0.0%
Linear Open Space (Active)	—	0.1987 ha	—	0.7699 ha	1.0479 ha	—	2.0165 ha	6.2%
Linear Open Space (Conservation)	—	0.3307 ha	—	1.3420 ha	1.8007 ha	—	3.4734 ha	10.7%
Neighbourhood Recreation Park	—	0.3000 ha	—	—	—	—	0.3000 ha	0.9%
Pedestrian Linkage / Landscape Treatment	—	—	—	0.0618 ha	—	0.1316 ha	0.1934 ha	0.6%
Existing Easement	—	—	—	—	—	—	—	0.0%
Total Open Space	—	0.8294 ha	—	2.1737 ha	2.8486 ha	0.1316 ha	5.9833 ha	18.5%



Legend

- General**
- Site Boundary
 - Stage Boundary
 - Indicative External Footpath
 - Management Lot Area
 - In-Line Bus Stop
- Constraints**
- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
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 - 33m Bushfire Setback
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 - BMD Q100
 - 50m Buffer to Sewer Pump Station



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Approval no: DEV2012/284

Date: 30 October 2017



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Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:

Site boundaries: Land Partners.

Adjoining information: DCDB.

Contours: Land Partners

Flood: BMD

Land Use	Stage 19		Stage 20		Stage 21		Stage 22		Stage 23		Stage 24		Stage 25		Stage 26		Overall	
	Area		Area		Area		Area		Area		Area		Area		Area		Area	%
Area of Subject Site	4.0175 ha		5.8304 ha		4.2210 ha		2.1231 ha		6.3346 ha		4.5031 ha		4.0524 ha		4.5144 ha		35.5965 ha	100.0%
Saleable Area																		
Residential Allotments	—		2.5937 ha		1.9865 ha		—		—		2.1158 ha		2.1285 ha		1.3698 ha		10.1943 ha	28.6%
Balance Allotments (Future Mixed Density)	2.2038 ha		—		—		2.1231 ha		2.8019 ha		—		—		—		7.1288 ha	20.0%
Service Allotments	—		—		—		—		—		—		—		0.1275 ha		0.1275 ha	0.4%
Total Area of Allotments	2.2038 ha		2.5937 ha		1.9865 ha		2.1231 ha		2.8019 ha		2.1158 ha		2.1285 ha		1.4973 ha		17.4506 ha	49.0%
Road																		
Local Roads	—		1.0474 ha		0.1272 ha		—		—		0.8931 ha		0.8987 ha		0.7196 ha		3.6860 ha	10.4%
Collector Roads	—		—		1.1304 ha		—		—		—		—		—		1.1304 ha	3.2%
Trunk Collector Roads	—		0.6208 ha		0.0698 ha		—		—		—		—		—		0.6906 ha	1.9%
Total Area of New Road	—		1.6682 ha		1.3274 ha		—		—		0.8931 ha		0.8987 ha		0.7196 ha		5.5070 ha	15.5%
Open Space																		
District Sports Park	—		—		—		—		—		—		—		—		—	0.0%
Linear Open Space (Active)	1.1129 ha		0.6383 ha		0.1200 ha		—		0.6123 ha		0.4060 ha		0.3359 ha		1.2956 ha		4.5210 ha	12.7%
Linear Open Space (Conservation)	0.6398 ha		0.9302 ha		0.2137 ha		—		2.9204 ha		1.0882 ha		0.6893 ha		1.0019 ha		7.4835 ha	21.0%
Neighbourhood Recreation Park	—		—		0.5038 ha		—		—		—		—		—		0.5038 ha	1.4%
Pedestrian Linkage / Landscape Treatment	0.0610 ha		—		0.0696 ha		—		—		—		—		—		0.1306 ha	0.4%
Existing Easement	—		—		—		—		—		—		—		—		—	0.0%
Total Open Space	1.8137 ha		1.5685 ha		0.9071 ha		—		3.5327 ha		1.4942 ha		1.0252 ha		2.2975 ha		12.6389 ha	35.5%

Yield Breakdown												
Residential Allotments	Typical Allotment Size		Stage 19	Stage 20	Stage 21	Stage 22	Stage 23	Stage 24	Stage 25	Stage 26	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments												
Villa Allotment	10.5 x 28m	294m²	—	3	3	—	—	3	1	1	11	5%
Premium Villa Allotment	12.5 x 28m	350m²	—	10	5	—	—	11	13	4	43	18%
Courtyard Allotment	14 x 28m	392m²	—	4	6	—	—	7	12	3	32	13%
Premium Courtyard Allotment	16 x 28m	448m²	—	—	4	—	—	3	3	2	12	5%
Sub Total 28m Deep Allotments			—	17	18	—	—	24	29	10	98	40%
30m Deep Allotments												
Villa Allotment	10.5 x 30m	315m²	—	3	3	—	—	5	—	—	11	5%
Premium Villa Allotment	12.5 x 30m	375m²	—	17	11	—	—	13	8	7	56	23%
Courtyard Allotment	14 x 30m	420m²	—	17	10	—	—	8	12	9	56	23%
Premium Courtyard Allotment	16 x 30m	480m²	—	5	6	—	—	2	2	1	16	7%
Traditional Allotment	20 x 30m	600m²	—	—	—	—	—	—	—	—	—	0%
Sub Total 30m Deep Allotments			—	42	30	—	—	28	22	17	139	57%
32m Deep Allotments												
Villa Allotment	10.5 x 32m	336m²	—	—	—	—	—	—	—	—	—	0%
Premium Villa Allotment	12.5 x 32m	400m²	—	—	—	—	—	—	—	—	—	0%
Courtyard Allotment	14 x 32m	448m²	—	—	—	—	—	—	1	5	6	2%
Traditional Allotment	20 x 32m	640m²	—	—	—	—	—	—	—	—	—	0%
Premium Traditional Allotment	22 x 32m	704m²	—	—	—	—	—	—	—	—	—	0%
Sub Total 32m Deep Allotments			—	—	—	—	—	—	1	5	6	2%
Lifestyle Allotments												
Lifestyle Allotment	n/a	800 - 1999m²	—	—	—	—	—	—	—	—	—	0%
Premium Lifestyle Allotment	n/a	2000m² +	—	—	—	—	—	—	—	—	—	0%
Sub Total Lifestyle Allotments			—	—	—	—	—	—	—	—	—	0%
Total Residential Allotments			—	59	48	—	—	52	52	32	243	100%
Super Lots												
Service Allotments			—	—	—	—	—	—	—	1	3	
Balance Super Allotments (Future Mixed Density)			1	—	—	1	1	—	—	—	9	

CLIENT

VILLA GREEN PTY LTD

PROJECT

TEVIOT VILLAGE

Plan of Subdivision
Precinct 2
Allotment Layout
Application1 (Amendment)

Date: 19 September 2017

Comp By: WNW

Checked By: PHE

DWG Name: 132965 ROL

Job Ref: 132965

Local Authority: Economic Development Queensland

Locality: Teviot Downs

Scale: 1 : 1500

Plan Ref: 132965 - 12

Sheet: A1

Rev: E



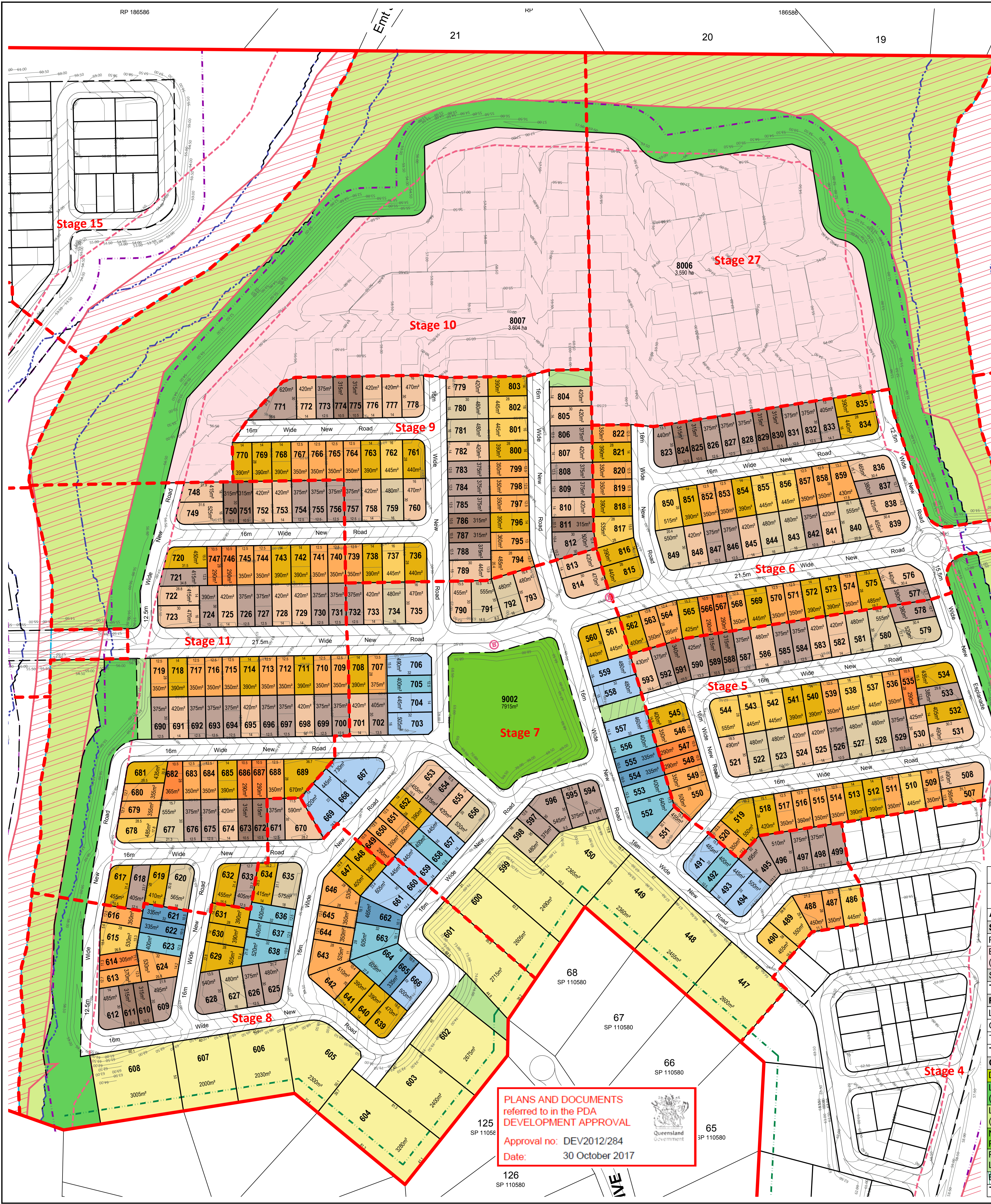
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Yield Breakdown												
Residential Allotments	Typical Allotment Size		Stage 5	Stage 6	Stage 7	Stage 8	Stage 9	Stage 10	Stage 11	Stage 27	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments												
Villa Allotment	10.5 x 28m	294m ²	3	2	1	1	—	—	5	—	12	3%
Premium Villa Allotment	12.5 x 28m	350m ²	13	14	5	8	10	—	17	—	67	18%
Courtyard Allotment	14 x 28m	392m ²	9	14	3	9	10	—	12	—	57	15%
Premium Courtyard Allotment	16 x 28m	448m ²	6	4	4	1	4	—	1	—	20	5%
Sub Total 28m Deep Allotments			31	34	13	19	24	—	35	—	156	42%
30m Deep Allotments												
Villa Allotment	10.5 x 30m	315m ²	3	4	—	2	5	—	4	—	18	5%
Premium Villa Allotment	12.5 x 30m	375m ²	9	12	12	6	11	—	21	—	71	19%
Courtyard Allotment	14 x 30m	420m ²	10	7	10	1	13	—	13	—	54	15%
Premium Courtyard Allotment	16 x 30m	480m ²	7	4	5	2	3	—	2	—	23	6%
Traditional Allotment	20 x 30m	600m ²	—	—	—	—	—	—	—	—	—	0%
Sub Total 30m Deep Allotments			29	27	27	11	32	—	40	—	166	45%
32m Deep Allotments												
Villa Allotment	10.5 x 32m	336m ²	—	—	2	4	—	—	—	—	6	2%
Premium Villa Allotment	12.5 x 32m	400m ²	—	—	6	6	—	—	—	—	12	3%
Courtyard Allotment	14 x 32m	448m ²	—	—	14	3	—	—	—	—	17	5%
Traditional Allotment	20 x 32m	640m ²	—	—	—	—	—	—	—	—	—	0%
Premium Traditional Allotment	22 x 32m	704m ²	—	—	—	—	—	—	—	—	—	0%
Sub Total 32m Deep Allotments			—	—	22	13	—	—	—	—	35	9%
Lifestyle Allotments												
Lifestyle Allotment	n/a	800 - 1999m ²	—	—	—	—	—	—	—	—	—	0%
Premium Lifestyle Allotment	n/a	2000m ² +	—	—	6	8	—	—	—	—	14	4%
Sub Total Lifestyle Allotments			—	—	6	8	—	—	—	—	14	4%
Total Residential Allotments												
			60	61	68	51	56	—	75	—	371	100%
Super Lots												
Service Allotments			—	—	—	—	—	—	—	—	3	
Balance Super Allotments (Future Mixed Density)			—	—	—	—	—	1	—	1	9	



Land Budget										
Land Use	Stage 5	Stage 6	Stage 7	Stage 8	Stage 9	Stage 10	Stage 11	Stage 27	Overall	
Area of Subject Site	4.4666 ha	3.6972 ha	6.9330 ha	5.9512 ha	3.0552 ha	6.8379 ha	5.9157 ha	7.3602 ha	44.2170 ha	100.0%
Saleable Area										
Residential Allotments	2.4580 ha	2.4337 ha	4.2525 ha	3.9542 ha	2.2565 ha	—	2.9222 ha	—	18.2771 ha	41.3%
Balance Allotments (Future Mixed Density)	—	—	—	—	—	3.6042 ha	—	3.5901 ha	7.1943 ha	16.3%
Service Allotments	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	2.4580 ha	2.4337 ha	4.2525 ha	3.9542 ha	2.2565 ha	3.6042 ha	2.9222 ha	3.5901 ha	25.4714 ha	57.6%
Road										
Local Roads	0.7913 ha	0.5844 ha	1.4323 ha	1.1828 ha	0.7627 ha	—	0.9507 ha	—	5.7042 ha	12.9%
Collector Roads	0.2360 ha	0.6791 ha	0.4180 ha	—	—	—	0.3386 ha	—	1.6717 ha	3.8%
Trunk Collector Roads	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.0273 ha	1.2635 ha	1.8503 ha	1.1828 ha	0.7627 ha	—	1.2893 ha	—	7.3759 ha	16.7%
Open Space										
District Sports Park	—	—	—	—	—	—	—	—	—	0.0%
Linear Open Space (Active)	0.4595 ha	—	—	0.4300 ha	—	1.1217 ha	0.6297 ha	1.3102 ha	3.9511 ha	8.9%
Linear Open Space (Conservation)	0.5218 ha	—	—	0.3072 ha	—	2.1120 ha	1.0165 ha	2.4599 ha	6.4174 ha	14.5%
Neighbourhood Recreation Park	—	—	0.7918 ha	—	—	—	—	—	0.7918 ha	1.8%
Pedestrian Linkage / Landscape Treatment	—	—	0.0384 ha	0.0770 ha	0.0360 ha	—	0.0580 ha	—	0.2094 ha	0.5%
Existing Easement	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	0.9813 ha	—	0.8302 ha	0.8142 ha	0.0360 ha	3.2337 ha	1.7042 ha	3.7701 ha	11.3697 ha	25.7%

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- In-Line Bus Stop

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Drainage Centerline
- BMD Q100
- 50m Buffer to Sewer Pump Station

Scale 1 : 1500 @ A1

0 10 20 40 60 80 100

REVISION

A: 06/03/2017 - Council feedback amendments
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C: 28/08/2017 - Amend Stages 20 - 25
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VILLA GREEN PTY LTD

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TEVIOT VILLAGE

Plan of Subdivision
Precinct 3
Allotment Layout
Application1 (Amendment)

Date: 19 September 2017

Comp By: WNW

Checked By: PHE

DWG Name: 132965 ROL

Job Ref: 132965

Local Authority: Economic Development Queensland

Locality: Teviot Downs

Scale: 1 : 1500

Plan Ref: **132965 - 13**

Sheet: A1

Rev: E

RPS

RPS Australia East Pty Ltd
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ABN 44 140 292 762

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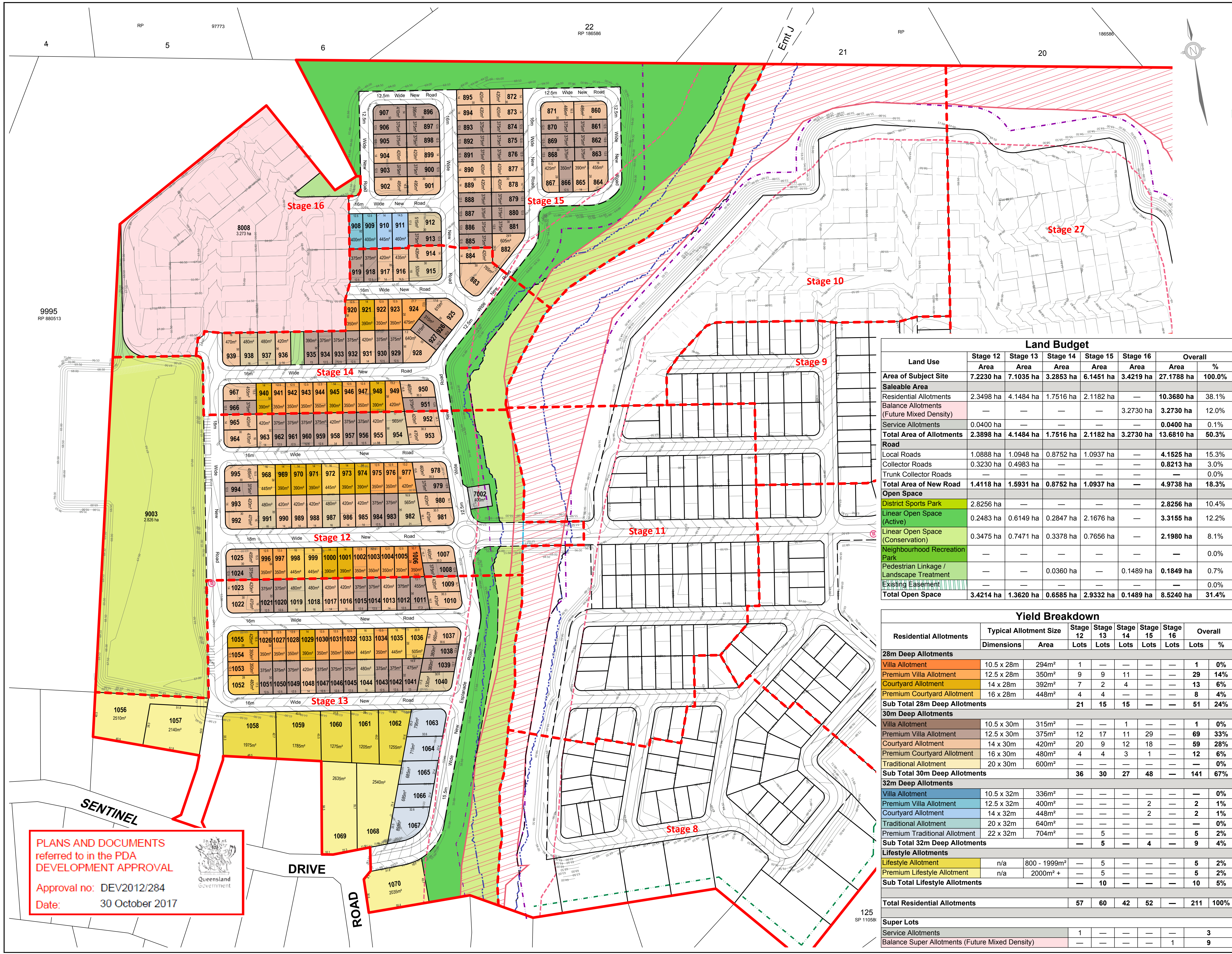
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Approval no: DEV2012/284

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Legend

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- Site Boundary
- Stage Boundary
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Land Budget							
Land Use	Stage 12	Stage 13	Stage 14	Stage 15	Stage 16	Overall	
Area of Subject Site	7.2230 ha	7.1035 ha	3.2853 ha	6.1451 ha	3.4219 ha	27.1788 ha	100.0%
Saleable Area							
Residential Allotments	2.3498 ha	4.1484 ha	1.7516 ha	2.1182 ha	—	10.3680 ha	38.1%
Balance Allotments (Future Mixed Density)	—	—	—	—	3.2730 ha	3.2730 ha	12.0%
Service Allotments	0.0400 ha	—	—	—	—	0.0400 ha	0.1%
Total Area of Allotments	2.3898 ha	4.1484 ha	1.7516 ha	2.1182 ha	3.2730 ha	13.6810 ha	50.3%
Road							
Local Roads	1.0888 ha	1.0948 ha	0.8752 ha	1.0937 ha	—	4.1525 ha	15.3%
Collector Roads	0.3230 ha	0.4983 ha	—	—	—	0.8213 ha	3.0%
Trunk Collector Roads	—	—	—	—	—	—	0.0%
Total Area of New Road	1.4118 ha	1.5931 ha	0.8752 ha	1.0937 ha	—	4.9738 ha	18.3%
Open Space							
District Sports Park	2.8256 ha	—	—	—	—	2.8256 ha	10.4%
Linear Open Space (Active)	0.2483 ha	0.6149 ha	0.2847 ha	2.1676 ha	—	3.3155 ha	12.2%
Linear Open Space (Conservation)	0.3475 ha	0.7471 ha	0.3378 ha	0.7656 ha	—	2.1980 ha	8.1%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Pedestrian Linkage / Landscape Treatment	—	—	0.0360 ha	—	0.1489 ha	0.1849 ha	0.7%
Existing Easement	—	—	—	—	—	—	0.0%
Total Open Space	3.4214 ha	1.3620 ha	0.6585 ha	2.9332 ha	0.1489 ha	8.5240 ha	31.4%

Yield Breakdown									
Residential Allotments	Typical Allotment Size		Stage 12	Stage 13	Stage 14	Stage 15	Stage 16	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments									
Villa Allotment	10.5 x 28m	294m ²	1	—	—	—	—	1	0%
Premium Villa Allotment	12.5 x 28m	350m ²	9	9	11	—	—	29	14%
Courtyard Allotment	14 x 28m	392m ²	7	2	4	—	—	13	6%
Premium Courtyard Allotment	16 x 28m	448m ²	4	4	—	—	—	8	4%
Sub Total 28m Deep Allotments			21	15	15	—	—	51	24%
30m Deep Allotments									
Villa Allotment	10.5 x 30m	315m ²	—	—	1	—	—	1	0%
Premium Villa Allotment	12.5 x 30m	375m ²	12	17	11	29	—	69	33%
Courtyard Allotment	14 x 30m	420m ²	20	9	12	18	—	59	28%
Premium Courtyard Allotment	16 x 30m	480m ²	4	4	3	1	—	12	6%
Traditional Allotment	20 x 30m	600m ²	—	—	—	—	—	—	0%
Sub Total 30m Deep Allotments			36	30	27	48	—	141	67%
32m Deep Allotments									
Villa Allotment	10.5 x 32m	336m ²	—	—	—	—	—	—	0%
Premium Villa Allotment	12.5 x 32m	400m ²	—	—	—	2	—	2	1%
Courtyard Allotment	14 x 32m	448m ²	—	—	—	2	—	2	1%
Traditional Allotment	20 x 32m	640m ²	—	—	—	—	—	—	0%
Premium Traditional Allotment	22 x 32m	704m ²	—	5	—	—	—	5	2%
Sub Total 32m Deep Allotments			—	5	—	4	—	9	4%
Lifestyle Allotments									
Lifestyle Allotment	n/a	800 - 1999m ²	—	5	—	—	—	5	2%
Premium Lifestyle Allotment	n/a	2000m ² +	—	5	—	—	—	5	2%
Sub Total Lifestyle Allotments			—	10	—	—	—	10	5%
Total Residential Allotments			57	60	42	52	—	211	100%
Super Lots									
Service Allotments			1	—	—	—	—	3	
Balance Super Allotments (Future Mixed Density)			—	—	—	—	1	9	

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/284

Date: 30 October 2017

CLIENT

VILLA GREEN PTY LTD

PROJECT

TEVIOT VILLAGE

Plan of Subdivision
Precinct 4
Allotment Layout
Application1 (Amendment)

Date: 19 September 2017

Comp By: WNW

Checked By: PHE

DWG Name: 132965 ROL

Job Ref: 132965

Local Authority: Economic Development Queensland

Locality: Teviot Downs

Scale: 1 : 1500

Plan Ref: 132965 - 14

Sheet A1

Rev E

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Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Maximum length of built-to-boundary wall in 9.0 meters long.
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.

- Garages are to located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

- The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
- No buildings or structures are to be constructed in the buffer.
- The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- In-Line Bus Stop

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- No Vehicular Access

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Drainage Centerline
- BMD Q100
- 50m Buffer to Sewer Pump Station

Open Space

- District Sports Park
- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/284

Date: 30 October 2017

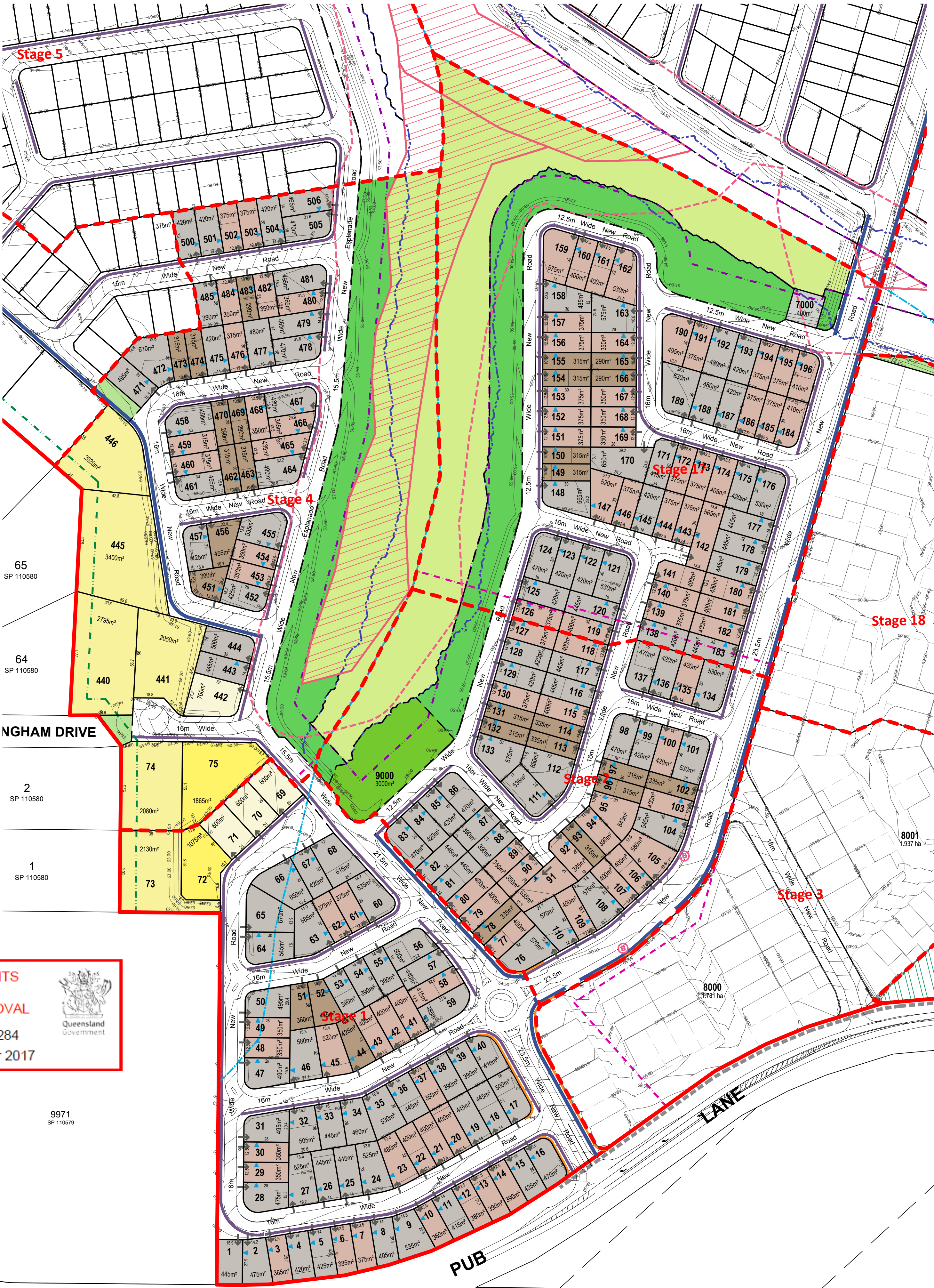


Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
	Mandatory		Mandatory		Optional							
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 32-34.



Scale 1 : 1500 @ A1

REVISION

- A: 06/03/2017 - Council feedback amendments
- B: 02/08/2017 - Layout and POD amendments
- C: 28/08/2017 - Amend Stages 20 - 25
- D: 14/09/2017 - Amend Stage 17 POD
- E: 19/09/2017 - Amend Stage 1 POD

Note:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Land Partners
Flood: BMD

CLIENT

VILLA GREEN PTY LTD

PROJECT

TEVIOT VILLAGE

Plan of Development
Precinct 1
Allotment Layout
Application1 (Amendment)

Date: 19 September 2017

Comp By: WNW

Checked By: PHE

DWG Name: 132965 ROL

Job Ref: 132965

Local Authority: Economic Development Queensland

Locality: Teviot Downs

Scale: 1 : 1500 Sheet: A1

Plan Ref: 132965 – 19 Rev: E



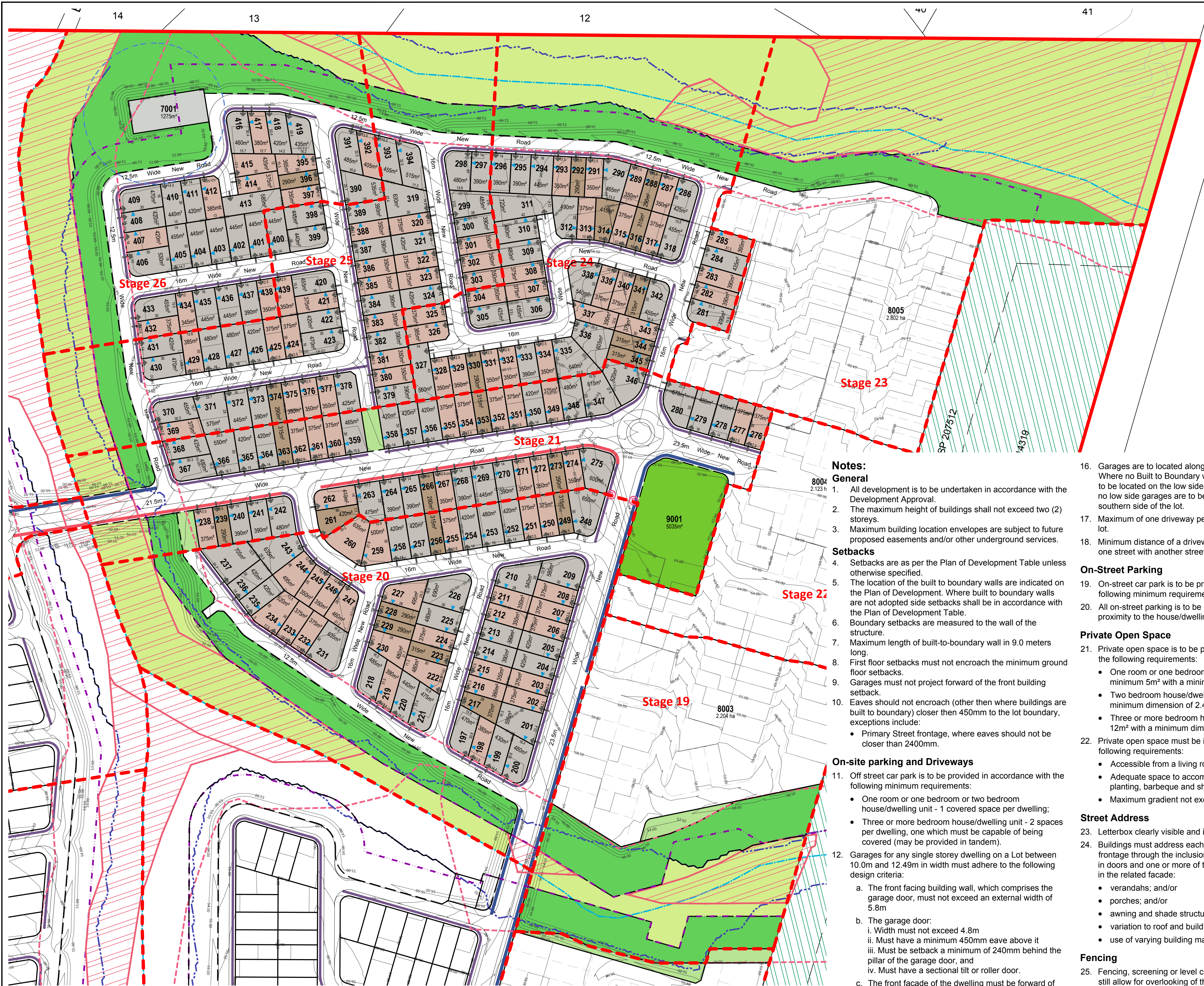
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Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- In-Line Bus Stop

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- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
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- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- No Vehicular Access

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/284
Date: 30 October 2017



Scale 1: 1500 @ A1
0 10 20 40 60 80 100

REVISION

A: 06/03/2017 - Council feedback amendments
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The boundaries shown on this plan should not be used for final detailed engineers design.

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Adjoining information: DCDB.
Contours: Land Partners
Flood: BMD

CLIENT

**VILLA GREEN
PTY LTD**

PROJECT

**TEVIOT
VILLAGE**

Plan of Development
Precinct 2
Allotment Layout
Application1 (Amendment)

Date: 19 September 2017

Comp By: WNW

Checked By: PHE

DWG Name: 132965 ROL

Job Ref: 132965

Local Authority: Economic
Development Queensland

Locality: Teviot Downs

Scale: 1: 1500

Sheet

A1

Plan Ref: 132965 - 20

Rev

E



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Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
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- Garages must not project forward of the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
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On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.

- Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement - 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

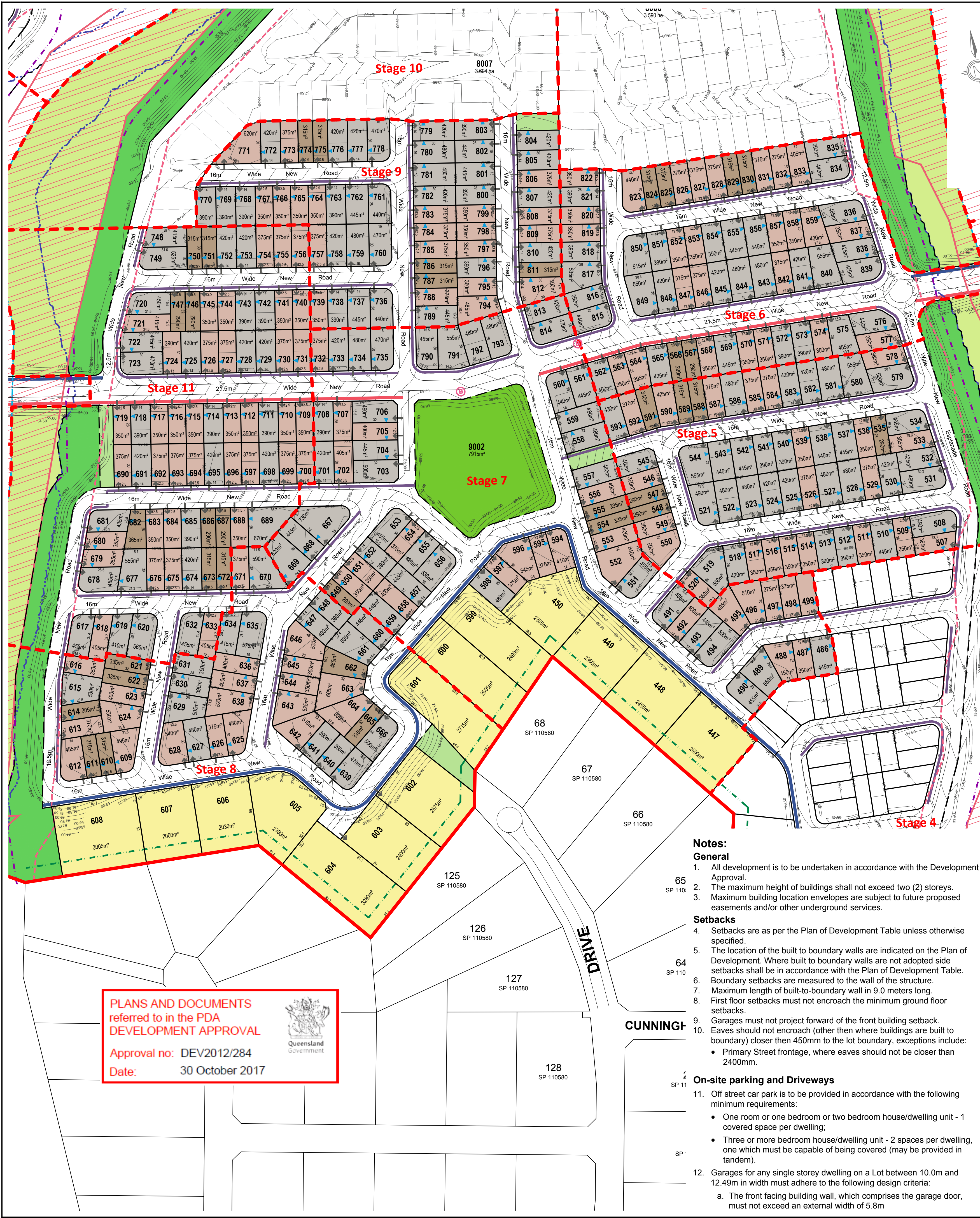
- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to:
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Mandatory	1.0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 32-34.



Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Mandatory	1.0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***

Maximum Site Cover 75% 75% 70% 60% 50% 50%

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies
**0m setback permitted to unenclosed verandahs and balconies
*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 32-34.

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- In-Line Bus Stop

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Drainage Centerline
- BMD Q100
- 50m Buffer to Sewer Pump Station

Open Space

- District Sports Park
- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- No Vehicular Access

- b. The garage door:
- Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
- c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
- One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
- d. Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
13. Tandem garages are permitted on any lot less than 12.5m wide.
14. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
15. All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
16. Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
17. Maximum of one driveway per dwelling unless it is a corner lot.
18. Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

19. On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
20. All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

21. Private open space is to be provided in accordance with the following requirements:
- One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
22. Private open space must be in accordance with the following requirements:
- Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

23. Letterbox clearly visible and identifiable from street.
24. Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
- verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

25. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
26. Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.

27. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
28. Fences in key locations are to be consistent and articulated fence design to :
- Non-access roads;
 - High visibility open space areas.
29. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

30. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
- Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
31. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
32. All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
- Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

33. The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
34. No buildings or structures are to be constructed in the buffer.
35. The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

36. Buildings must address all street frontages with driveways, pedestrian entries or both.
37. All dwellings must have a clearly identifiable front door, which is undercover.
38. Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
39. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

40. Floor area must be between a minimum of 30m² and 75m².
41. Materials, detailing, colours and roof form are consistent with those of the primary house.
42. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
43. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
44. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
45. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
46. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
47. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
48. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION

- A: 06/03/2017 - Council feedback amendments
B: 02/08/2017 - Layout and POD amendments
C: 28/08/2017 - Amend Stages 20 - 25
D: 14/09/2017 - Amend Stage 17 POD
E: 19/09/2017 - Amend Stage 1 POD

Note:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Land Partners
Flood: BMD

CLIENT

VILLA GREEN PTY LTD

PROJECT

TEVIOT VILLAGE

Plan of Development
Precinct 3
Allotment Layout
Application1 (Amendment)

Date: 19 September 2017

Comp By: WNW

Checked By: PHE

DWG Name: 132965 ROL

Job Ref: 132965

Local Authority: Economic Development Queensland

Locality: Teviot Downs

Scale: 1 : 1500

Sheet: A1

Plan Ref: 132965 - 21

Rev: E



RPS Australia East Pty Ltd
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ABN 44 140 292 762

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Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Maximum length of built-to-boundary wall in 9.0 meters long.
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.

- Garages are to located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
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- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
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- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

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- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
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- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
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- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- In-Line Bus Stop

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- No Vehicular Access

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Drainage Centerline
- BMD Q100
- 50m Buffer to Sewer Pump Station

Open Space

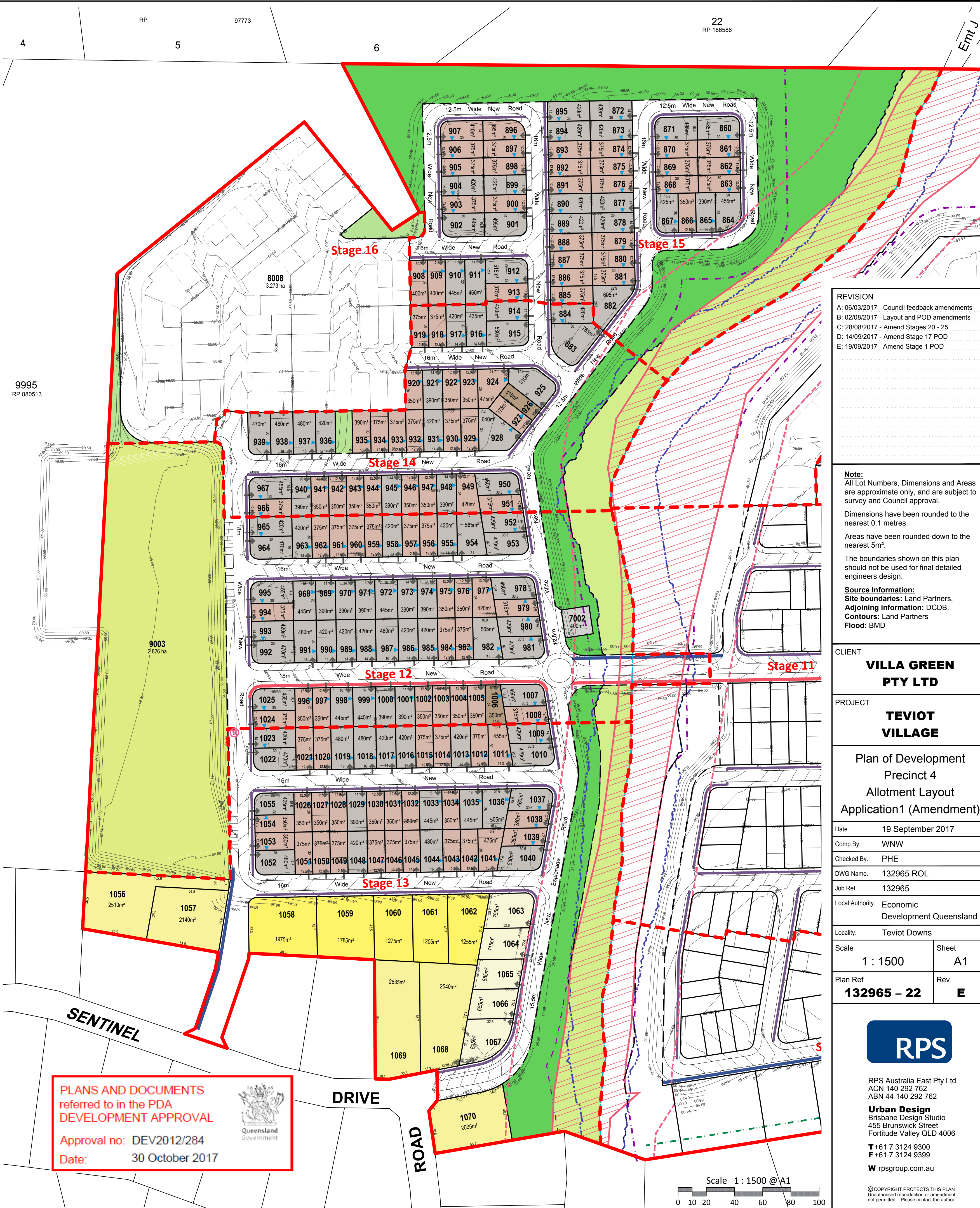
- District Sports Park
- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
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Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	Mandatory		Mandatory		Optional							
Corner Lots - Secondary Frontage	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Park**	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 32-34.



22
RP 186586

9995
RP 880513

SENTINEL
DRIVE
ROAD

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284
Date: 30 October 2017



Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION
A: 06/03/2017 - Council feedback amendments
B: 02/08/2017 - Layout and POD amendments
C: 28/08/2017 - Amend Stages 20 - 25
D: 14/09/2017 - Amend Stage 17 POD
E: 19/09/2017 - Amend Stage 1 POD

Note:
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Dimensions have been rounded to the nearest 0.1 metres.

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Adjoining information: DCDB.
Contours: Land Partners
Flood: BMD

CLIENT	VILLA GREEN PTY LTD		
PROJECT	TEVIOT VILLAGE		
Plan of Development Precinct 4 Allotment Layout Application1 (Amendment)			
Date.	19 September 2017		
Comp By.	WNW		
Checked By.	PHE		
DWG Name.	132965 ROL		
Job Ref.	132965		
Local Authority.	Economic Development Queensland		
Locality.	Teviot Downs		
Scale	1 : 1500	Sheet	A1
Plan Ref	132965 – 22	Rev	E



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DOCUMENTS
the PDA
ENT APPROVAL

DEV2012/284
30 October 2017

Queensland Government

Contributing to Key Initiatives of the
ment Plan" (Refer RPS Report)

"ON PATHS":
water bottle filling and fitness stations;
racks, tool stations, safety signage, learn
shading and rest areas (tree planting,
shade over paths and seating);
ents which enhance the pedestrian and
encourage increased use;
in linear parks and informal pathway

Indicative 400 Metre
Pedestrian Catchments
around key recreation
open space settings
(shown dashed green)

Indicative 400 Metre
Pedestrian Catchments
around key recreation
open space settings
(shown dashed green)

Possible link to
future rail by others

Future Connection
west along Pub Lane

Existing continues
to shops

LEGEND
NOTE: Pedestrian detailed locations and construction details to be confirmed at civil & landscape operational works phase.

- 2.5m WIDE CONCRETE PATH THROUGH PUBLIC OPEN SPACE: For major pedestrian links.
- 3.0m WIDE SHARED CONCRET IN ROAD RESERVES: For major Trunk Connector links.
- 2.5m WIDE CONCRETE PATH IN RESERVES: For major pedestrian links.
- 2.0m WIDE CONCRETE PATH IN RESERVES: For secondary pedestrian links.
- 1.5m WIDE CONCRETE PATH EXISTING IN PUB LANE ROAD
- 1.5m WIDE CONCRETE PATHS ROAD RESERVE: For Local links One side of road only for Access and Places.
- 1.2 to 1.5m WIDE INFORMAL PA ACROSS RIPARIAN CORRIDOR OPEN SPACE: Conforms to natural ground with signage indicating "W across path" at low points. Alignment between existing trees (minimal disturbance to vegetation flows) .
- KEY ACTIVITY / MEETING PLAC NODES: Throughout public open network, refer to supporting open strategy documents for further de

© Logo and Branding Full Logo/Plan based Full Logo - JPSD.jpg



Queensland
Government

“ENHANCED RECREATION PATHS”:

- drinking fountains, water bottle filling and fitness stations;
- bicycle facilities (bike racks, tool stations, safety signage, learn to ride facilities);
- additional pathway shading and rest areas (tree planting, advanced trees, fixed shade over paths and seating);
- interpretive art elements which enhance the pedestrian and cycle experience and encourage increased use;
- 2.5m wide paths within linear parks and informal pathway links across the riparian corridor

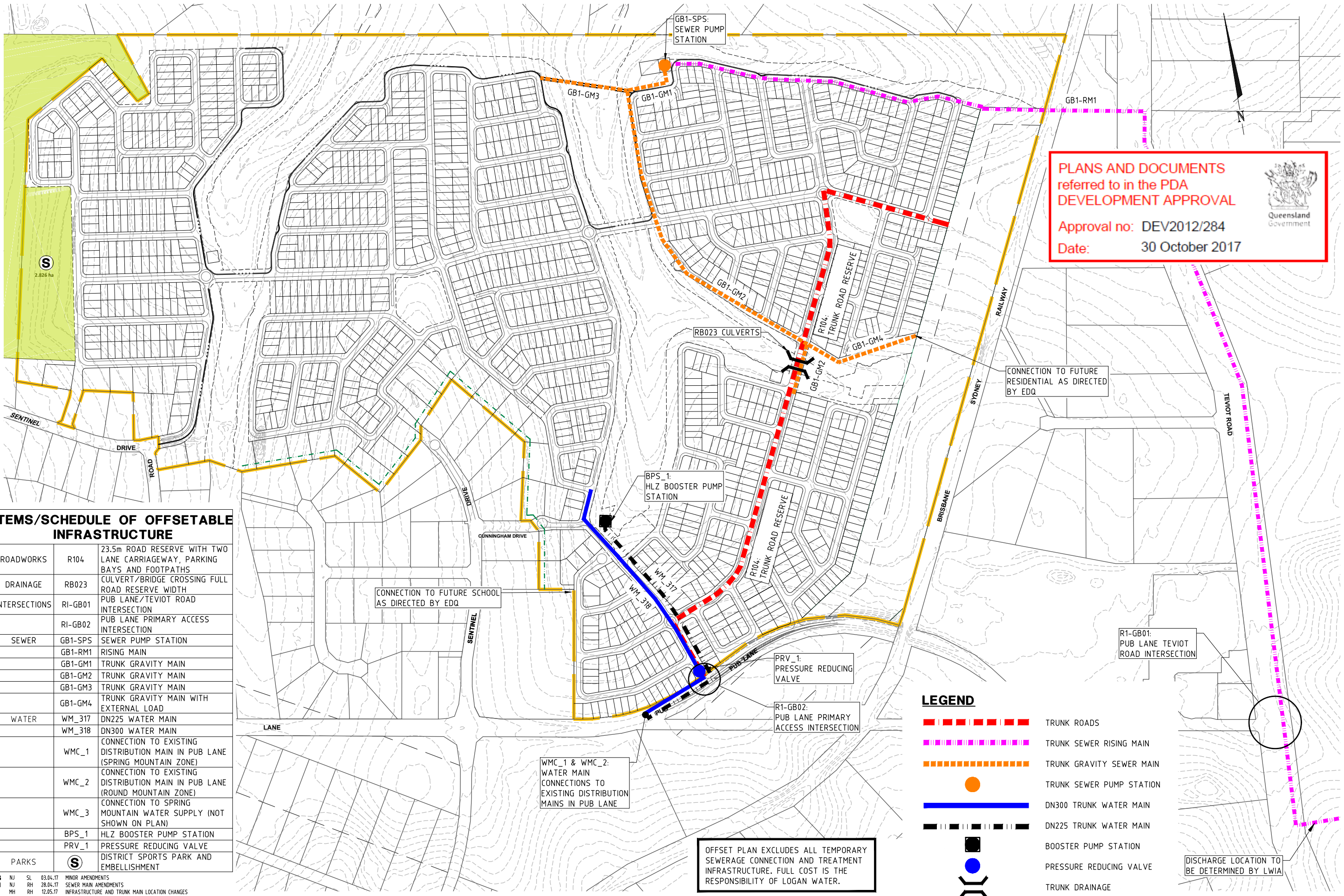
Future Connection
west along Pub Lane

Possible link to future rail by others

Existing continues to shops

100m
1:5000 @ A3

TEVIOT VILLAGE - LANDSCAPE MASTERPLAN ■ 15 SEPTEMBER 2017 ■ 8540 L CD 010 F



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/284

Date: 30 October 2017

ITEMS/SCHEDULE OF OFFSETABLE INFRASTRUCTURE

ROADWORKS	R104	23.5m ROAD RESERVE WITH TWO LANE CARRIAGEWAY, PARKING BAYS AND FOOTPATHS
DRAINAGE	RB023	CULVERT BRIDGE CROSSING FULL ROAD RESERVE WIDTH
INTERSECTIONS	RI-GB01	PUB LANE/TEVIOT ROAD INTERSECTION
	RI-GB02	PUB LANE PRIMARY ACCESS INTERSECTION
SEWER	GB1-SPS	SEWER PUMP STATION
	GB1-RM1	RIISING MAIN
	GB1-GM1	TRUNK GRAVITY MAIN
	GB1-GM2	TRUNK GRAVITY MAIN
	GB1-GM3	TRUNK GRAVITY MAIN
	GB1-GM4	TRUNK GRAVITY MAIN WITH EXTERNAL LOAD
WATER	WM_317	DN225 WATER MAIN
	WM_318	DN300 WATER MAIN
	WMC_1	CONNECTION TO EXISTING DISTRIBUTION MAIN IN PUB LANE (SPRING MOUNTAIN ZONE)
	WMC_2	CONNECTION TO EXISTING DISTRIBUTION MAIN IN PUB LANE (ROUND MOUNTAIN ZONE)
	WMC_3	CONNECTION TO SPRING MOUNTAIN WATER SUPPLY (NOT SHOWN ON PLAN)
	BPS_1	HLZ BOOSTER PUMP STATION
	PRV_1	PRESSURE REDUCING VALVE
PARKS	S	DISTRICT SPORTS PARK AND EMBELLISHMENT

G	NJ	SL	03.04.17	MINOR AMENDMENTS
H	NJ	SL	28.04.17	SEWER MAIN AMENDMENTS
I	MH	SL	12.05.17	INFRASTRUCTURE AND TRUNK MAIN LOCATION CHANGES
J	NJ	SL	18.08.17	TRUNK ROAD RESERVE UPDATE
FILE: 15-003700-SK01.dwg DATE: 29-09-2016 TIME: 15:30				
ISSUE	DATE	BY	DATE	DESCRIPTION
A	03.04.17	BG	03.04.17	MINOR AMENDMENTS
B	28.04.17	BG	28.04.17	SEWER MAIN AMENDMENTS
C	12.05.17	MH	12.05.17	INFRASTRUCTURE AND TRUNK MAIN LOCATION CHANGES
D	18.08.17	NJ	18.08.17	TRUNK ROAD RESERVE UPDATE
E	29-09-2016	NJ	29-09-2016	TRUNK ROAD RESERVE UPDATE
F	29-09-2016	NJ	29-09-2016	TRUNK ROAD RESERVE UPDATE

DESIGN CHECK	SCALE (METRES)
	NTS
DRAWN CHECK	

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