

LEGEND

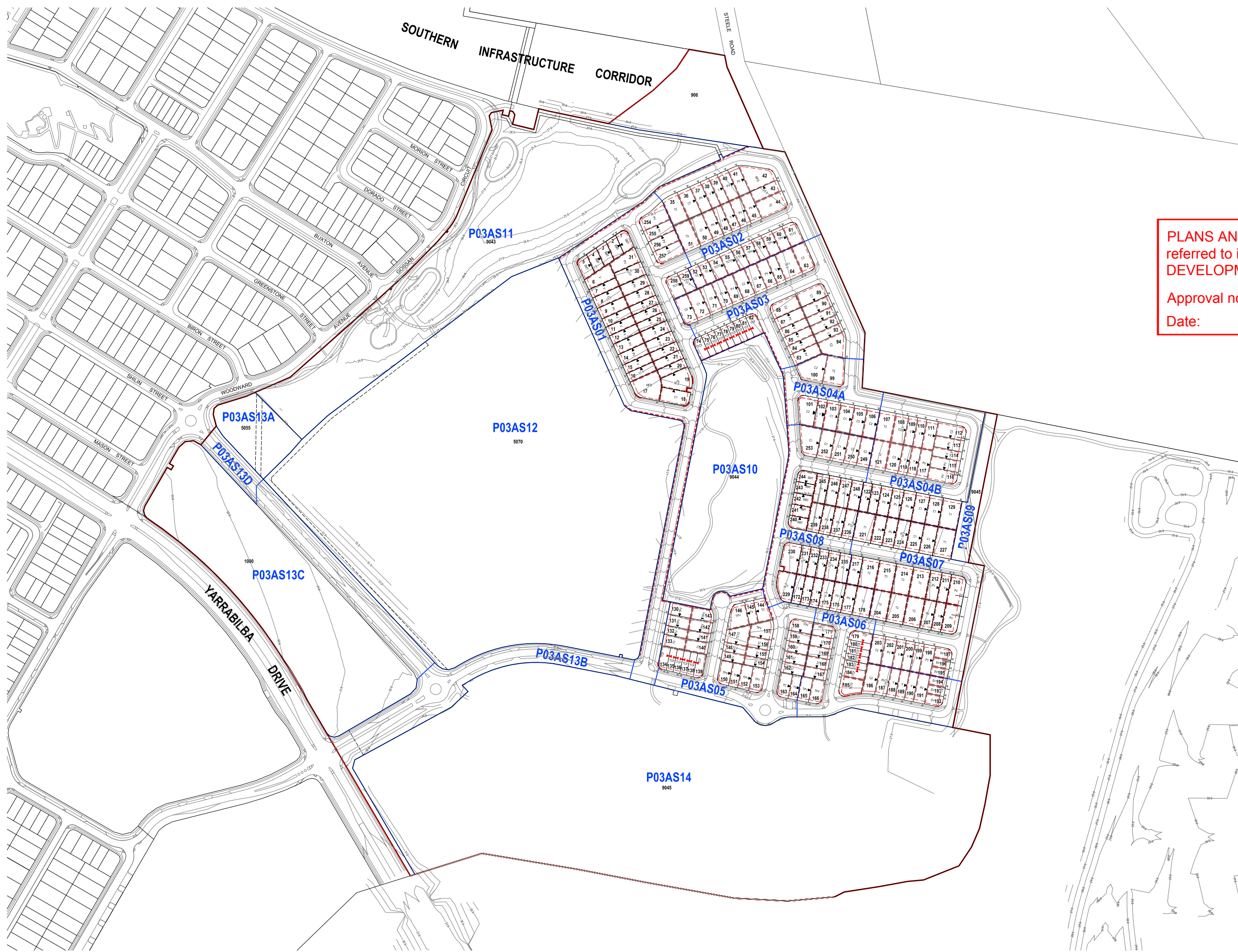
- YARRABILBA SITE BOUNDARY
- RECONFIGURATION OF A LOT APPLICATION ONE
- P03AS11 PROPOSED STAGE BOUNDARY

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/791

Date: 24 October 2017

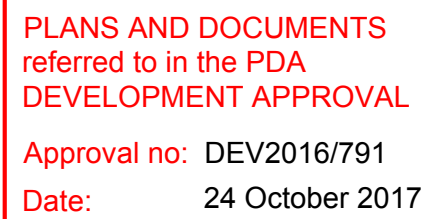

 Queensland
Government



PRECINCT THREE - VILLAGE 3A (APPLICATION ONE) RESIDENTIAL PLAN OF DEVELOPMENT

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	BUILD TO BOUNDARY LINE		PROPOSED STAGE BOUNDARY
	MANDATORY BUILD TO BOUNDARY LINE		BUILDING ENVELOPE
	NO VEHICULAR ACCESS		

SETBACK TABLE							
Lot Type			Front - Primary Frontage	Rear and Side (to wall)	Built to Boundary	First Floor Side	Corner Lots - Secondary Frontage
(T1)	Traditional 1	Ground Floor	3.0	0.9	N/A	2.0	1.5
(T2)	Traditional 2	Ground Floor	3.0	0.9	N/A	1.0	1.5
(T3)	Traditional 3	Ground Floor	3.0	0.9	N/A	1.0	1.5
(C1)	Courtyard 1	Ground Floor	3.0	0.9	0.0	1.0	1.5
(C2)	Courtyard 2	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(V)	Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCY2)	Town Courtyard 2	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TV)	Town Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TCF)	Terrace (Front Loaded)	Ground Floor	2.4	0.9	0.0	0.0	1.0
(MFS)	Multi-Family Strata*	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SV)	Smart Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(SMT)	Smart Lot	Ground Floor	3.0	0.9	0.0	1.0	1.5

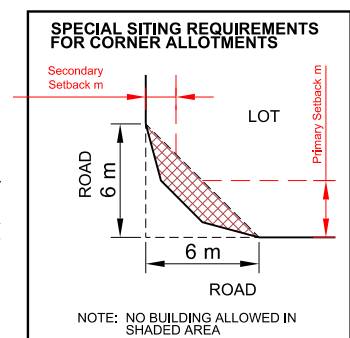
* Constitutes Multiple Residential Development

^ Setbacks are as per the Setbacks Table unless otherwise dimensioned

NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa	Terrace	MFS (Multi Family Strata)	Maximum Retaining Height
	Earthworks							
Front Boundaries	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
		Fill Maximum height of 1.0m						
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
		Fill Maximum height of 1.0m						

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification



Government	Percentage
Current government	100%
Previous government	0%



Date: 17 OCT 2017

LEGEND

- BUILD TO BOUNDARY LINE

MANDATORY BUILD TO BOUNDARY LINE

NO VEHICULAR ACCESS
- P03AS11

PROPOSED STAGE BOUNDARY

BUILDING ENVELOPE

SETBACK TABLE							
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(T1)	Traditional 1	Ground Floor	3.0	0.9	N/A	2.0	1.5
(T2)	Traditional 2	Ground Floor	3.0	0.9	N/A	1.0	1.5
(T3)	Traditional 3	Ground Floor	3.0	0.9	N/A	1.0	1.5
(C1)	Courtyard 1	Ground Floor	3.0	0.9	0.0	1.0	1.5
(C2)	Courtyard 2	Ground Floor	3.0	0.9	0.0	1.0	1.5
(PV)	Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
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(TPV)	Town Premium Villa	Ground Floor	3.0	0.9	0.0	1.0	1.5
(TC)	Town Cottage	Ground Floor	3.0	0.9	0.0	1.0	1.5
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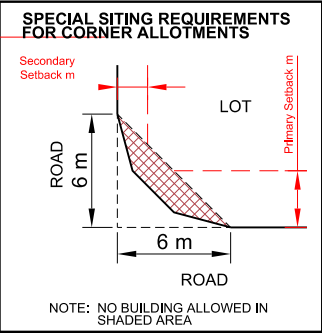
* Constitutes Multiple Residential Development
^ Setbacks are as per the Setbacks Table unless otherwise dimensioned
NOTE: All garages must be setback 5.0m to the front wall at the garage and a further 240mm to the garage door.

RETAINING WALL HEIGHT TABLE								
Lot Type		Traditional	Town Courtyard Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa	Terrace	MFS (Multi Family Strata)	Maximum Retaining Height
Front Boundaries	Earthworks							
	Cut Average	1.5	1.4	1.25	1.0	0.5	0.5	1.8
	Fill	Maximum height of 1.0m						1.0
Side Boundaries	Cut Average	1.0	0.7	0.6	0.5	0.5	0.5	1.8
	Fill Average	1.0	0.7	0.6	0.5	0.5	0.5	1.0
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.5	1.5	1.8
	Fill	Maximum height of 1.0m						1.0

Note: Retaining walls with a height of 1.0m or more require RPEQ Certification

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2016/791
Date: 24 October 2017



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 9 OF 15 (106127-68) - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT.

PRECINCT THREE - VILLAGE 3A (APPLICATION ONE)
RESIDENTIAL PLAN OF DEVELOPMENT

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DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

1. General:

(i) Easements over infrastructure have not been shown which may affect setbacks. Eaves must not protrude into easements.

(ii) The maximum height of unattached buildings shall not exceed 8.5m and for attached buildings or lots greater than 450sqm a building height of 10.5m may be permitted as measured from the natural ground level.

(iii) It is assumed that the pad level of each block will be the average of the four comers of the block. Buildings will be built to this pad level unless the consent of property owners on both sides of the block is obtained to vary the pad level.

(iv) Where allotments are so marked, the house construction must comply with the current Australian Standard for Domestic Construction regarding acoustics (AS 3671:1989 Acoustic-Road traffic noise intrusion Building siting and construction) such that the indoor noise levels from AS/NZS 2107:2000 of 40dB(A) for bedrooms and 45dB(A) for living rooms are achieved.
2. Setbacks:

(i) Setbacks are as per the Setback Table included on the Plan of Development unless otherwise specified.

(ii) Setbacks to the first floor and second floor (where permitted) are the same as those of the ground floor excluding on build to boundary walls where any floors above the ground floor must be setback a minimum of 1.0 metre.

(iii) All setbacks are measured to the wall. No projection will be closer to a side boundary than 450mm including gutter or fascia, with the exception of any eave returning to a build to boundary wall.

(iv) Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.

(v) The build to boundary line is nominated on this plan. The length of wall built to this boundary is not to exceed 15.0m (excluding the terrace product) unless specified otherwise in a Plan of Development. Parapets are considered to be a wall and are to comply with the. Setback table included on the Plan of Development.

(vi) Buildings to be sited in accordance with the Special Siting Requirements for Corner Allotments.

(vii) Front setbacks on corner lots are determined by the frontage that the front facade is addressing, for example, if the facade is facing the primary frontage it needs to be in accordance with the front setback.
3. Site Cover and Amenity:

(i) Site cover or each lot is not to exceed the following:

a. 80% for dual attached lots;

b. 70% for build to the boundary lots;

c. 60% for lots that do not use a build to boundary;

(ii) Total outdoor private open space accessible from the ground floor dwelling, either covered or uncovered, should be generally flat without any fall exceeding 70mm vertical or every 1.0 m horizontally. The total outdoor space should equal at least 15% of the total site area.
4. Parking , Garages and Carports:

(i) It is the requirement that at least one covered space per dwelling is off street.

(ii) TCF product, excluding those on a corner lot must have a single or tandem garage integrated into the dwelling, are setback a minimum or 5.0m to the front wall at the garage and a further 240mm to the garage door. Comer lot TCF product can provide a double garage or carport on the secondary frontage at the rear of the house with a 1.0m side setback to the wall and a further 240mm to the garage door.

(iii) Carports must include a roof design, design features and materials which are consistent with the form and materials of the home.

(iv) Carports must include either a garage door at the front or screening to the rear.

(v) Double garages for narrow lots (10m-12.49m) are to comply with Note 14 on this Plan of Development.
5. Driveways:

(i) The driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the construction of a driveway will be allowed. Where there is a footpath within the verge the driveway prevails, ie. the portion of the footpath where the driveway crosses is removed.

(ii) Maximum driveway grades within lots must not exceed 1:5, or 1:4 with transitions at both ends of the driveway.

(iii) Driveways must be offset at least 300mm from the side property boundary.

(iv) Driveways must be completed prior to occupation and be located as shown on the approved Functional Layout Roadworks Plan, unless otherwise agreed by DILGP.

(v) Driveways across the verge cannot exceed 3.0m for a single garage or 5.0m for a double garage.

(vi) Driveways, unless varied by a provision above, shall accord with Logan City Council's standards (except for the driveway siting requirements in relation to intersections which is as per the approved POD) prior to construction, approval from Logan City Council for Vehicular Access to Residential Premises is required.
6. Retaining Walls, Earthworks and Sloping Land:

(i) Retaining wall heights must not exceed those nominated in the Retaining Wall Heights table included on the Residential Plan of Development.

(ii) If these requirements are not able to be achieved, construction methods other than slab on ground construction are to be used. If elevated construction is to be used, under floor services must be located or screened to minimise their appearance to adjoining properties and public spaces.

- (iii) Retaining walls along street or park frontages cannot exceed 1.0 m in height. A planted strip of a minimum width of 500mm must exist between any terraced retaining walls.

(iv) Retaining walls to side boundaries between lots cannot exceed 1.8metres high at the front wall of the house and must taper down forward of the house.

(v) Retaining walls over 900mm high require a 1metre high fence above the wall and adequate landscape screening.

(vi) Where the block allows for build to the boundary, the build to the boundary wall must be projected to 150mm below the likely pad level of the adjacent block. The pad level can be assumed to be the average of the four comers of the adjacent block using the As Built levels. The build down or the build to boundary wall must be in a material consistent with the wall above it.

(vii) The front wall of the home must not be more than 50% below the midpoint level of the front boundary.

7. External Building Materials:

No raw, unfinished or untreated materials are permitted for external building works. This includes galvanised iron, zinc or aluminium coated steel, corrugated or unpainted fibre cement sheeting and bare, painted or uncoloured concrete block work or commons brickwork. Other materials will be considered on their architectural merits eg. natural stone.

8. Front Facade Articulation:

(i) Facades of the home fronting the street must include a highly visible entry and include a substantial verandah, or include two materials or finishes to the entry.

(ii) Single storey homes must include articulation between the alignment of the front wall and the garage on the primary frontage. The minimum acceptable alignment variation is 560mm. Garages are permitted to be a maximum 1.0m forward of the front building wall where the roof of the entry is positioned forward of the roof of the garage. Special provisions apply for narrow lots as per Note 14.

(iii) Double storey homes which incorporate a minimum depth verandah or balcony to the first floor to at least 40% of the front elevation width do not require articulation between the alignment of the front wall and the garage.

9. Homes with more than one Visible Facade (Corner Homes):

Homes on comers or with park frontage must provide feature windows and detailing to match the front elevation along the secondary frontage or extend the detailing of the priority street facade to the front four metres of the secondary frontage.

10. Fencing:

(i) No front fencing is desirable on primary street frontages in order to ensure the predominance of landscaping in front of buildings.

(ii) Any fencing on the primary street frontage is to be a maximum of 1.2 metres in height and decorative in style, with the exception of regulation fencing required around pools.

(iii) Fencing up to 1.5 m in height will be permitted on primary street frontages if it is:

a. an open style fence that is 50% transparent, or

b. is a courtyard wall constructed of face brickwork or masonry piers with coloured render or textured finish, or

c. is of architectural merit.

(iv) Fencing provided to a secondary street frontage can be up to 1.8 metres in height and must be decorative fencing.

(v) All side fencing must either return to the house a minimum of 1.0 metre behind the front building line or continue forward of the front building line as decorative fencing.

(vi) Decorative fencing is to be constructed of rendered and painted masonry piers or painted or stained posts, with infill panels of coloured metal tube, painted or stained timber palings or horizontal battens. Timber paling fences will only be accepted if they are painted in a colour which complements the design or the home, and treated with decorative capping or trims and provided with pronounced posts.

(vii) Secondary Fencing must finish 4 metres behind the front wall or your home.

(viii) Untreated or coloured metal sheeting, fibrous cement or non-decorative timber fencing is not acceptable as a decorative fence.

(ix) Fencing and retaining walls erected by Lendlease must not be altered, removed or modified in any way, without the prior written approval from Lendlease.
11. Landscaping:

At least 50% of your front yard is landscaped with grass and/or garden beds. A significant portion of this area must include gardens with trees and/or shrubs capable of growing to 3 metres tall and at least 600mm high at the time of planting. Please refer to the preferred Yarrabilba plant species list for guidance.
12. Outdoor Structure and Services

(viii) All outdoor structures visible from the street or public spaces including but not limited to, roof or wall mounted air-conditioning units, satellite dishes, antennas, water tanks and clotheslines must be suitably screened and located to minimise detrimental visual impact.

(ii) Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.
13. Build to Boundary Wall Lengths

The maximum length of build to boundary for any TCF product shall be 18m.
-
14. Garages on Narrow Lots Residential Lots (10m -12.49m in width)

Garages for Lots between 10m -12.49m in width must adhere to the following design criteria
- (i) The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m

(ii) The garage door

a. Width must not exceed 4.8m;

b. Must have a 450mm eave above it;

c. Must be setback a minimum of 240mm behind the pillar of the garage door; and

d. Must have a sectional, tilt or roller door.

(iii) The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:

a. A front entrance door and windows with a side light;

b. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door; and

c. The verandah, portico or porch is to include front piers with distinct materials and/or colours.

15. Driveways on Narrow Lots - Residential lots (10-12.49m in width)

(i) Driveways cannot exceed 3.0m accross the verge on lots between 10.0m and 12.49m wide.

16. Additional Design Criteria for Multi Family Strata (MFS) Lots (Constitutes Multiple Residential Development)

(i) MFS lots are defined as a set of two or more dwellings on a single allotment which address all street frontages with the appearance of a traditional single residential dwelling.

(ii) Each dwelling must include a laundry, food preparation area, sanitary facilities, bin storage area and clothes drying area. The clothes drying and bin storage areas must not be visible from any street frontage.

(iii) All dwellings must be sited in accordance with the Residential Plan of Development.

(iv) Buildings must address all streets as primary frontages with a minimum of one (1) dwelling per street frontage.

(v) Lots that have a park frontage are to address the park through the inclusion of at least three of the following design elements:

a. A verandah, porch or portico;

b. Awning and shade structures;

c. Variation to roof and building lines;

d. Inclusion of window openings; and

e. Use of varying building materials and treatments.

(vi) All buildings with a width of more than 10 metres that are visible from a road or a park are to be articulated to reduce the mass of the building by one or more of the following

a. Windows are recessed into the facade;

b. Balconies, porches or verandas are provided;

c. Window hoods are provided; or

d. Shadow lines are created on the building through minor changes in the facade (100mm minimum).

(vii) The extent of garages must not exceed 40 percent of the lot frontage on any street frontage except where Double Garages on Narrow Lot Requirements are met.

(viii) Private outdoor living space must be provided at a minimum of 25m² for each dwelling. Outdoor living space must:

a. Incorporate a minimum of one single area of 16m² on the ground floor or 12m² for elevated areas of outdoor living space;

b. Primary outdoor spaces must be accessible from the indoor living spaces and must have a minimum dimension of 4.0 metres for ground level living or 2.0 metres for elevated outdoor living spaces. Primary spaces must not have a slope of more than 10%; and

c. Private outdoor living spaces must be clearly delineated for each dwelling.

(ix) Site cover for MFS lots shall not exceed 60%.

17. The entry wall in Lot 163 is to be carried out generally in accordance with the approved Plan of Development for Advertising Devices.

PRECINCT THREE - VILLAGE 3A (APPLICATION ONE)
RESIDENTIAL PLAN OF DEVELOPMENT

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File No. 106127-Precinct 3A-ROL Dwg No. 106127-68H C

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/791
Date: 24 October 2017

AMENDED IN RED

By: Tom Barker
Date: 18 October 2017

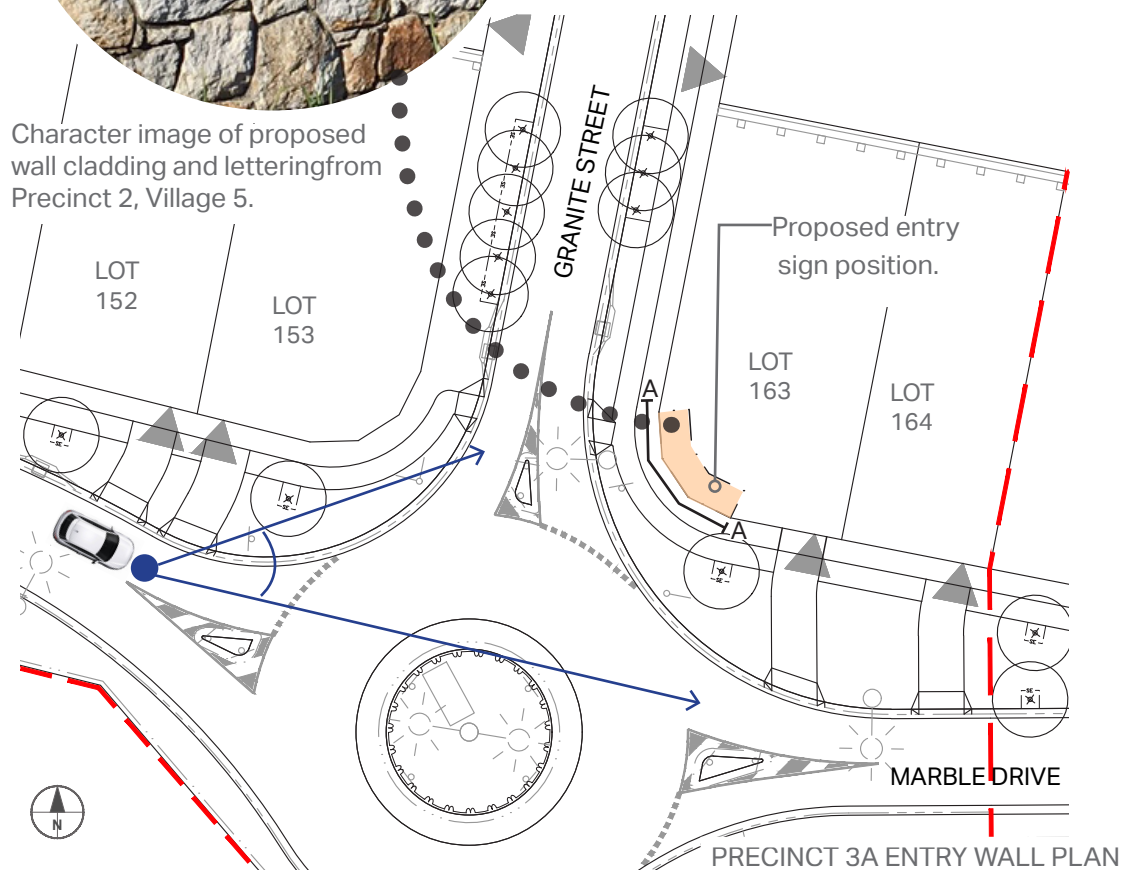
THESE CRITERIA MUST BE READ IN
CONJUNCTION WITH RESIDENTIAL PLAN
OF DEVELOPMENT SHEET 5 TO 6
(106127-64/65).

lendlease

Date: 08/09/2017



Signage entry wall to Sandstone Ridge to be located within a lease area within Lot 163 of Stage 5. Sizing and location subject to detail design.



CONCEPT DESIGN

Precinct 3a - Sandstone Ridge Entry Wall



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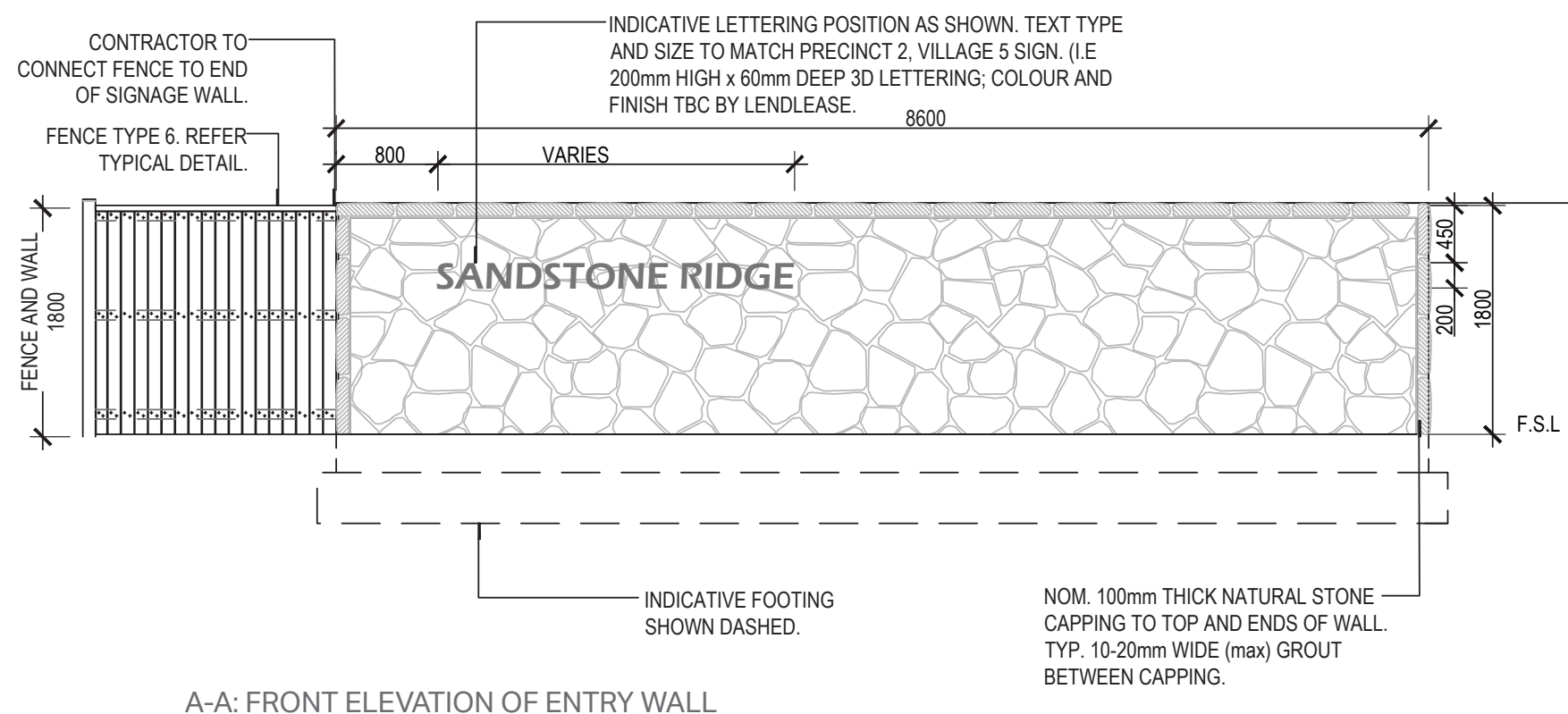
Date: 24 October 2017



AMENDED IN RED

By: Tom Barker

Date: 18 October 2017



Plan of Development - Advertising Devices (Entry Wall)

STATUS: FOR COMMENT

REVISION: B

DATE: 04.09.2017



LAND USE BUDGET	
RESIDENTIAL	9.3722 ha
NEW ROAD - COLLECTOR	2.1669 ha
NEW ROAD - LOCAL	5.1002 ha
SIC LAND	0.9305 ha
EXISTING ROAD	0.5531 ha
LANDSCAPING / ROAD RESERVE	0.2570 ha
NEIGHBOURHOOD PARK	2.7276 ha
(CREDITED PARK)	1.2530 ha
LINEAR PARK	4.9066 ha
MAJOR SPORTS PARK	12.6607 ha
EDUCATION	12.2734 ha
RETAIL / COMMUNITY / COMMERCIAL / MIXED USE & MULTI-RESIDENTIAL	3.2736 ha
CHILD CARE	0.4905 ha
TOTAL	54.7123 ha

MINIMUM RESIDENTIAL DENSITY	15.721 ha 247 du 15.71 du/ha
MAXIMUM RESIDENTIAL DENSITY	15.721 ha 251 du 16.23 du/ha

MINIMUM DWELLINGS is based on the development of one dwelling on each single family and multi family strata (MFS) lot.

MAXIMUM DWELLINGS is based on the development of one dwelling on each single family lot and three dwellings on each multi family strata (MFS).

DENSITY calculations include the area of residential lots, local roads and credited neighbourhood park.

The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

 YARRABILBA SITE BOUNDARY
 RECONFIGURATION OF A LOT APPLICATION ONE
 PROPOSED STAGE BOUNDARY

LEGEND

- YARRABILBA SITE BOUNDARY
- RECONFIGURATION OF A LOT APPLICATION ONE
- P03AS11 PROPOSED STAGE BOUNDARY

LOT TYPE
TRADITIONAL (T1)
TRADITIONAL (T2)
TRADITIONAL (T3)
COURTYARD (C1)
COURTYARD (C2)
PREMIUM VILLA (PV)
VILLA (V)
TOWN COURTYARD (TCY2)
TOWN COTTAGE (TC)
TOWN PREMIUM VILLA (TPV)
TOWN VILLA (TV)
TERRACE FRONT LOADED (TCF)
MULTI-FAMILY STRATA (MFS)
SMART VILLA (SV)

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P03AS11

9043
4.906 ha

P03AS02

P03AS01

P03AS03

P03AS04A

P03AS12

5070
12.273 ha

P03AS10

9044
2.728 ha

P03AS04R

PRECINCT THREE - VILLAGE 3A (APPLICATION ONE)
RECONFIGURATION OF A LOT

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0 20 40 60 80 100m

Scale 1: 1500 at A3

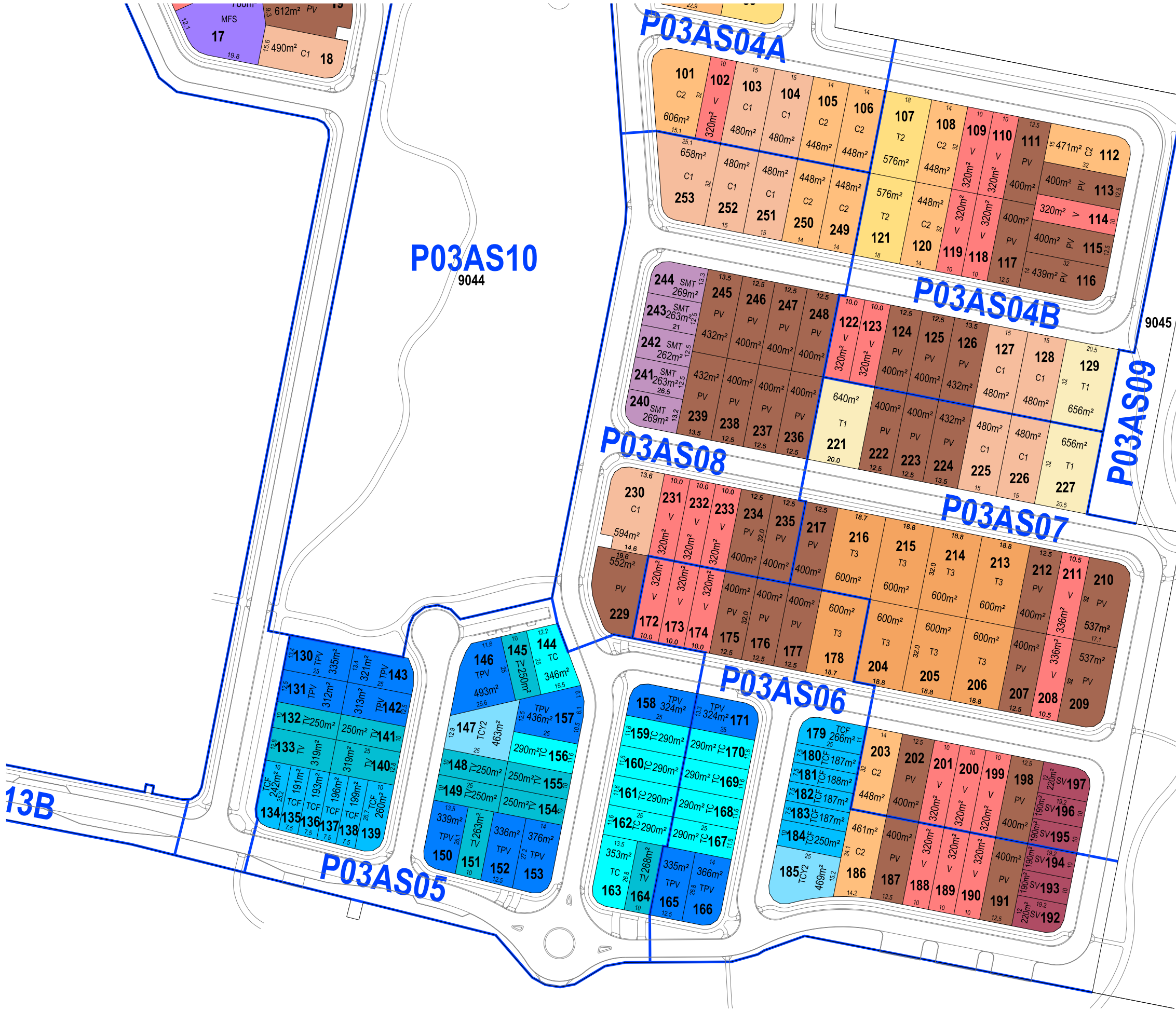


lendlease

LEGEND

- YARRABILBA SITE BOUNDARY
RECONFIGURATION OF A LOT APPLICATION ONE
P03AS11 PROPOSED STAGE BOUNDARY

LOT TYPE
TRADITIONAL (T1)
TRADITIONAL (T2)
TRADITIONAL (T3)
COURTYARD (C1)
COURTYARD (C2)
PREMIUM VILLA (PV)
VILLA (V)
TOWN COURTYARD (TCY2)
TOWN COTTAGE (TC)
TOWN PREMIUM VILLA (TPV)
TOWN VILLA (TV)
TERRACE FRONT LOADED (TCF)
MULTI-FAMILY STRATA (MFS)
SMART VILLA (SV)



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PRECINCT THREE - VILLAGE 3A (APPLICATION ONE)
RECONFIGURATION OF A LOT

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0 20 40 60 80 100m
Scale 1: 1500 at A3



REFER KN DWG 15-111-SK001

LEGEND

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED ROAD CENTRELINE
- PROPOSED 'GREENWAY CORRIDOR'
- PROPOSED FOOTPATH
- NOMINATED DRIVEWAY LOCATION

P03AS12
HIGH
SCHOOL
SITE

5070

3x BUS SETDOWNS
EXACT LOCATION TO BE CONFIRMED
DURING DETAILED DESIGN

BUS SETDOWN. EXACT
LOCATION TO BE CONFIRMED
DURING DETAILED DESIGN

MAJOR PEDESTRIAN LINK
ALIGNMENT TO BE CONFIRMED
DURING DETAIL DESIGN

BUS STOP. EXACT
LOCATION TO BE CONFIRMED
DURING DETAILED DESIGN

MAJOR PEDESTRIAN LINK
ALIGNMENT TO BE CONFIRMED
DURING DETAIL DESIGN

DRIVEWAY CONFIGURATION
TO BE CONFIRMED DURING
DETAIL DESIGN

MAJOR PEDESTRIAN
LINK TO PRECINCT 3C.
ALIGNMENT TO BE
CONFIRMED DURING
DETAIL DESIGN

MAJOR PEDESTRIAN
LINKS ALIGNMENT TO
BE CONFIRMED
DURING DETAIL
DESIGN

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/791
Date: 24 October 2017

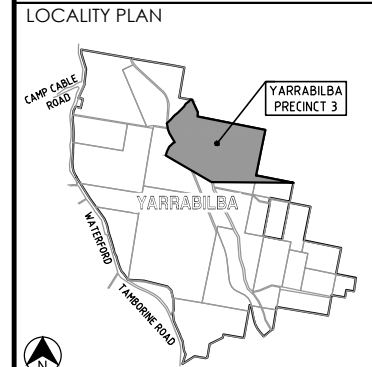
AMENDED IN RED

By: Tom Barker
Date: 18 October 2017



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REVISIONS

No	Description	Date	By
A	FOR APPROVAL	JUN/16	JAS
B	MAJOR PEDESTRIAN LINK ADDED	17/11/16	JAS
C	FOOTPATH WIDTH AMENDED	30/11/16	JAS
D	LOT LAYOUT & NUMBERS AMENDED	09/02/16	JAS
E	STAGING & LAYOUT AMENDED	17/03/17	JAS
F	LOT LAYOUT & NUMBERS AMENDED	30/06/17	JAS
G	REVISED LOT TYPE	11/07/17	DES

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Approved - RPEQ 12805
Drawing Title
P03A FUNCTIONAL LAYOUT
ROADWORKS PLAN
SHEET 3

Drawn JAS	Designed JAS	Checked GBG	Date MAY 16
Scale AS SHOWN	Drawing No 15-111-SK003	Sheet 03 of 17	Revision G

LEGEND

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED SEWER
- PROPOSED STORMWATER
- PROPOSED WATER
- FUTURE RISING MAIN
- EXISTING SEWER
- EXISTING TRUNK SEWER
- EXISTING STORMWATER
- EXISTING WATER
- VEGETATION OFFSET LINE
- EXISTING TOP OF BANK
- 30m BUFFER LINE
- BIO BASIN/SEDIMENT POND
- REFER DESIGNFLOW'S REPORT:
- SMP - COMBINED PRECINCT 1 AND PRECINCT 2

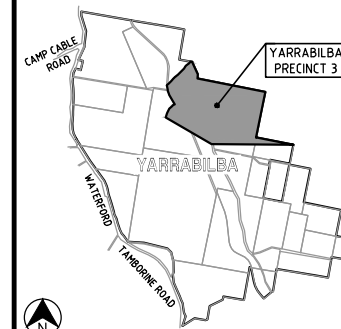
REFER KN DWG 15-111-SK005

WATER CONNECTION TO FUTURE
P03C ALIGNMENT TO BE
CONFIRMED DURING DETAIL DESIGN

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LOCALITY PLAN



REVISIONS

No	Description	Date	By
A	FOR APPROVAL	JUN/16	JAS
B	WATER ALIGNMENT AMENDED	17/11/16	JAS
C	RETAINING WALL AMENDED	30/11/16	JAS
D	SERVICES AMENDED	09/02/16	JAS
E	LOT LAYOUT & NUMBERS AMENDED	17/03/17	JAS
F	LOT LAYOUT & NUMBERS AMENDED	30/06/17	JAS
G	REVISED LOT TYPE	11/07/17	DES

Associated Consultants

RPS

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PRECINCT 3
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FUNCTIONAL DRAWINGS

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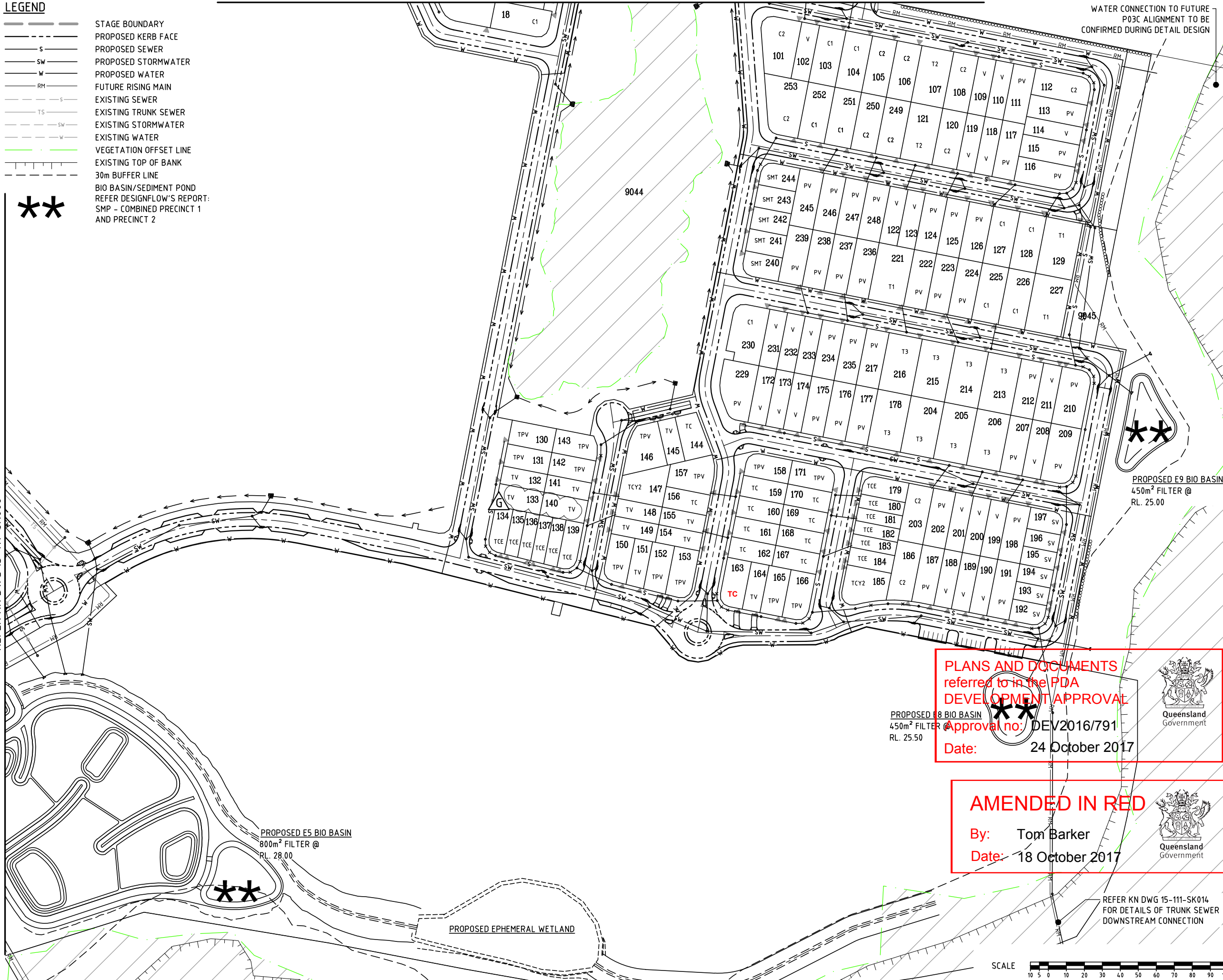
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Drawing Title

P03A FUNCTIONAL LAYOUT
SERVICES PLAN
SHEET 3

Drawn JAS	Designed JAS	Checked GBG	Date MAY 16
Scale AS SHOWN	Drawing No 15-111-SK007	Sheet 07 of 17	Revision G

REFER KN DWG 15-111-SK006



PLANS AND DOCUMENTS
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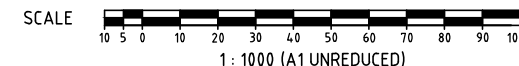
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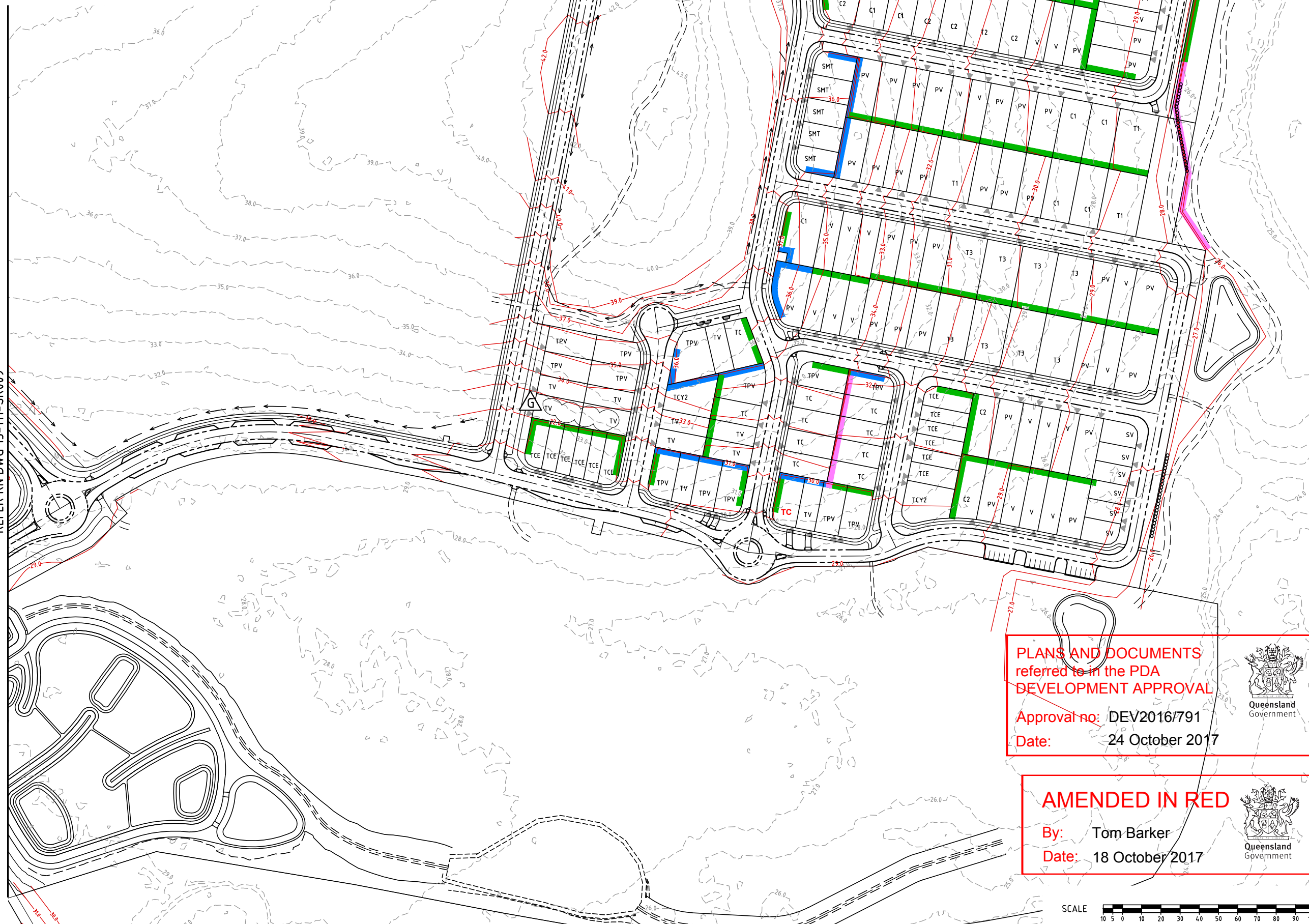
REFER KN DWG 15-111-SK014
FOR DETAILS OF TRUNK SEWER
DOWNSTREAM CONNECTION



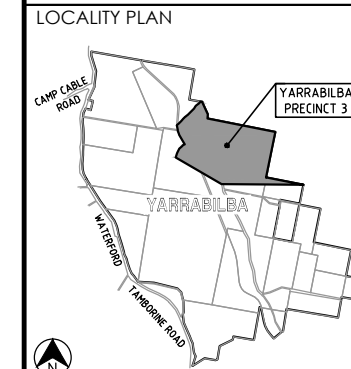
REFER KN DWG 15-111-SK008

LEGEND

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PRELIMINARY CONTOURS
- EXISTING CONTOURS (LIDAR)
- BATTERS - RETAINING WALL <1.0m
- PROPOSED RETAINING WALL 1.0-2.0m
- PROPOSED RETAINING WALL 2.0-2.5m



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REVISIONS

No	Description	Date	By
A	FOR APPROVAL	JUN/16	JAS
B	MAJOR PEDESTRIAN LINK ADDED	17/11/16	JAS
C	FOOTPATH WIDTH AMENDED	30/11/16	JAS
D	LOT LAYOUT & NUMBERS AMENDED	09/02/16	JAS
E	LOT LAYOUT & NUMBERS AMENDED	17/03/17	JAS
F	LOT LAYOUT & NUMBERS AMENDED	30/06/17	JAS
G	REVISED LOT TYPE	11/07/17	DES

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Drawing Title

P03A FUNCTIONAL LAYOUT
EARTHWORKS PLAN
SHEET 3

Drawn JAS	Designed JAS	Checked GBG	Date MAY 16
Scale AS SHOWN	Drawing No 15-111-SK010	Sheet 10 of 17	Revision G

PLANS AND DOCUMENTS
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Date: 24 October 2017



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Date: 18 October 2017



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REFER KN DWG 15-111-SK009

LEGEND

——— PROPOSED KERB FACE
 - - - - - PROPOSED ROAD CENTRELINE
 ■ EXTRA CARPARK SPACE

NOTE

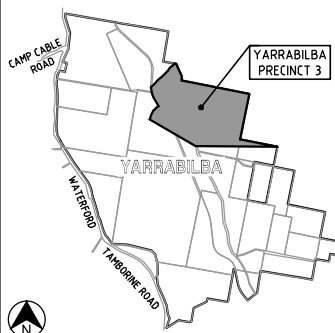
0.75 ON STREET PARKING SPACE PER LOT EQUIVALENT TO 3 PARKING SPACES PER 4 LOTS AS INDICATED IN COLOURED BLOCKS

REFER KN DWG 15-111-SK011

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LOCALITY PLAN



REVISIONS

No	Description	Date	By
A	FOR APPROVAL	JUN/16	JAS
B	MAJOR PEDESTRIAN LINK ADDED	17/11/16	JAS
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E	LOT LAYOUT & NUMBERS AMENDED	17/03/17	JAS
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G	REVISED LOT TYPE	11/07/17	DES

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Drawing Title

P03A FUNCTIONAL LAYOUT
 ON-STREET PARKING
 SHEET 3

Drawn JAS	Designed JAS	Checked GBG	Date MAY 16
Scale AS SHOWN	Drawing No 15-111-SK013	Sheet 13 of 17	Revision G

PLANS AND DOCUMENTS
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 DEVELOPMENT APPROVAL

Approval no: DEV2016/791
 Date: 24 October 2017



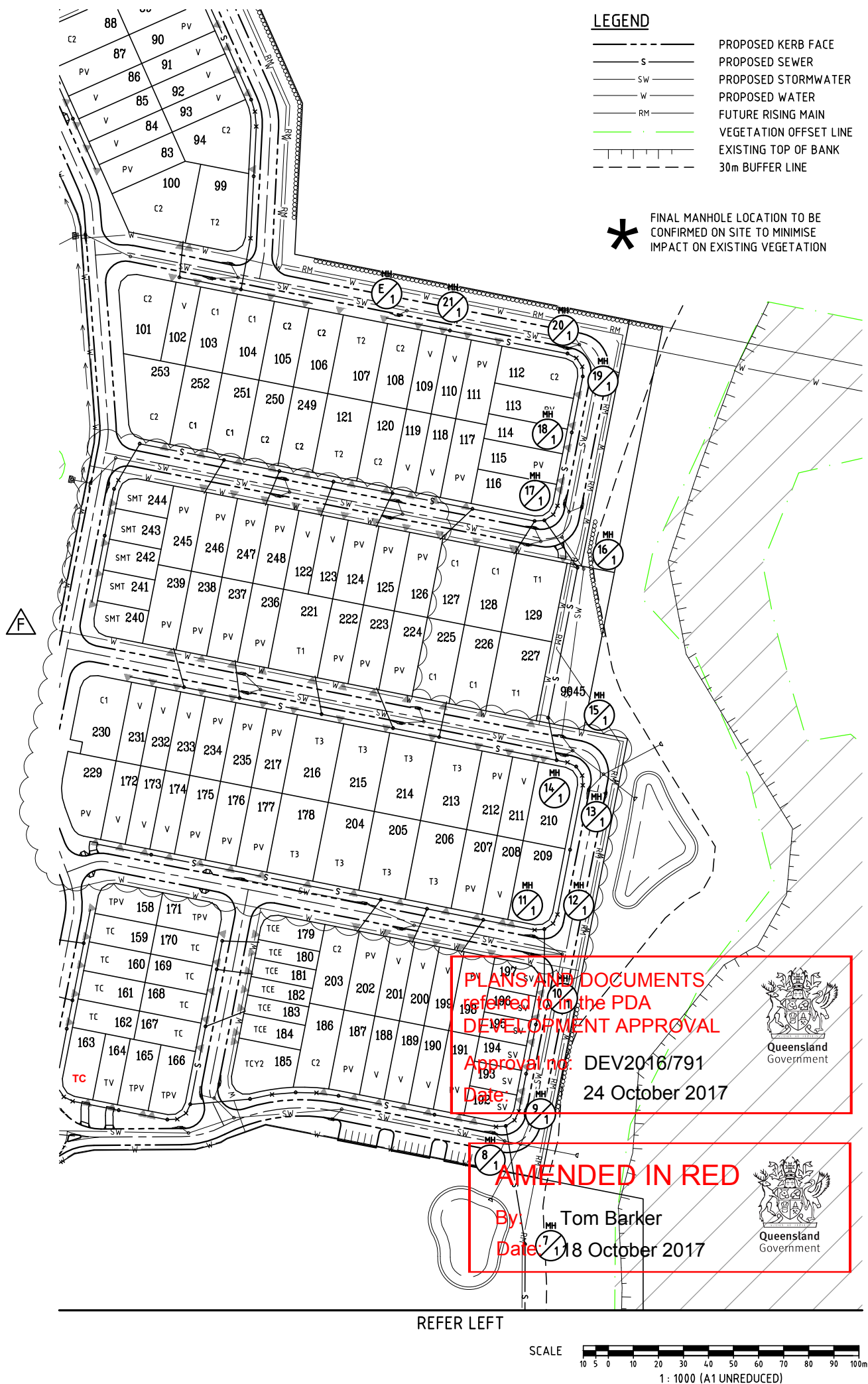
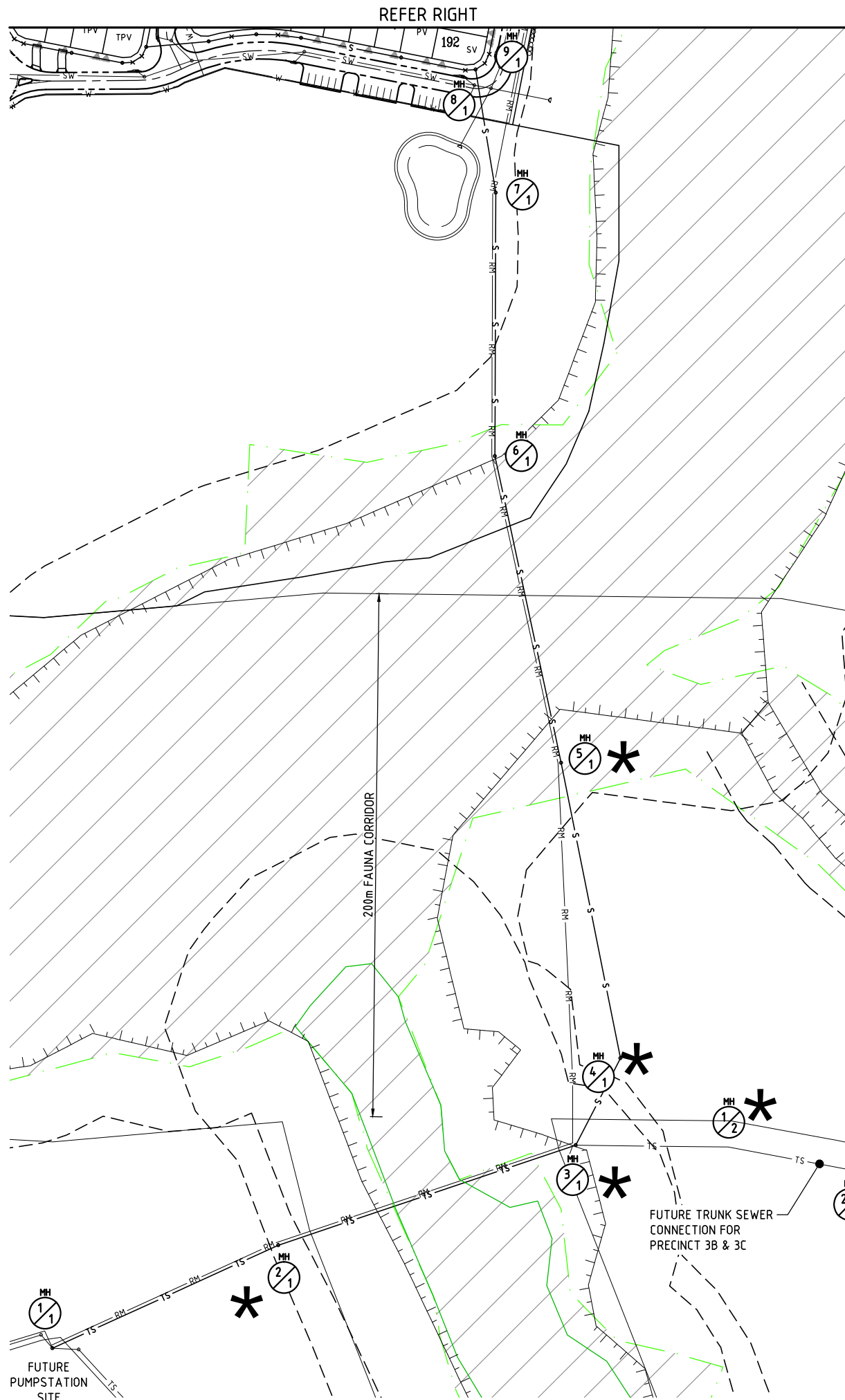
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REFER KN DWG 15-111-SK012



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LOCALITY PLAN

YARRABILBA PRECINCT 3

REVISIONS

No	Description	Date	By
A	FOR APPROVAL	JUN/16	JAS
B	CARPARKING AMENDED	17/11/16	JAS
C	RETAINING WALL AMENDED	30/11/16	JAS
D	LOT LAYOUT & NUMBERS AMENDED	09/02/16	JAS
E	LOT LAYOUT & NUMBERS AMENDED	17/03/17	JAS
F	LOT LAYOUT & NUMBERS AMENDED	30/06/17	JAS

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YARRABILBA PRECINCT 3 PRELIMINARY PLANNING FUNCTIONAL DRAWINGS

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Drawing Title

P03A FUNCTIONAL LAYOUT PRELIMINARY TRUNK SEWER LAYOUT PLAN

Drawn	Designed	Checked	Date
JAS	JAS	GBG	MAY 16

Scale	Sheet
AS SHOWN	14 of 17

Revision	By
A1	15-111-SK014