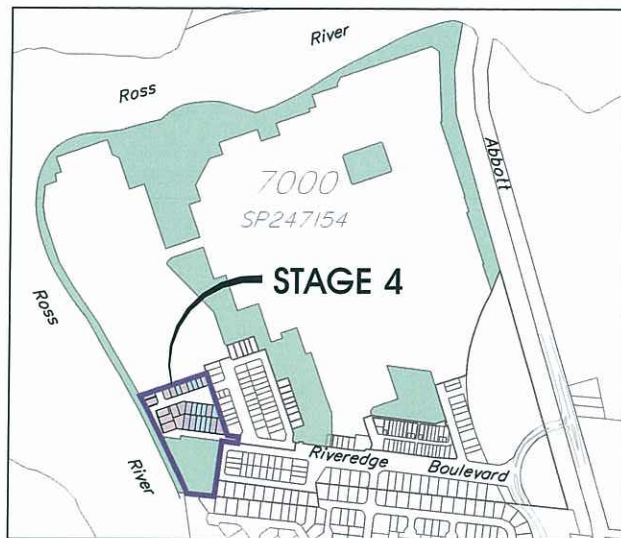




Locality Scale 1:15000

## LEGEND

- Stage Boundary
- Build to Boundary (preferred)
- Primary Street Frontage
- No vehicle access
- Preferred Driveway location
- Future Parkland Area
- Refuse Bin Pad
- Existing Trees to be retained

## Lot Type

- Villa Allotment Type 1 (10m frontage)
- Villa Allotment Type 2 (11.5 & 12.5m frontage)
- Courtyard Allotment Type 1 (15m frontage)

## Notes :-

### General:

1. All development is to be undertaken in accordance with the Development Approval.

### Orientation:

2. Entries - Front doors and letterboxes of dwellings are to address the Primary Street Frontage.
3. Where dwellings encompass more than one frontage they are to be designed to address each street frontage.

### Setbacks:

4. Setbacks are as per the Site Development Table unless otherwise specified.
5. Built to boundary walls are preferred where shown.
6. Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m. Except where dwellings on adjoining allotments are constructed simultaneously, e.g. duplex or terraces.
7. Boundary setbacks are measured to the wall of the structure.
8. Eaves should not encroach (other than where building is built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2.4m.

### Parking:

9. Minimum off-street parking requirements - Studio, 1 and 2 bed dwellings - 1 space per dwelling Other - 2 spaces per dwelling, which may be in tandem.
10. Double garages will not be permitted on a single storey dwelling on a lot less than 12.5m wide.
11. Double garages will not be permitted on any lot less than 10.0m wide.
12. Double garages may be permitted on a lot  $\geq$  10.0m wide and  $\leq$  12.5m wide where the dwelling is more than one storey in height, and where:
  - the garage is setback at least 1m behind the main face, excluding balconies, of the dwelling, and
  - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
19. Parking spaces on driveways do not have to comply with AS2890.

### Site Cover and Amenity:

20. Site cover for each lot is not to exceed 60% of the lot.
21. Minimum private open space requirements:
  - must be accessed from a living area.
  - one room or one bedroom house/unit 5m<sup>2</sup> with a minimum dimension of 1.2m.
  - two room house/unit 9m<sup>2</sup> with a minimum dimension of 2.4m.
  - three or more bedroom house/unit 12m<sup>2</sup> with a minimum dimension of 2.4m.

### Buildings

22. Buildings that are visible from a street or a park should be articulated to reduce the mass of the building by:
  - windows recessed into the facade
  - balconies, porches or verandahs provided
  - window hoods provided
  - shadow lines created on the building through minor changes in the facade (100mm minimum)
  - use more than one building material on the facade.

### Fencing:

25. Fencing on all Primary Street Frontages to be either 50% transparent up to 1.5m high or not to exceed 1.2m in height.
26. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).
27. Fences on Secondary Street frontages to be 50% transparent and not exceed 1.5m in height.

### Driveways:

28. For conventional allotments (not laneway allotments) the following applies:
  - serving a double garage shall be 4.8m at the lot boundary
  - serving a single garage shall be 3.0m at the lot boundary
29. The maximum width of a driveway:
  - serving a double garage shall be 4.8m at the lot boundary
  - serving a single garage shall be 3.0m at the lot boundary
30. A maximum of one driveway per dwelling is permitted.
31. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
32. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.

### Climate Responsive Design

33. The required minimum private open space must be covered to at least 50% of the minimum area.
34. All habitable rooms must incorporate at least two (2) openings to facilitate cross ventilation. The openings shall have a minimum area of not less than 10% of the total floor area of each room. Openings can include, or combination of:
  - External opening windows
  - Internal openings
  - Louvered windows; or
  - Ceiling and/or roof ventilation shafts / opening skylights.
 For clarity the two (2) openings can not be located on the same wall or ceiling.
35. All habitable rooms must incorporate at least one opening to facilitate access to natural light. All external openings / windows must include, or combination of, an eave or window hood having a minimum overhang of 450mm.
36. All habitable rooms shall be provided with:
  - Ceiling fan; and/or
  - Ceiling / roof ventilation.
37. All dwellings require ventilated roof-space. This can be achieved by installing rotating roof vents, solar powered roof ventilators, roof vents, gabled vents and unsealed eaves or other approved ventilation.
38. A landscape area of at least 5m<sup>2</sup> is provided to both the front and rear of the dwelling and must incorporate at least one (1) specimen tree capable of reaching at least 4 metres at maturity.



## PLAN OF DEVELOPMENT

Lots 400 to 428, 499 & 7000  
Cancelling Lot 7000 on SP247154

Parish of Stuart  
County of Elphinstone  
City of Townsville

PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

20 FEB 2013

MEDQ

| Site Development Table           | Villa Allotments (1)<br>10m Frontage |             | Villa Allotments (2)<br>11.5-12.5m Frontage |             | Courtyard Allotments<br>15.0m Frontage |             |
|----------------------------------|--------------------------------------|-------------|---------------------------------------------|-------------|----------------------------------------|-------------|
|                                  | Ground Floor                         | First Floor | Ground Floor                                | First Floor | Ground Floor                           | First Floor |
| Front Primary Frontage           | 3.0m                                 | 3.0m        | 3.0m                                        | 3.0m        | 3.0m                                   | 3.0m        |
| Rear                             | 1.0m                                 | 1.0m        | 1.0m                                        | 1.0m        | 1.0m                                   | 1.0m        |
| Side - General lots              |                                      |             |                                             |             |                                        |             |
| Build to Boundary                | 0.0m                                 | 1.0m        | 0.0m                                        | 1.0m        | 0.0m                                   | 1.0m        |
| Non Build to Boundary            | 0.9m                                 | 0.9m        | 1.0m                                        | 1.0m        | 1.0m                                   | 1.5m        |
| Corner Lots - Secondary Frontage | 1.5m                                 | 1.5m        | 1.5m                                        | 1.5m        | 2.0m                                   | 2.0m        |

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.



brazier motti

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Date: 1st February 2013

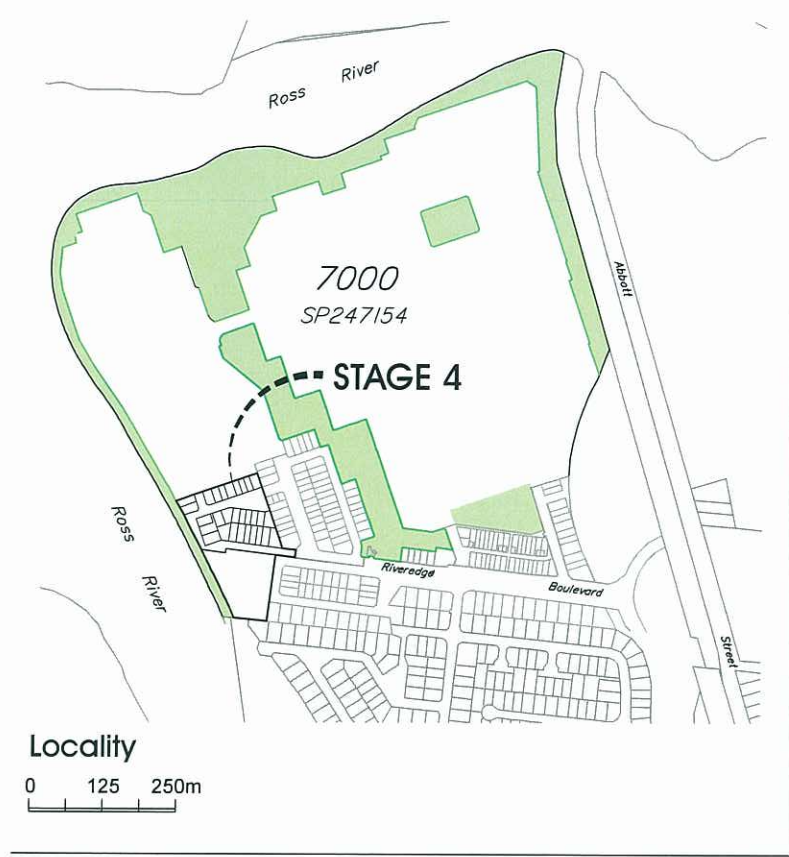
Scale: 1:1000 @ A3

Drawn: SEM

Job No: 29060/042-01

Plan No: 29060/045 H

surveying | town planning | project management | mapping and GIS



## - STAGE 4 -

### Areas

|                              |                    |
|------------------------------|--------------------|
| Stage Area .....             | 2.668 ha           |
| Park Land Area .....         | 1.030 ha           |
| 7.5m Road Reserve Area ..... | 3140m <sup>2</sup> |
| 5.5m Road Reserve Area ..... | 2889m <sup>2</sup> |

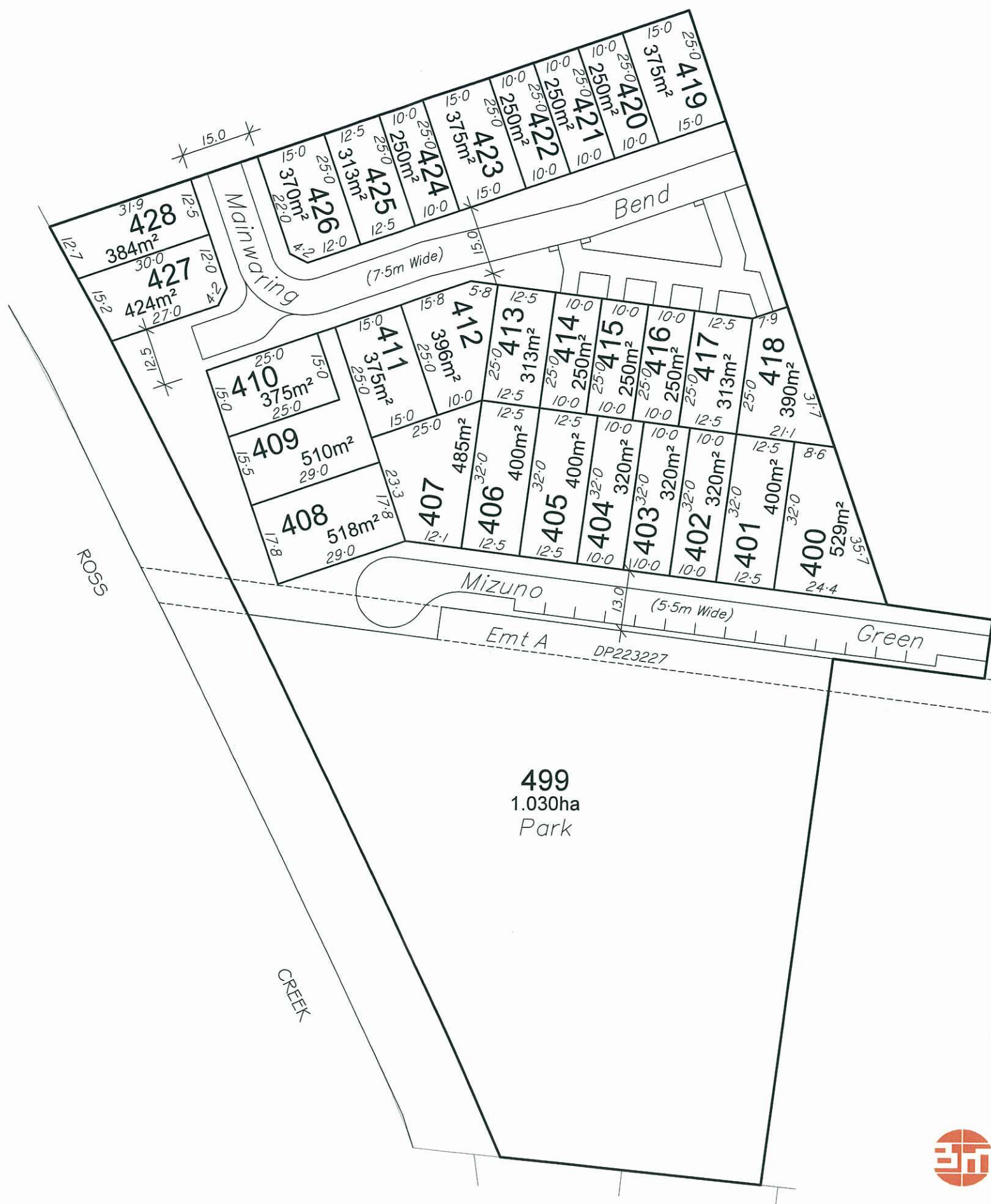
### Lengths

|                         |      |
|-------------------------|------|
| 7.5m Road Reserve ..... | 155m |
| 5.5m Road Reserve ..... | 130m |



Future Park Land Area

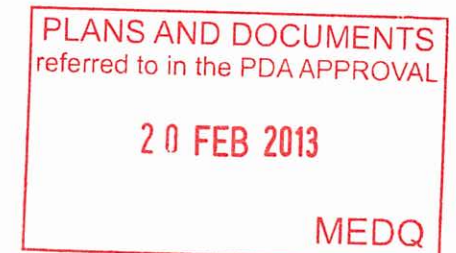
This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.



## PROPOSED RECONFIGURATION

Lots 400 to 428 & 7000  
Cancelling Lot 7000 on SP247154

Parish of Stuart  
County of Elphinstone  
City of Townsville

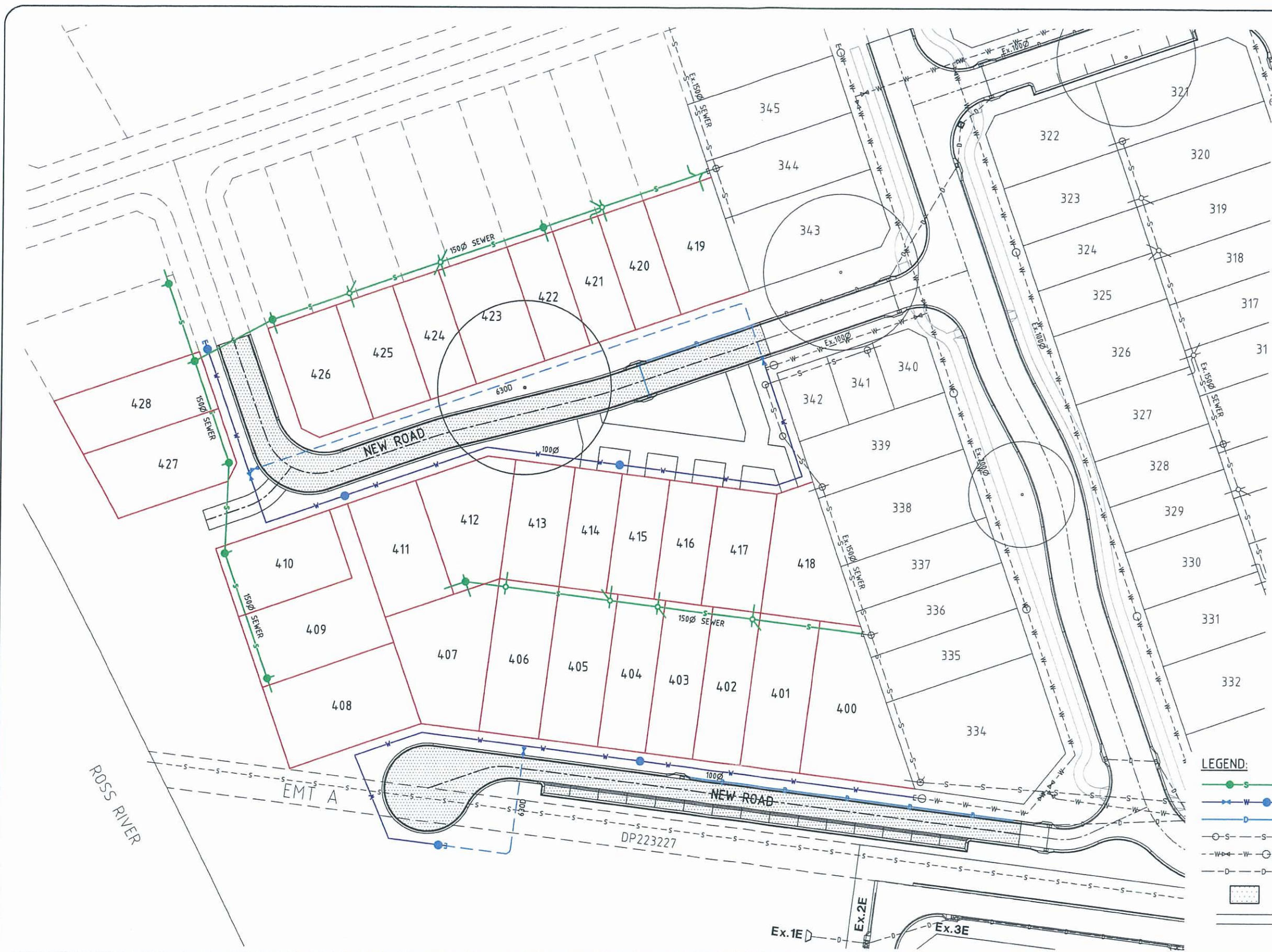


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Date: 5th February 2013  
Scale: 1:1000 @ A3  
Drawn: SEM  
Job No: 29060/042-01  
Plan No: 29060/046 F

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PLANS AND DOCUMENTS  
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20 FEB 2013

MEDQ

**LEGEND:**

- PROPOSED SEWER MAIN AND MANHOLE
- PROPOSED WATERMAIN, VALVE & HYDRANT
- PROPOSED STORMWATER DRAINAGE
- EXISTING SEWER MAIN AND MANHOLE
- EXISTING WATERMAIN, VALVE & HYDRANT
- EXISTING STORMWATER DRAINAGE
- PROPOSED NEW PAVEMENT
- PEDESTRIAN PATHS

0 8.0 16.0 24.0m  
SCALE 1:400

**PRELIMINARY ISSUE NOT FOR CONSTRUCTION**

| REV. | DATE     | REVISIONS                                     |
|------|----------|-----------------------------------------------|
| 1    | 03/09/12 | PRELIMINARY ISSUE FOR DEVELOPMENT APPLICATION |

**JAS-ANZ**

**ISO 9001**

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**REAL PROPERTY DESCRIPTION:**  
Lots 64 to 101 on SP247154

DRAWN: C.MELLIHAN  
DESIGNED: [Signature]  
CHECKED: [Signature]

PROJECT MANAGER: P.PETERSEN  
PROJECT DIRECTOR: P.BRADY RPEQ 7112

DATUM: AHD (DERIVED)

**UDP Consulting Engineers**

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**URBAN LAND DEVELOPMENT AUTHORITY**

THE VILLAGE - STAGE 4  
RIVEREDGE BOULEVARD, OONOOBBA  
COMBINED SERVICES PLAN

DRAWING SIZE: A1  
SCALE: 1:400  
XREF: ULD003-XR-SKETCH

DRAWING No. ULD003/SK01  
REV 1