

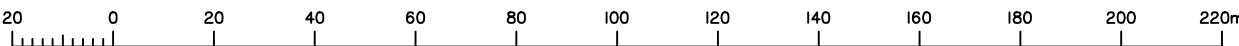
Land Budget Stage 7										
Land Use	Stage 7A	Stage 7B	Stage 7C	Stage 7D	Stage 7E	Stage 7F	Stage 7G	Stage 7H	Overall	
Area of Subject Site	Area	Area	Area	Area	Area	Area	Area	Area	Area	Percentage
	3.025 ha	1.770 ha	1.161 ha	1.151 ha	0.298 ha	0.357 ha	4.689 ha	15.401 ha	27.852 ha	100.0%
Saleable Area										
Residential Allotments	—	—	0.140 ha	0.347 ha	—	—	—	—	0.487 ha	1.7%
Town Centre Frame Allotments	2.253 ha	1.265 ha	0.462 ha	0.397 ha	0.192 ha	0.357 ha	—	—	4.926 ha	17.7%
Service Allotments	—	—	—	—	—	—	—	0.016 ha	0.016 ha	0.1%
Balance Super Allotments	—	—	—	0.063 ha	—	—	4.689 ha	15.143 ha	19.895 ha	71.4%
Total Area of Allotments	2.253 ha	1.265 ha	0.602 ha	0.807 ha	0.192 ha	0.357 ha	4.689 ha	15.159 ha	25.324 ha	90.9%
Road										
Collector Road	—	0.223 ha	0.248 ha	0.252 ha	—	—	—	—	0.723 ha	2.6%
Local Road	0.698 ha	0.262 ha	0.311 ha	0.092 ha	0.106 ha	—	—	0.242 ha	1.711 ha	6.1%
Linear Connections	—	—	—	—	—	—	—	—	—	0.0%
Road Widening	0.074 ha	0.020 ha	—	—	—	—	—	—	0.094 ha	0.3%
Total Area of New Road	0.772 ha	0.505 ha	0.559 ha	0.344 ha	0.106 ha	—	—	0.242 ha	2.528 ha	9.1%
Road Lengths										
Street Type	Length	Length	Length	Length	Length	Length	Length	Length	Length	
6.5m Wide New Road	—	—	—	120m	—	—	—	—	120m	
14.5m Wide New Road	—	—	—	—	—	—	—	—	—	
16.5m Wide New Road	195m	—	57m	—	40m	—	—	—	292m	
20.6m Wide New Road	239m	122m	110m	—	—	—	—	—	471m	
29m Wide New Road	—	73m	75m	85m	—	—	—	—	233m	
Total Length of New Road	434m	195m	242m	205m	40m	—	—	—	1116m	

Yield Breakdown Stage 7										
Product Name	Typical Size	Typical Area	Stage 7A	Stage 7B	Stage 7C	Stage 7D	Stage 7E	Stage 7F	Stage 7G	Stage 7H
25m Deep Product										
SOHO Terrace 7.5m Allotment	7.5 x 25m	188m²	—	—	5	11	—	—	—	16
SOHO Terrace 9.5m Allotment	9.5 x 25m	238m²	—	—	2	4	—	—	—	6
Subtotal			—	—	7	15	—	—	—	22
Total Residential Allotments										
			—	—	7	15	—	—	—	22
Super Lots										
Town Centre Frame		Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots
Service Allotments		2	3	2	1	1	1	1	1	10
Balance Super Allotments		—	—	—	—	—	—	—	—	1
Sub Total		2	3	2	2	1	1	1	1	14
Total Allotments										
		2	3	9	17	1	1	1	2	36

Legend

- Site Boundary
- Stage Boundary
- Possible Loft Dwelling (Subject to further approval)
- Possible Multiple Residential Allotment (Max. no. of dwellings) (Subject to further approval)
- Q5 Flood Line
- Q100 Flood Line
- Category B area (Remnant vegetation)
- Access Easement
- Road Widening

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Registered Survey Plans
Adjoining information: DCDB

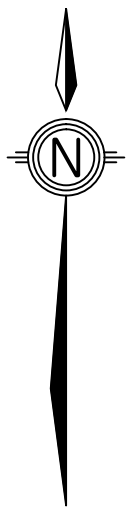


REVISION A: 06/05/2015 RFI Response B: 18/05/15 Amend Staging C: 18/09/15 Amend Layout D: 13/05/16 Amend Lots Stage 7A E: 21/02/17 Amend Staging F: 22/02/17 Amend Staging and Lots	Level Datum		Date	22 Feb 2017	CLIENT PEET	PROJECT		RPS RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Urban Design Brisbane Design Studio 455 Brunswick Street Fortitude Valley QLD 4006 T+61 7 3124 9300 F+61 7 3124 9399 w rpsgroup.com.au	
	Origin		Comp By.	WNW / AN		FLAGSTONE PRECINCT 1			
			DWG Name.	Precinct 1 Stage 7	PLAN OF SUBDIVISION STAGE 7 TOWN CENTRE EAST		Plan Ref 110056 - 270		Rev F
			Local Authority	Economic Development Queensland					
	Scale 1 : 1500	Sheet A1	Locality	JIMBOOMBA	©COPYRIGHT PROTECTS THIS PLAN Unauthorized reproduction or amendment not permitted. Please contact the author.				
			Job Reference	110056					

Yield Breakdown Stage 7						
	Stage 7A	Stage 7B	Stage 7E	Stage 7F	Stage 7H	Overall
Super Lots	Lots	Lots	Lots	Lots	Lots	Lots
Town Centre Frame	2	3	1	1	—	7
Service Allotments	—	—	—	—	1	1
Balance Super Allotments	—	—	—	—	1	1
Sub Total	2	3	1	1	2	9
Total Allotments						
	2	3	1	1	2	9

Legend

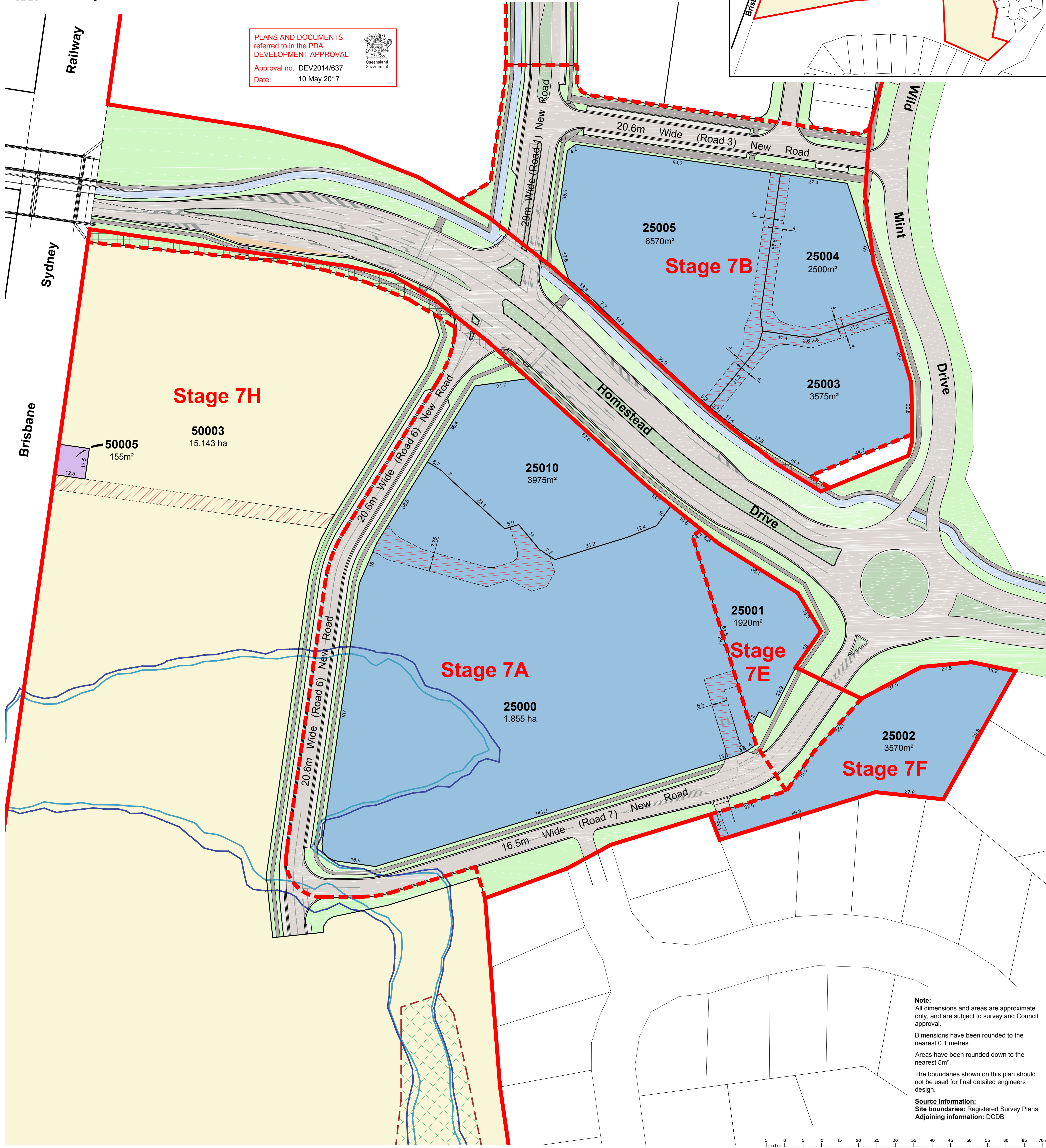
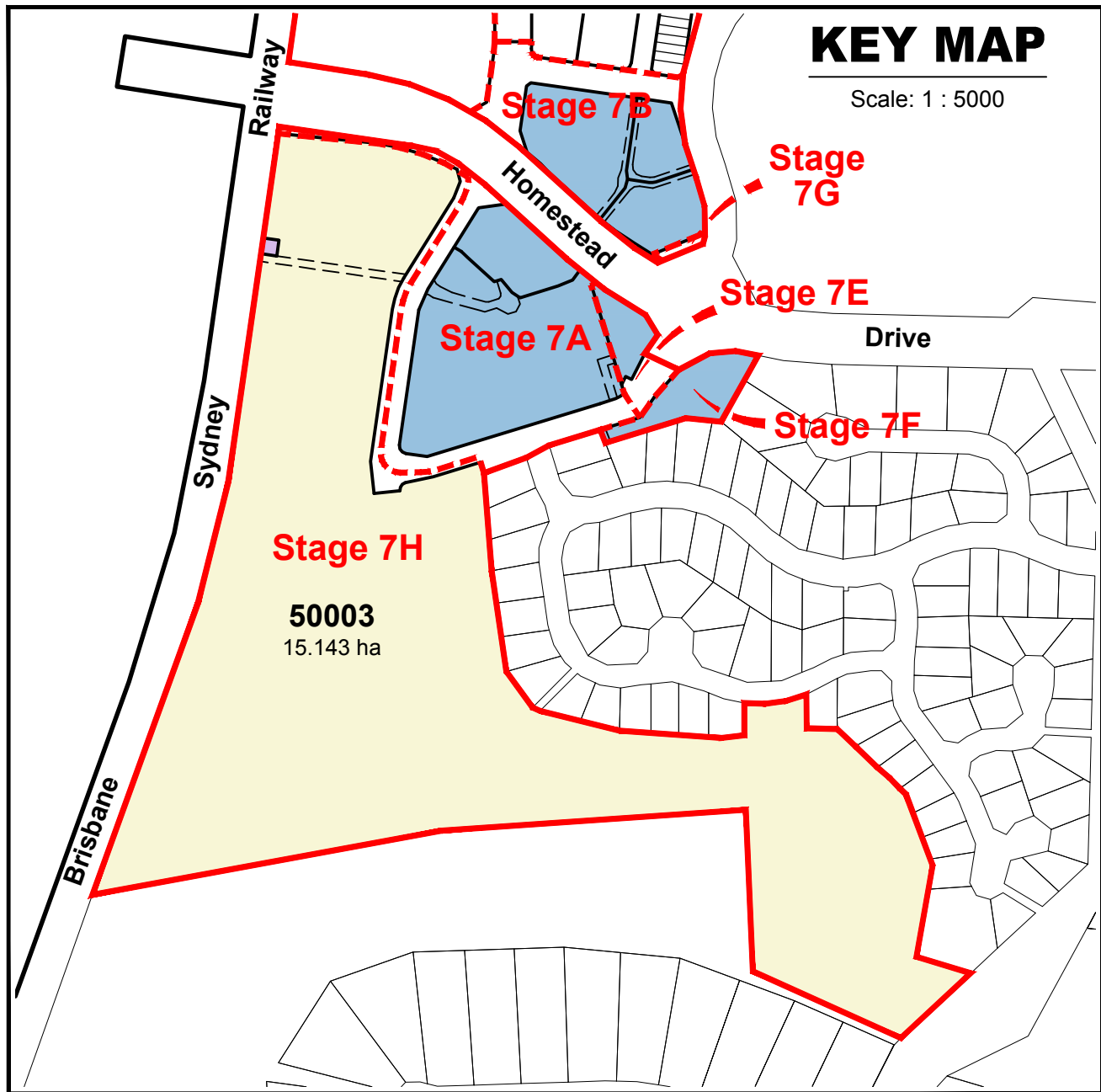
- Site Boundary
- Stage Boundary
- Possible Loft Dwelling (Subject to further approval)
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- Category B area (Remnant vegetation)
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- Road Widening



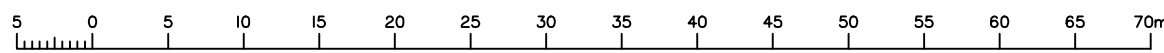
PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2014/637
Date: 10 May 2017



Land Budget Stage 7							
Land Use	Stage 7A	Stage 7B	Stage 7E	Stage 7F	Stage 7H	Overall	
Area of Subject Site	Area	Area	Area	Area	Area	Area	Percentage
	3.025 ha	1.770 ha	0.298 ha	0.357 ha	15.401 ha	20.851 ha	100.0%
Saleable Area							
Town Centre Frame Allotments	2.253 ha	1.265 ha	0.192 ha	0.357 ha	—	4.067 ha	19.5%
Service Allotments	—	—	—	—	0.016 ha	0.016 ha	0.1%
Balance Super Allotments	—	—	—	—	15.143 ha	15.143 ha	72.6%
Total Area of Allotments	2.253 ha	1.265 ha	0.192 ha	0.357 ha	15.159 ha	19.226 ha	92.2%
Road							
Collector Road	—	0.223 ha	—	—	—	0.223 ha	1.1%
Local Road	0.698 ha	0.262 ha	0.106 ha	—	0.242 ha	1.308 ha	6.3%
Road Widening	0.074 ha	0.020 ha	—	—	—	0.094 ha	0.5%
Total Area of New Road	0.772 ha	0.505 ha	0.106 ha	—	0.242 ha	1.625 ha	7.8%
Road Lengths							
Street Type	Length	Length	Length	Length	Length	Length	
14.5m Wide New Road	—	—	—	—	—	—	—
20.6m Wide New Road	239m	122m	—	—	—	—	361m
29m Wide New Road	—	73m	—	—	—	—	73m
Total Length of New Road	239m	195m	—	—	—	—	434m



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Source Information:
Site boundaries: Registered Survey Plans
Adjoining information: DCDB



REVISION
A: 06/05/2015 RFI Response
B: 18/05/15 Amend Staging
C: 18/05/15 Amend Layout
D: 13/05/16 Amend Lots Stage 7A
E: 21/02/17 Amend Staging
F: 22/02/17 Amend Staging and Lots

Level Datum		Date	22 FEB 2017
Origin		Comp By.	WNW / AN
		DWG Name.	Precinct 1 Stage 7
		Local Authority	Economic Development Queensland
Scale	Sheet	Locality	JIMBOOMBA
1 : 750	A1	Job Reference	110056

CLIENT

PEET

PLAN OF SUBDIVISION
STAGE 7A & B, E, F & H
TOWN CENTRE EAST

PROJECT

**FLAGSTONE
PRECINCT 1**

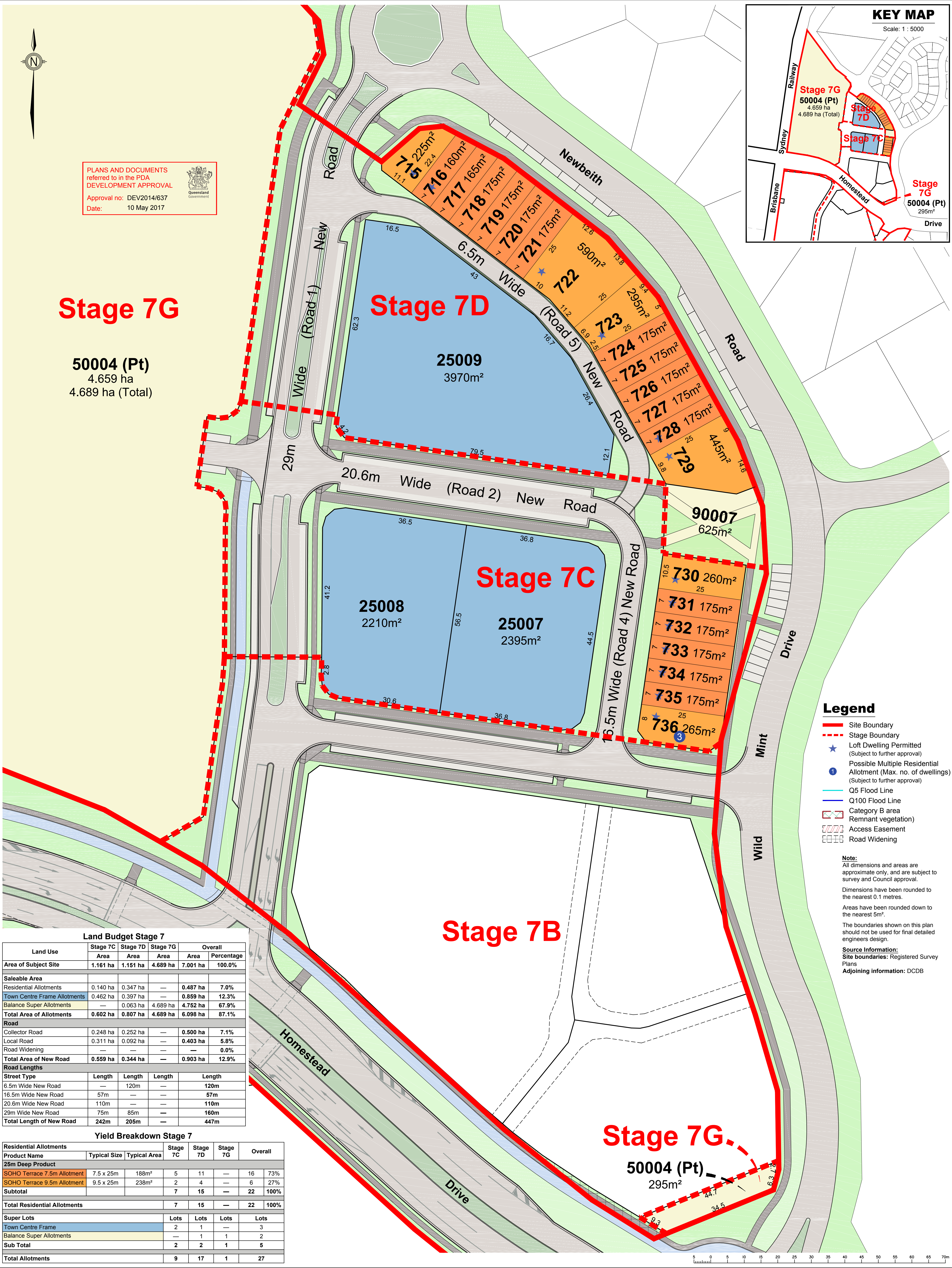
Plan Ref
110056 - 271

Rev
F



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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2014/637
Date: 10 May 2017



Stage 7G

50004 (Pt)
4.659 ha
4.689 ha (Total)

Legend

- Site Boundary
- Stage Boundary
- Loft Dwelling Permitted (Subject to further approval)
- Possible Multiple Residential Allotment (Max. no. of dwellings) (Subject to further approval)
- Q5 Flood Line
- Q100 Flood Line
- Category B area
- Remnant vegetation
- Access Easement
- Road Widening

Note:
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Land Budget Stage 7

Land Use	Stage 7C	Stage 7D	Stage 7G	Overall	
	Area	Area	Area	Area	Percentage
Area of Subject Site	1.161 ha	1.151 ha	4.689 ha	7.001 ha	100.0%
Saleable Area					
Residential Allotments	0.140 ha	0.347 ha	—	0.487 ha	7.0%
Town Centre Frame Allotments	0.462 ha	0.397 ha	—	0.859 ha	12.3%
Balance Super Allotments	—	0.063 ha	4.689 ha	4.752 ha	67.9%
Total Area of Allotments	0.602 ha	0.807 ha	4.689 ha	6.098 ha	87.1%
Road					
Collector Road	0.248 ha	0.252 ha	—	0.500 ha	7.1%
Local Road	0.311 ha	0.092 ha	—	0.403 ha	5.8%
Road Widening	—	—	—	—	0.0%
Total Area of New Road	0.559 ha	0.344 ha	—	0.903 ha	12.9%
Road Lengths					
Street Type	Length	Length	Length	Length	
6.5m Wide New Road	—	120m	—	120m	
16.5m Wide New Road	57m	—	—	57m	
20.6m Wide New Road	110m	—	—	110m	
29m Wide New Road	75m	85m	—	160m	
Total Length of New Road	242m	205m	—	447m	

Yield Breakdown Stage 7

Residential Allotments			Stage 7C	Stage 7D	Stage 7G	Overall
Product Name	Typical Size	Typical Area				
25m Deep Product						
SOHO Terrace 7.5m Allotment	7.5 x 25m	188m²	5	11	—	16
SOHO Terrace 9.5m Allotment	9.5 x 25m	238m²	2	4	—	6
Subtotal			7	15	—	22
Total Residential Allotments			7	15	—	22
Super Lots			Lots	Lots	Lots	Lots
Town Centre Frame			2	1	—	3
Balance Super Allotments			—	1	1	2
Sub Total			2	2	1	5
Total Allotments			9	17	1	27

REVISION
A: 06/05/2015 RFI Response
B: 18/05/15 Amend Staging
C: 18/09/15 Amend Layout
D: 13/05/16 Amend Lots Stage 7A
E: 21/02/17 Amend Staging
F: 22/02/17 Amend Staging and Lots

Level Datum

Origin

Scale
1 : 500

Sheet
A1

Date
22 FEB 2017

Comp By.
WNW / AN

DWG Name.
Precinct 1 Stage 7

Local Authority
Economic Development Queensland

Locality
JIMBOOMBA

Job Reference
110056

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PEET

PLAN OF SUBDIVISION
STAGE 7C & D & G
TOWN CENTRE EAST

PROJECT

FLAGSTONE
PRECINCT 1

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