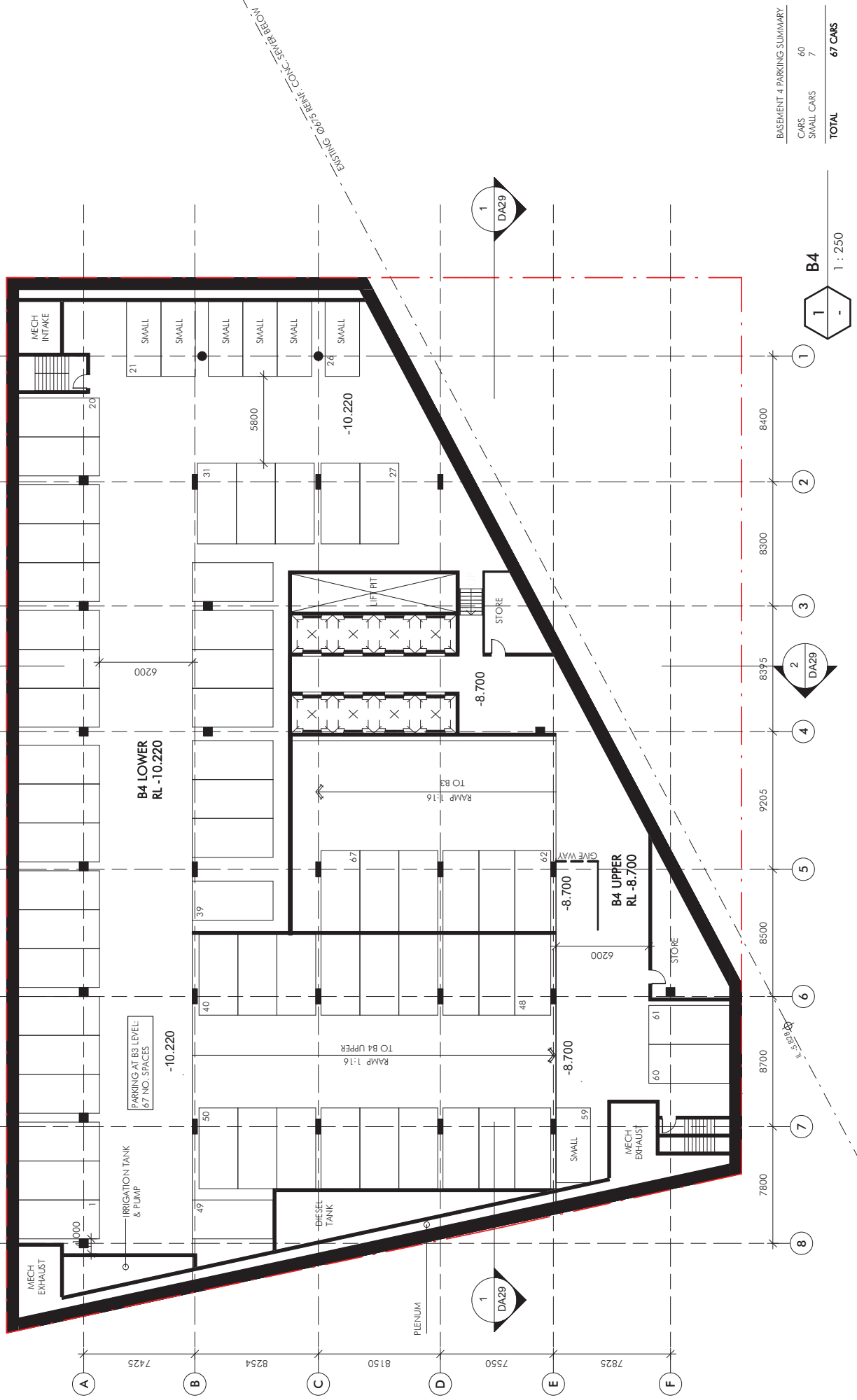




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Approval no: DEV2012/299

Date: 16 March 2017



BASEMENT 4 PARKING SUMMARY		
CARS	60	
SMALL CARS	7	
TOTAL	67 CARS	

Client

Project

proposed mixed use development
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title

Scale

Date

Number

BASEMENT 4 PLAN

As indicated
08/09/2016

3013_ DA50 (2)

nettleontribe

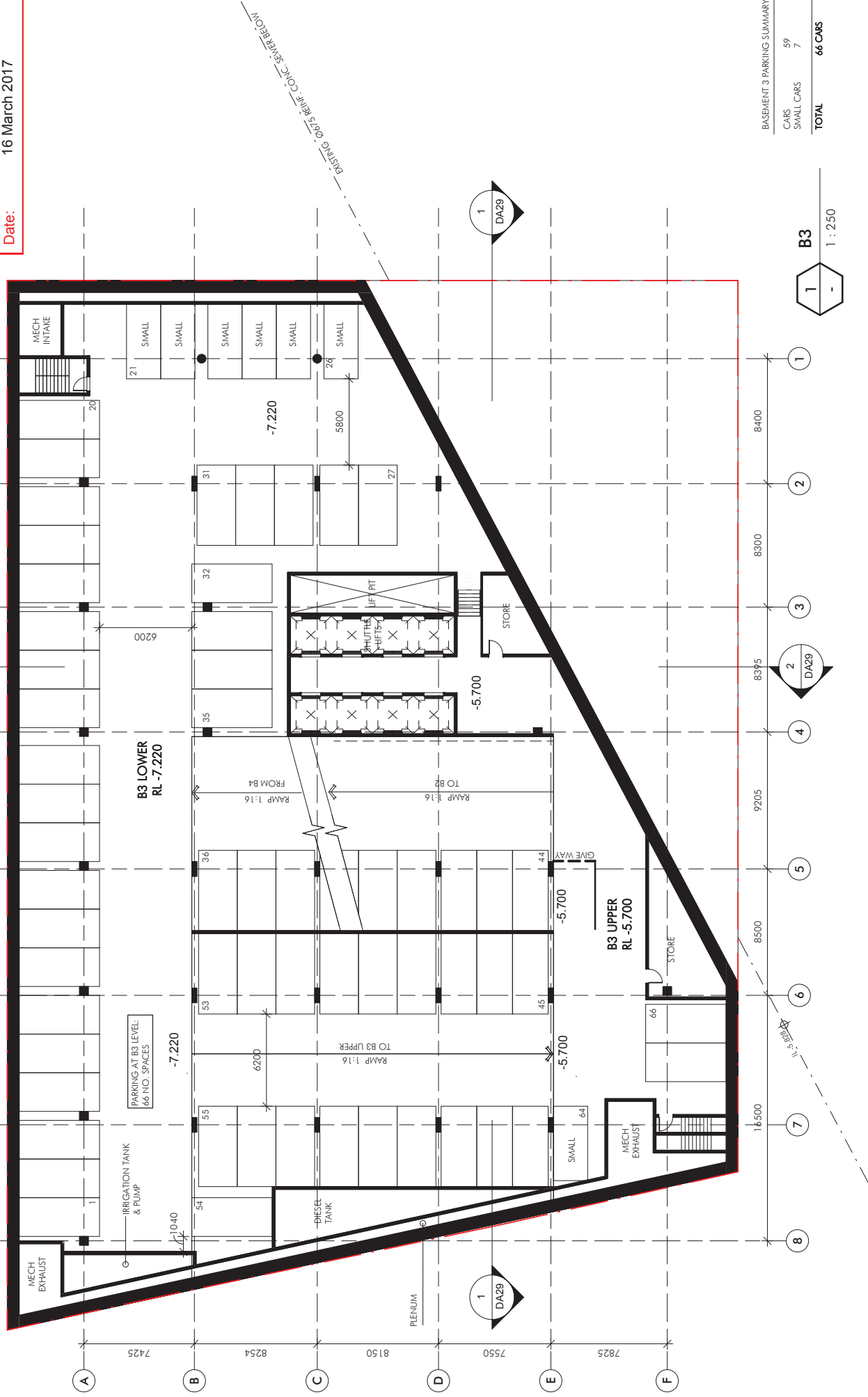
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Date: 16 March 2017



BASEMENT 3 PARKING SUMMARY		
CARS	59	
SMALL CARS	7	
TOTAL		66 CARS

B3
1 : 250

BASEMENT 3 PLAN

As indicated
08/09/2016
3013_ DA51 (2)

Title
Scale
Date
Number

Project
proposed mixed use development
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS



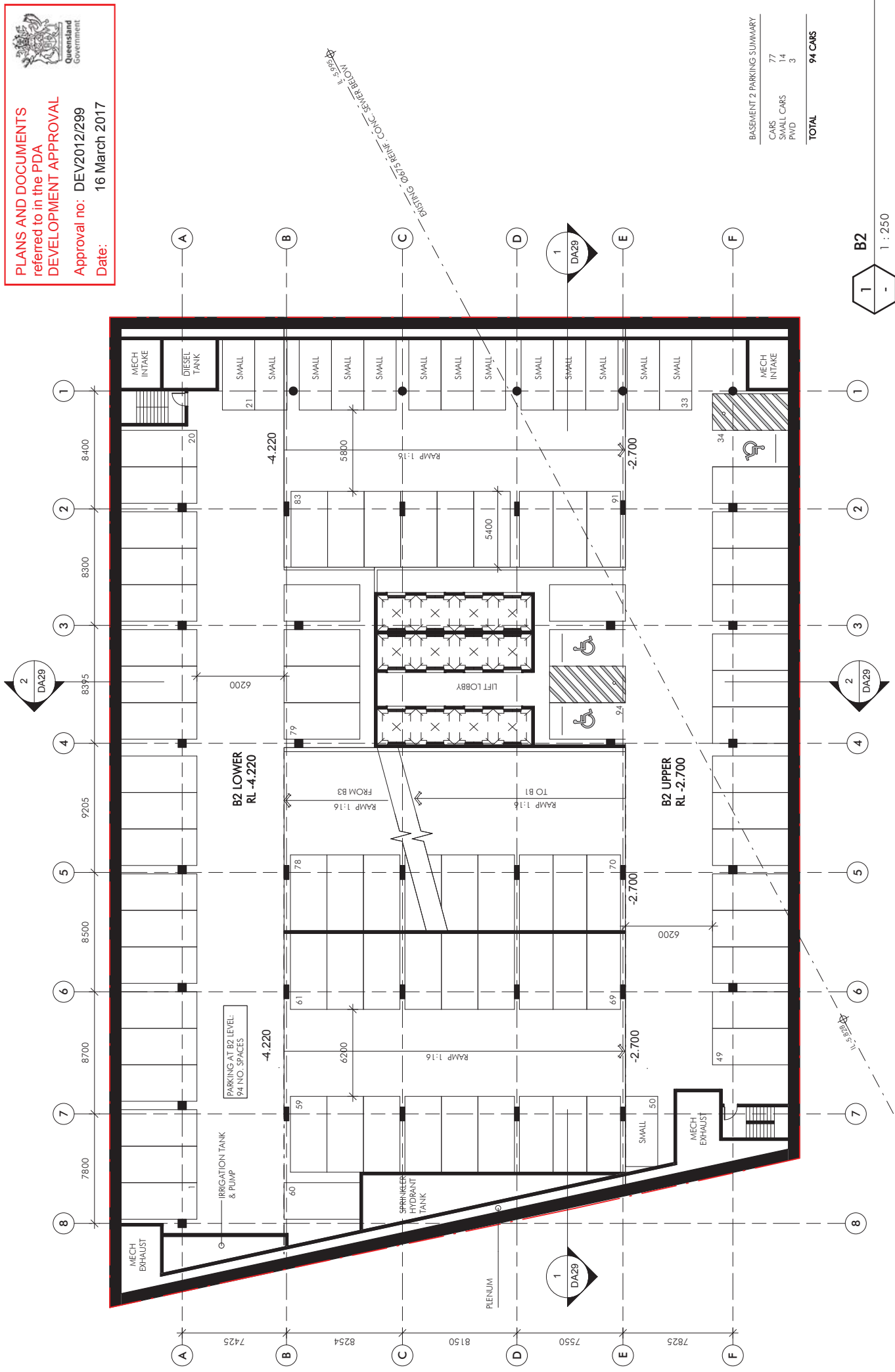
Client



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BASEMENT 2 PARKING SUMMARY

CARS	77
SMALL CARS	14
PWD	3
TOTAL	94 CARS

B2
1 : 250

BASEMENT 2 PLAN

As indicated
08/07/2016

3013_ DA10 (3)

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Title
Scale
Date
Number



Client
Project
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Client

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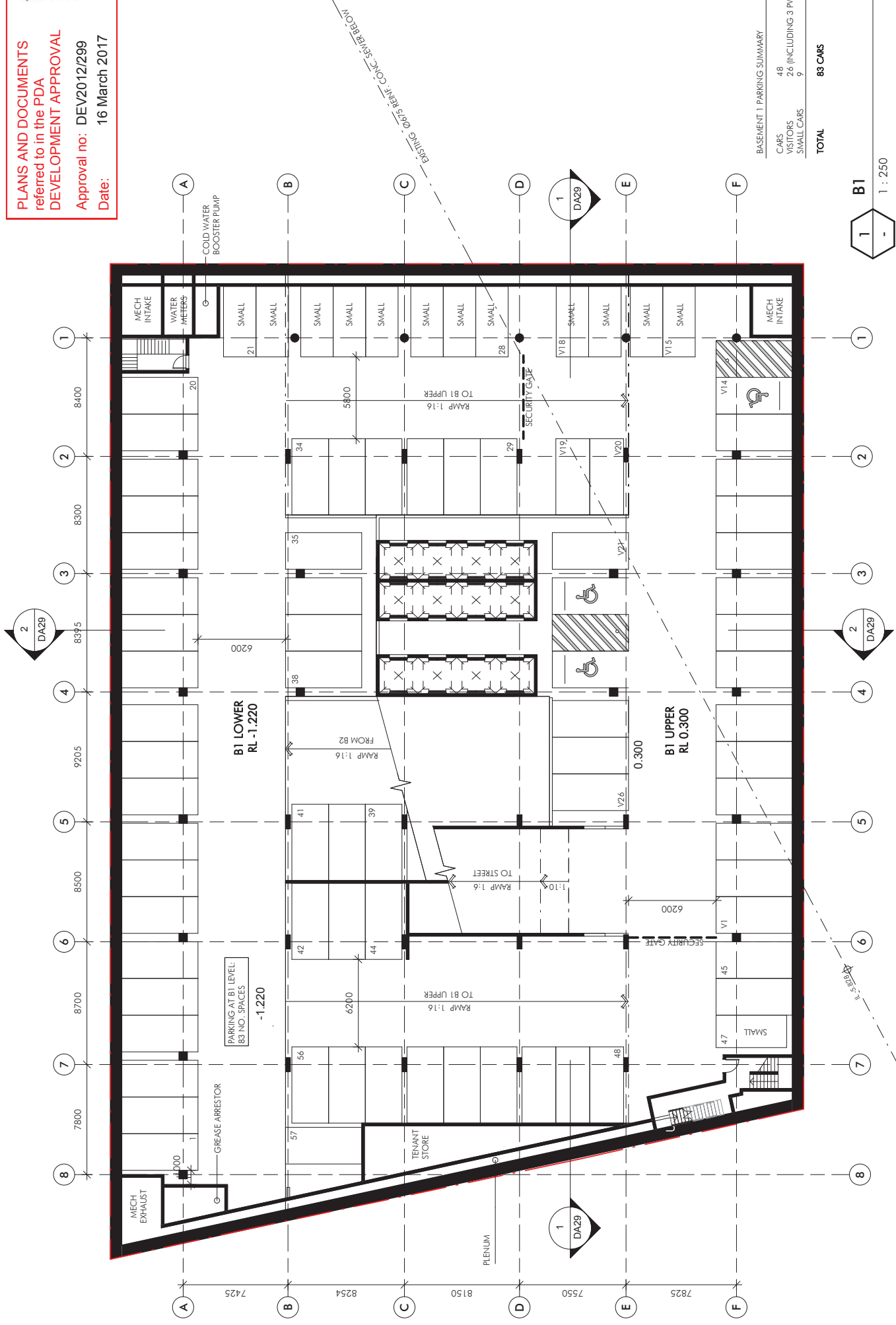
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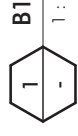
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Date: 16 March 2017



BASEMENT 1 PARKING SUMMARY

CARS	48
VISITORS	26 (INCLUDING 3 PWD & 4 SMALL)
SMALL CARS	9
TOTAL	83 CARS



BASEMENT 1 PLAN

As indicated
08/07/2016

3013_DAT1 (3)

Title
Scale
Date
Number



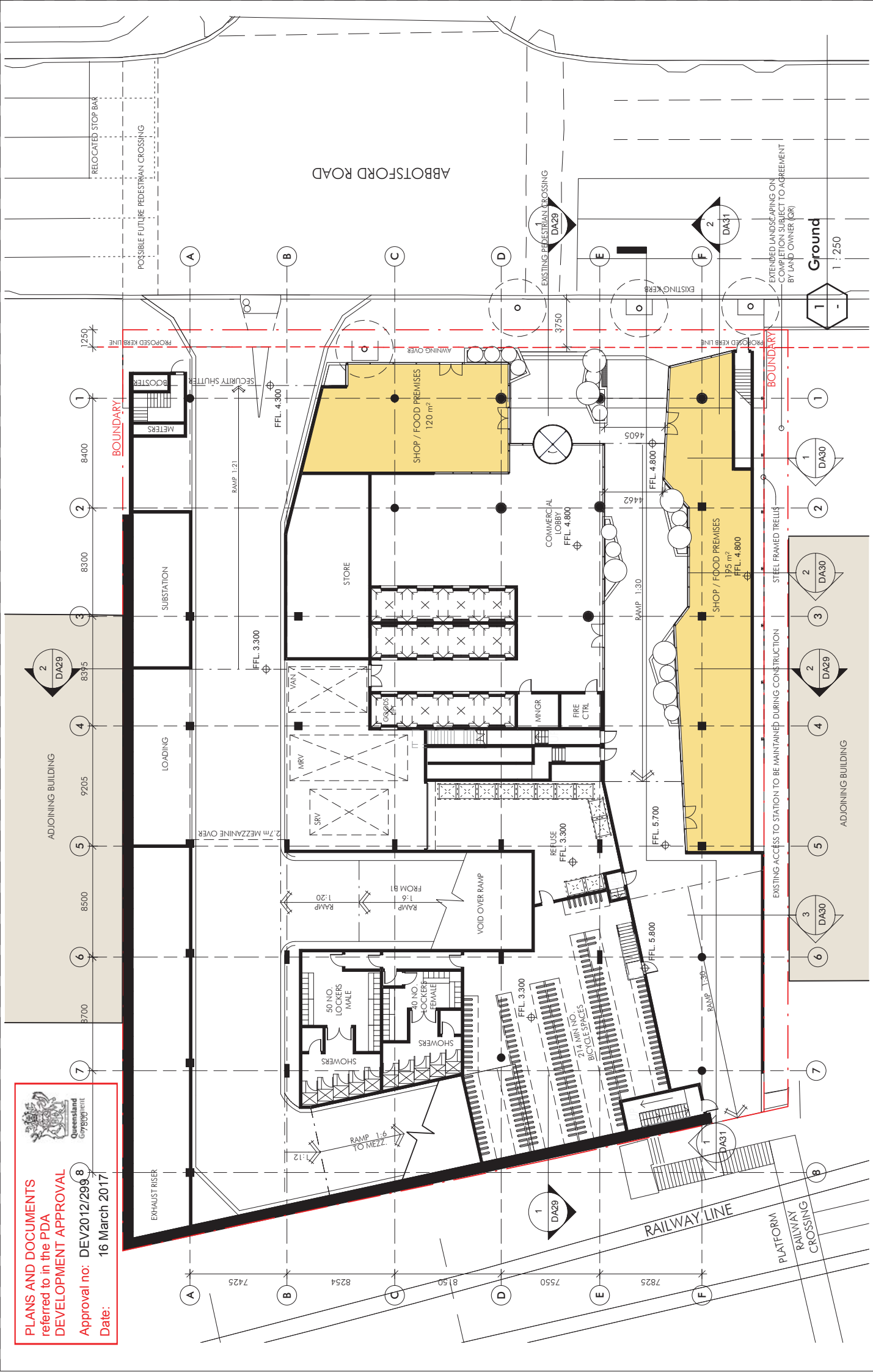
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Date: 16 March 2017



Client



Project
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Title
Scale
Date
Number

GROUND FLOOR PLAN
1:250
19/09/2016
3013 _ DAT12 (4)

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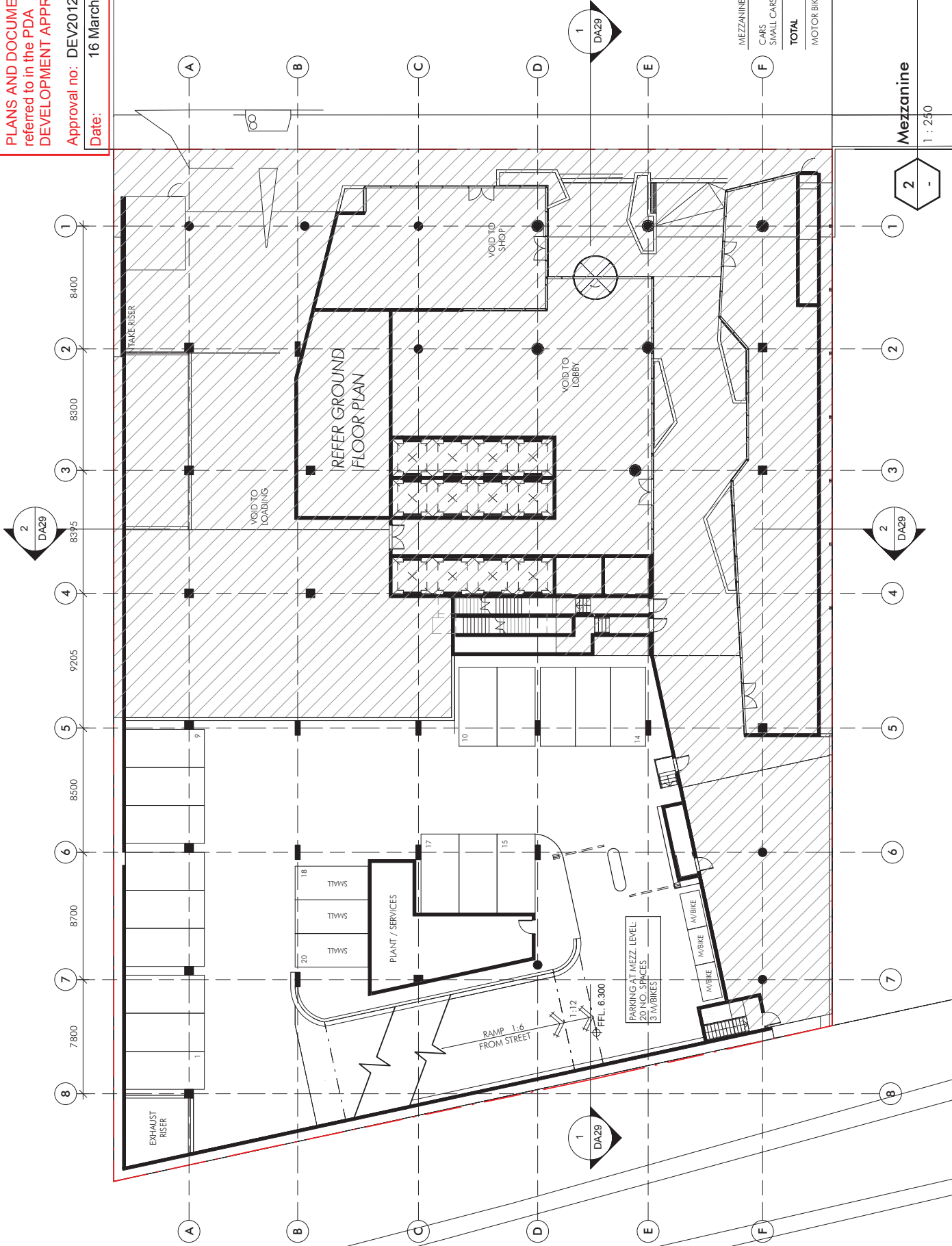


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Date: 16 March 2017



MEZZANINE PARKING SUMMARY

CARS	17
SMALL CARS	3
TOTAL	20 CARS
MOTOR BIKES	3

Mezzanine
1 : 250

Client

Project

proposed mixed use development
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title
Scale
Date
Number

MEZZANINE PARKING PLAN
As indicated
08/07/2016
3013_ DA13 (4)

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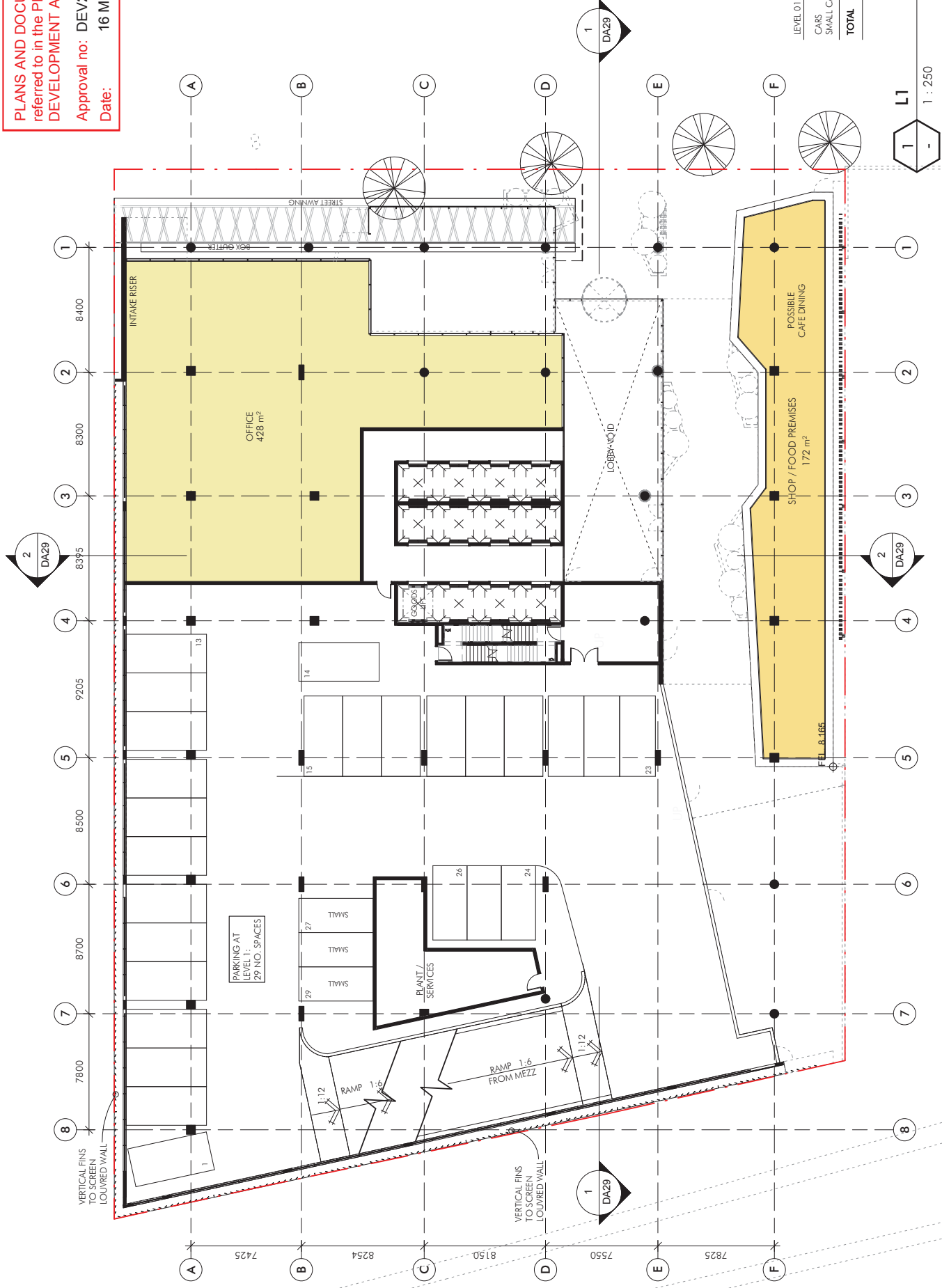
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LEVEL 01 PARKING SUMMARY

CARS	26
SMALL CARS	3
TOTAL	29 CARS

LEVEL 1 PLAN

As indicated
08/07/2016

3013_ DATA (4)

Title
Scale
Date
Number



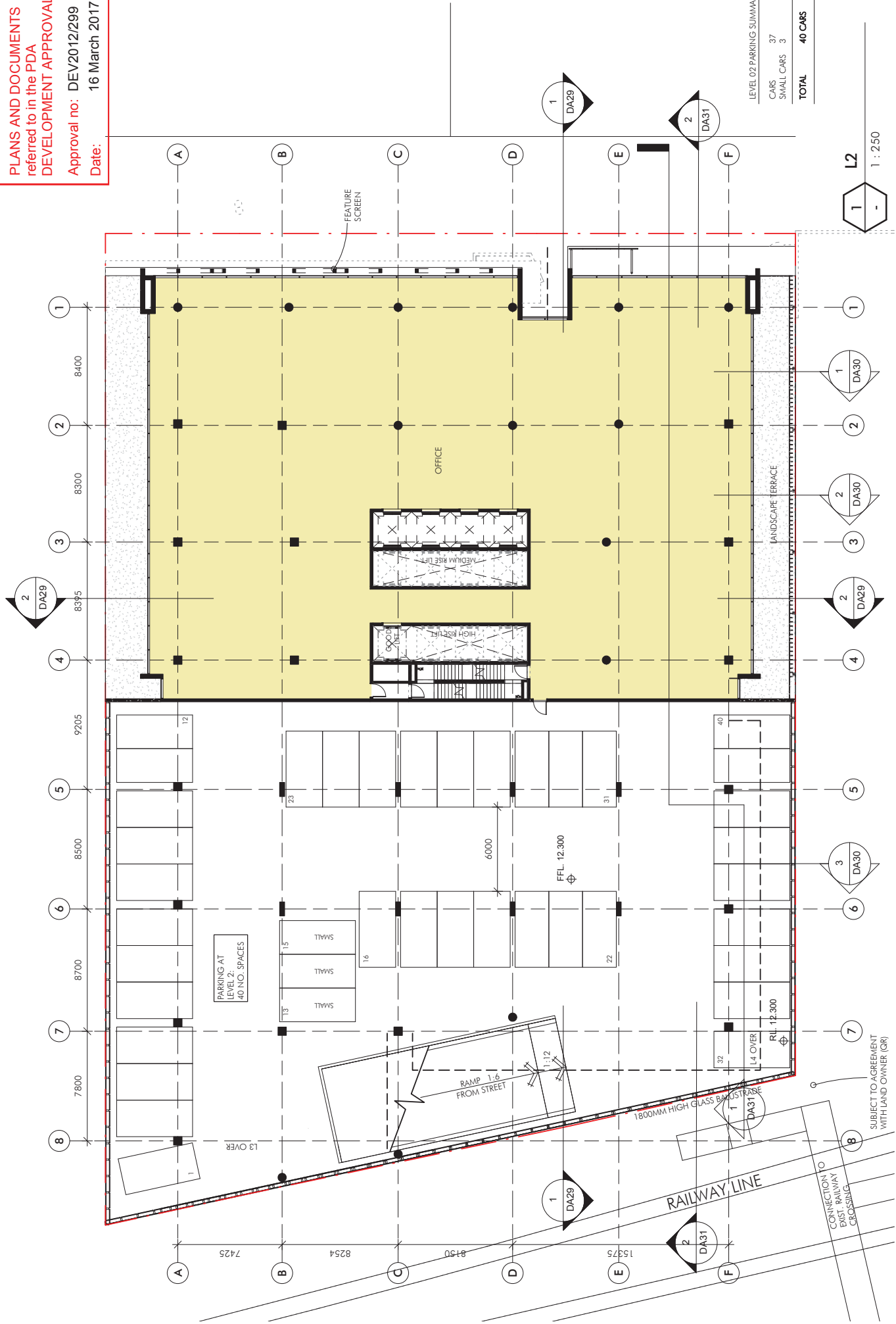
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LEVEL 02 PARKING SUMMARY

CARS 37
SMALL CARS 3

TOTAL 40 CARS

1 L2
1 : 250

LEVEL 2 PLAN

As indicated
08/09/2016

3013_ DA15 (3)

Title
Scale
Date
Number



proposed mixed use development
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Client

Project

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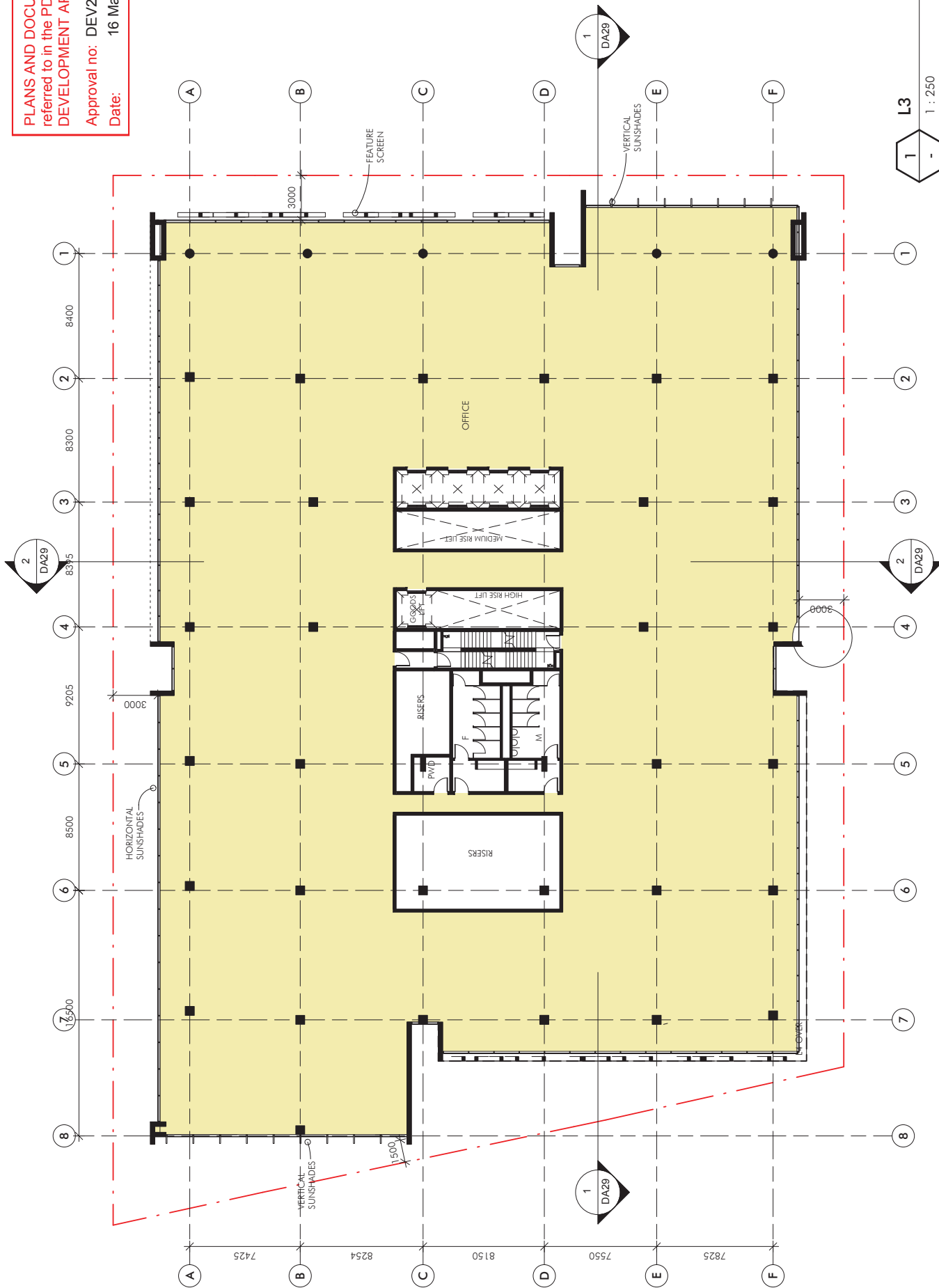
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1 L3
1 : 250

LEVEL 3 PLAN

1 : 250

08/09/2016

3013_ DAT 6 (3)

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Title
Scale
Date
Number



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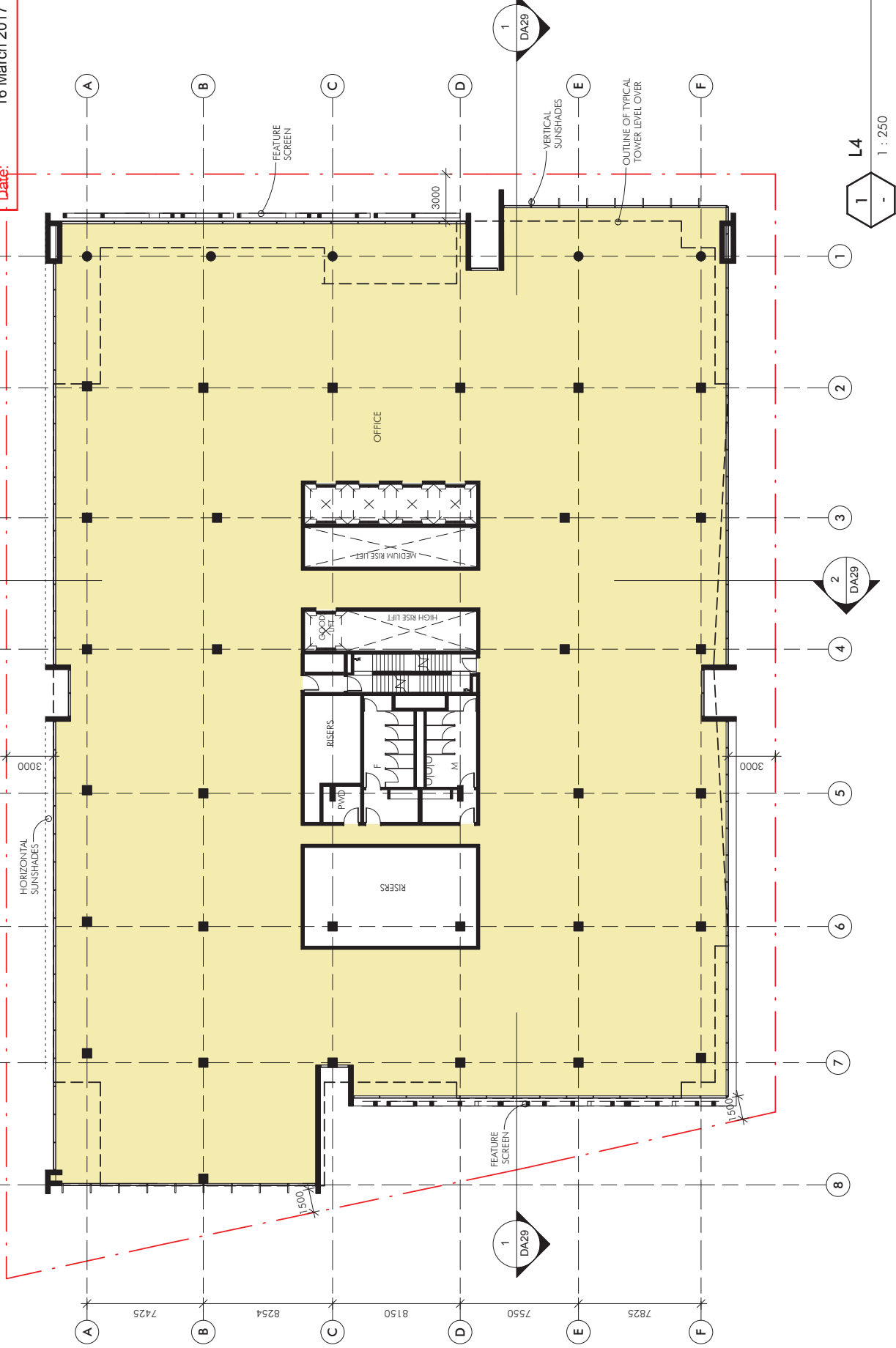
Project



Client

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Project
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Title
Scale
Date
Number

LEVEL 4 PLAN
1 : 250
08/09/2016
3013_ DA17 (3)



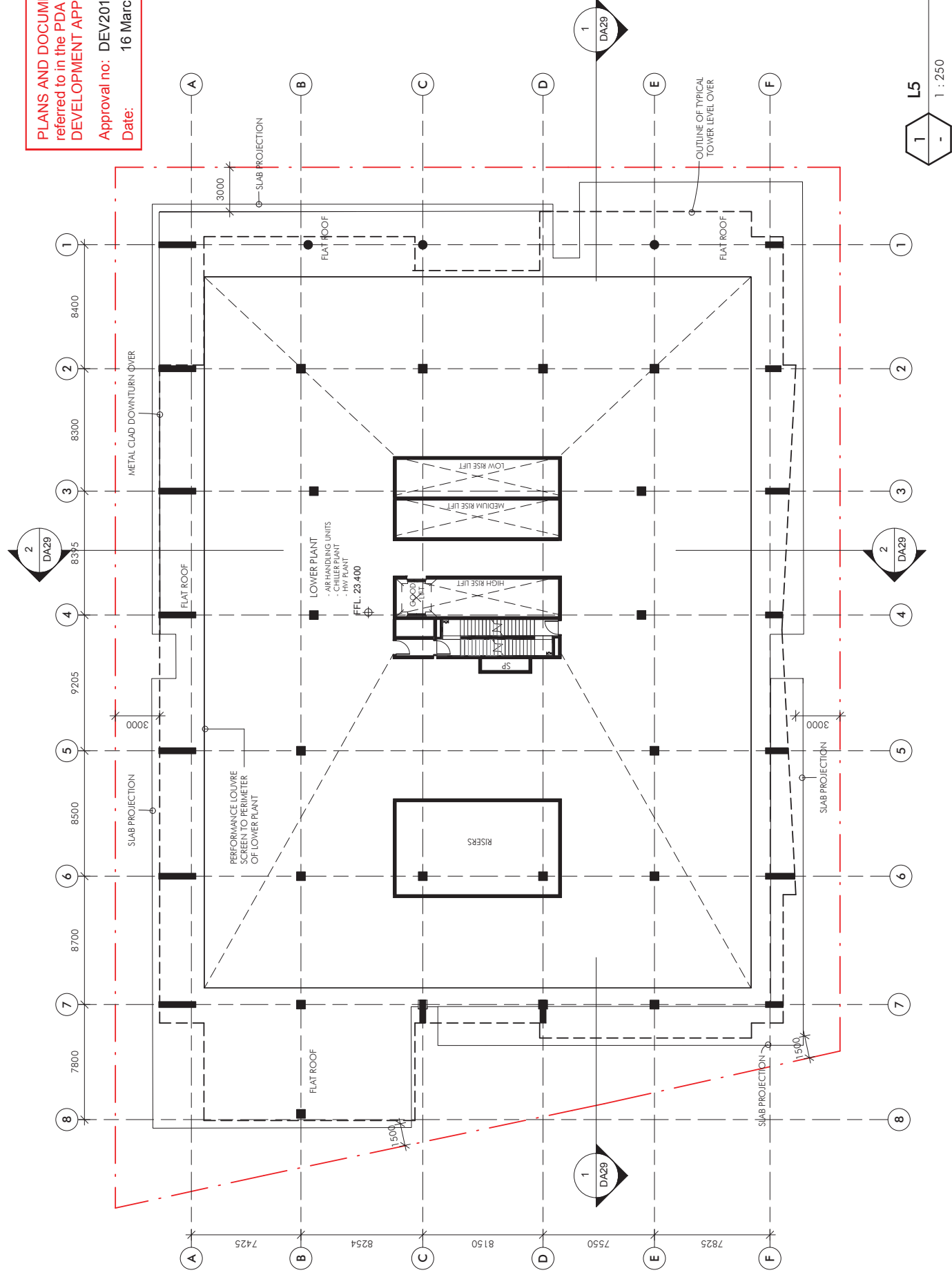
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L5
1 : 250

Client
Project
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58 - 66 ABBOTSFORD ROAD, BOWEN HILLS



Title
Scale
Date
Number



LEVEL 5 PLAN
1 : 250
08/09/2016
3013_DAI 8 (3)



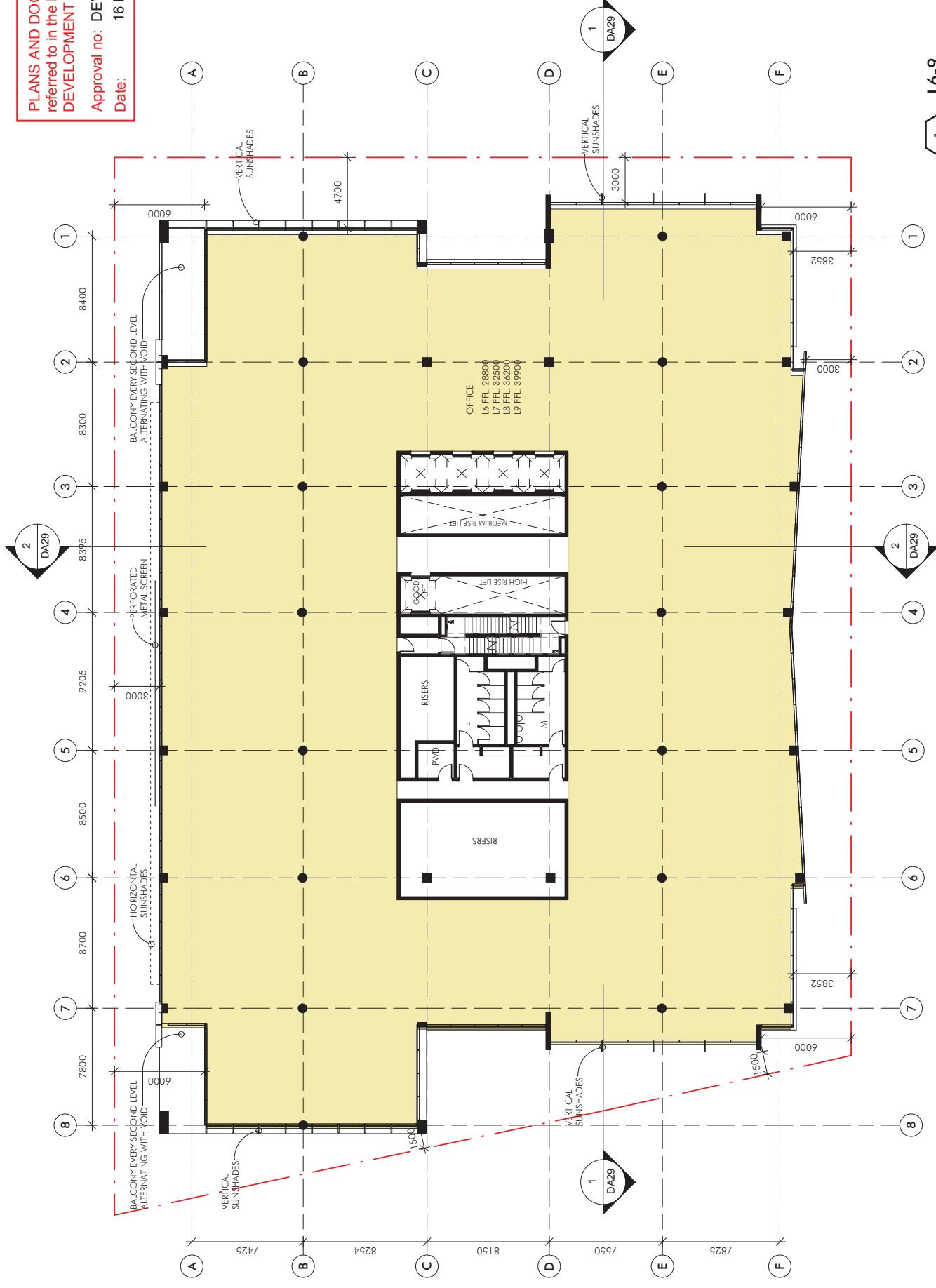
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L6-9
1 : 250

LEVEL 6-9 PLAN

1 : 250
08/09/2016

3013_DAI 9 (3)

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Title
Scale
Date
Number



Client
Project
proposed mixed use development
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS



Client

Project

proposed mixed use development
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title
Scale
Date
Number



3013_DAI 9 (3)

1 : 250
08/09/2016

LEVEL 6-9 PLAN

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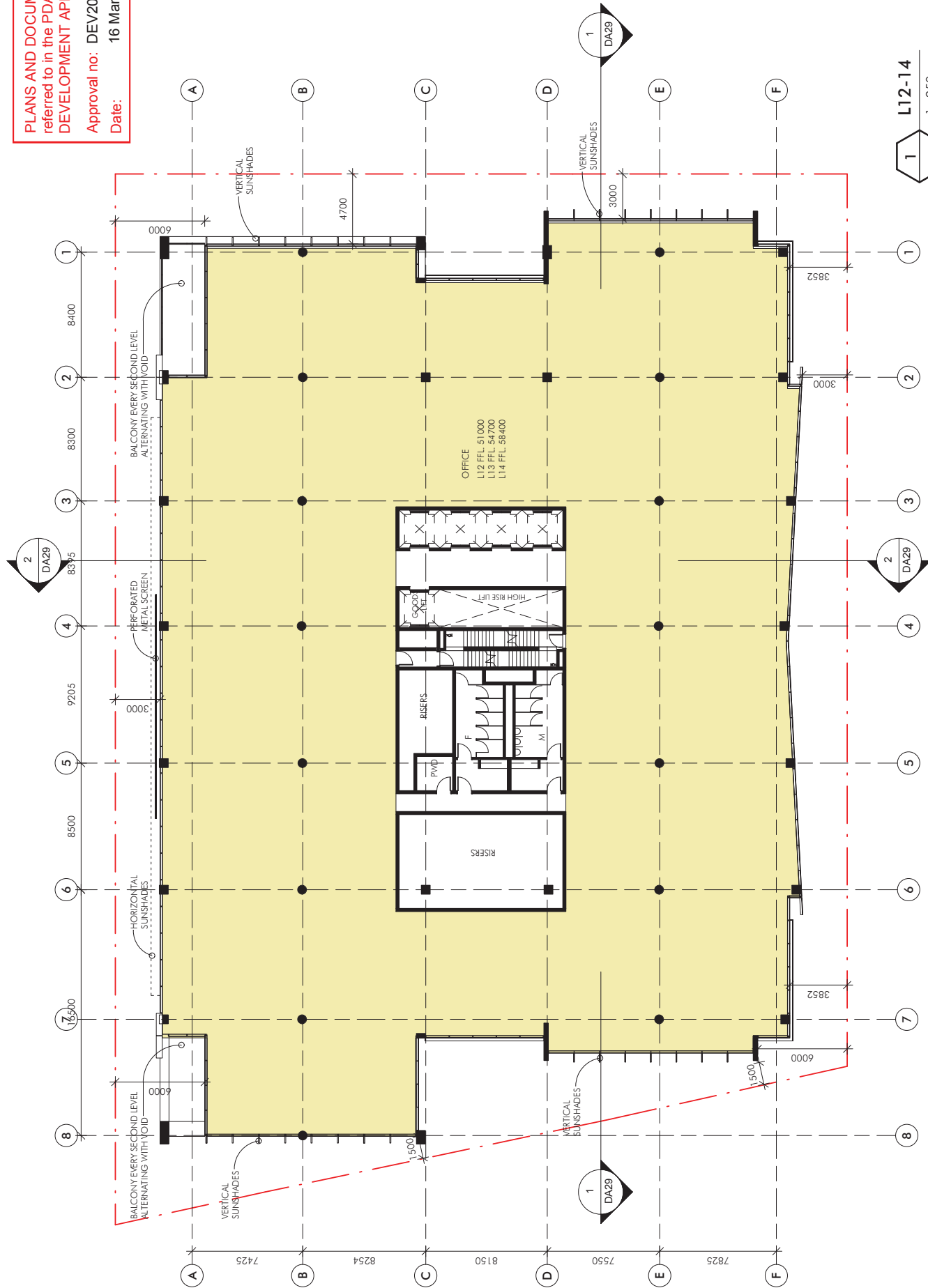


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1
-
1 : 250

LEVEL 12-14 PLAN

1 : 250
08/09/2016

3013_DA21 (3)

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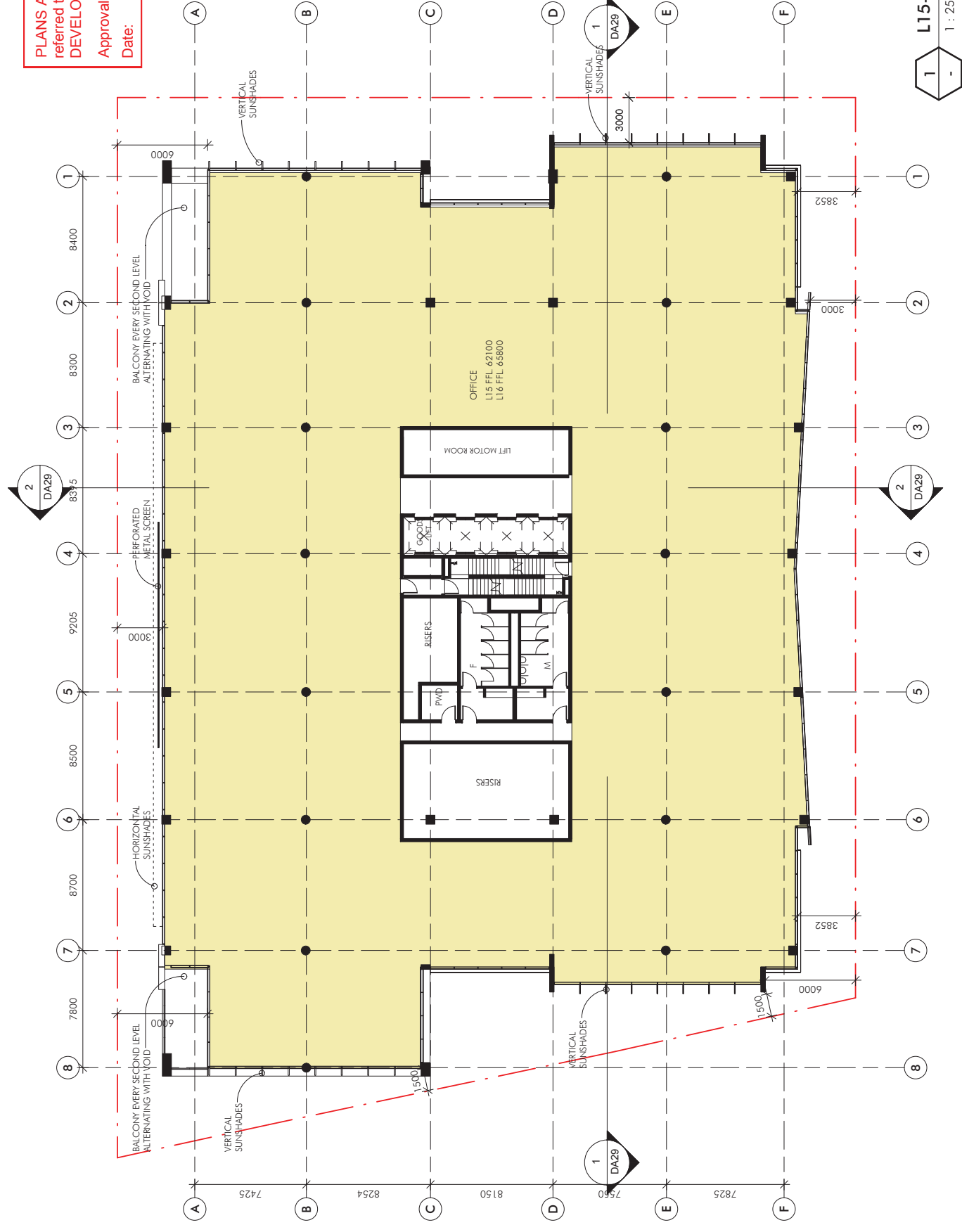
Title
Scale
Date
Number



Client
Project
proposed mixed use development
58 - 66 ABBOTSFORD ROAD, BOWEN HILLS



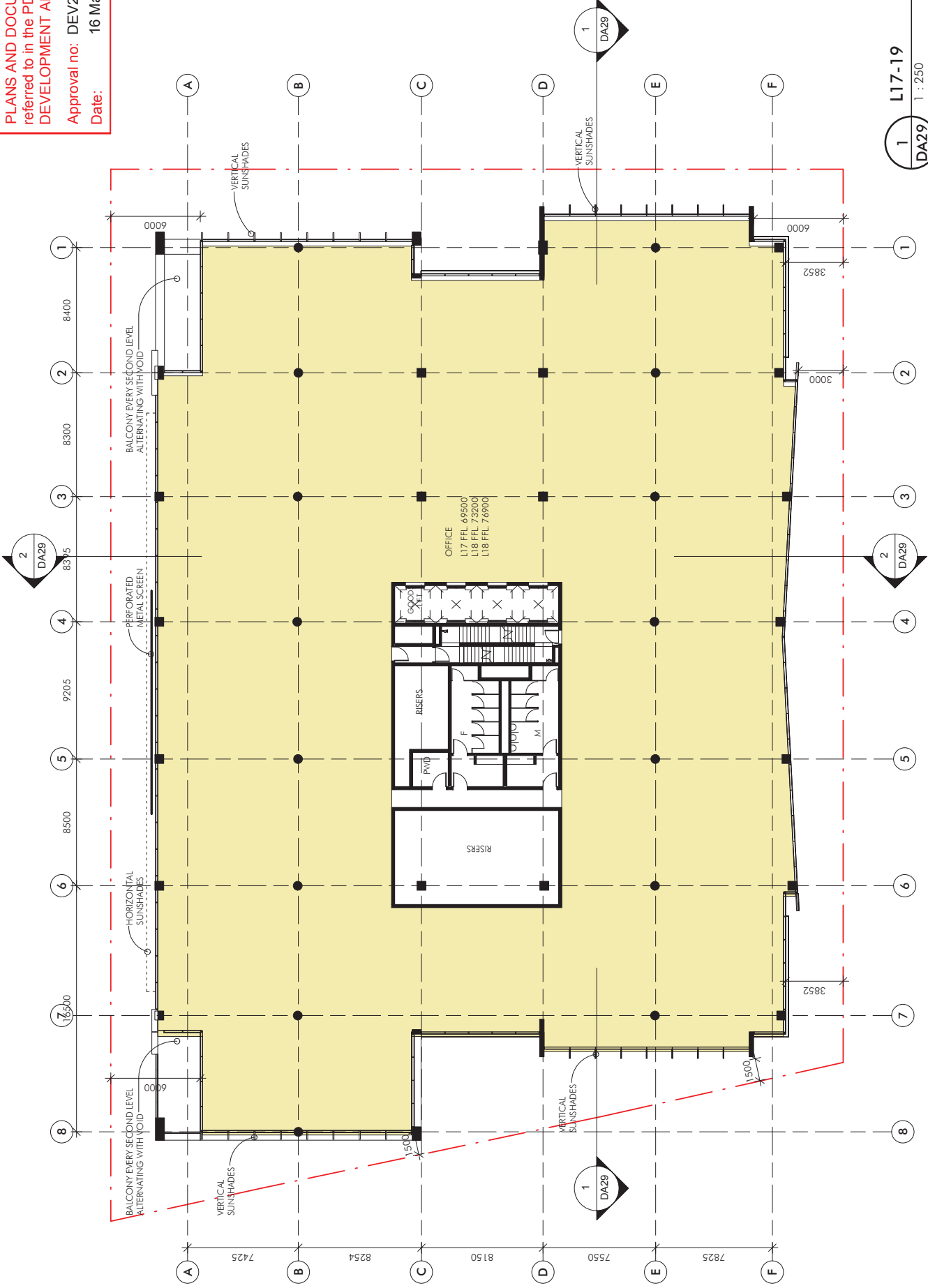
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1 **L15-16**
- 1 : 250



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1 L17-19
DA29 1:250

LEVEL 17-19 PLAN

1:250
08/09/2016

3013_DA23 (3)

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Title
Scale
Date
Number



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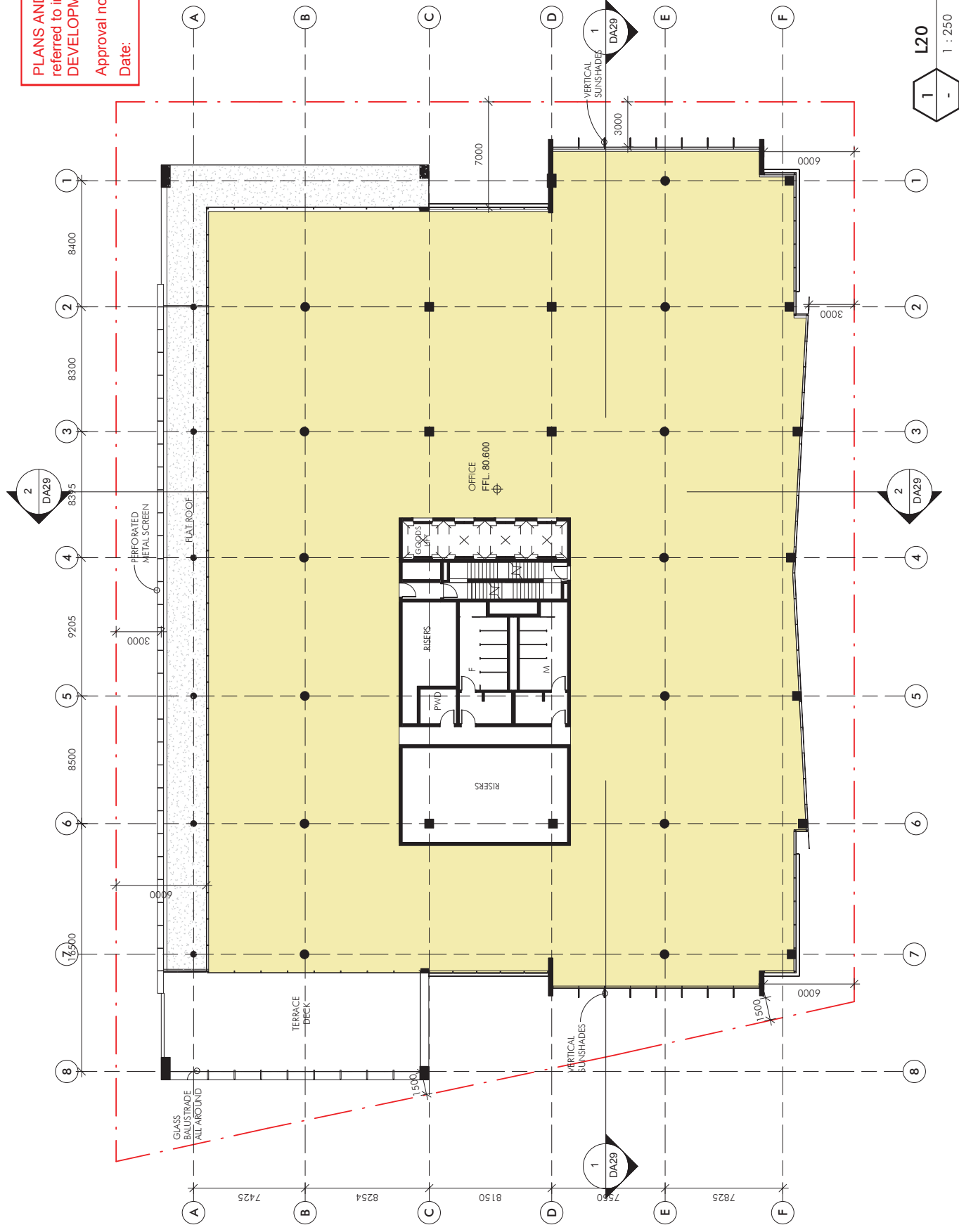
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1 L20
1 : 250

Client



Project

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Title
Scale
Date
Number

LEVEL 20 PLAN

1 : 250
08/09/2016

3013 - DA24 (3)

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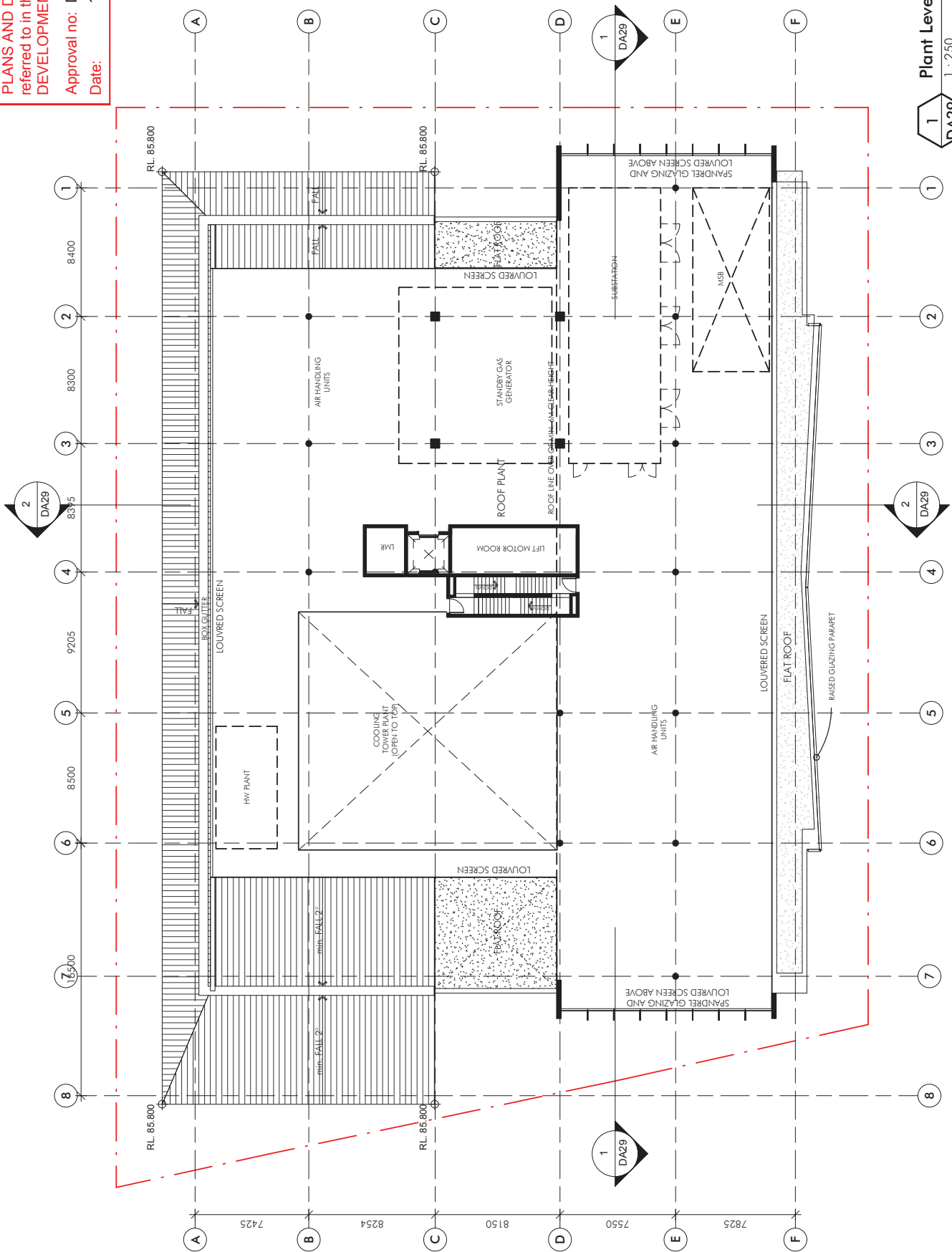
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1
DA29
Plant Level
1 : 250

PLANT LEVEL PLAN

1 : 250
08/09/2016
3013_DA25 (2)

Title
Scale
Date
Number



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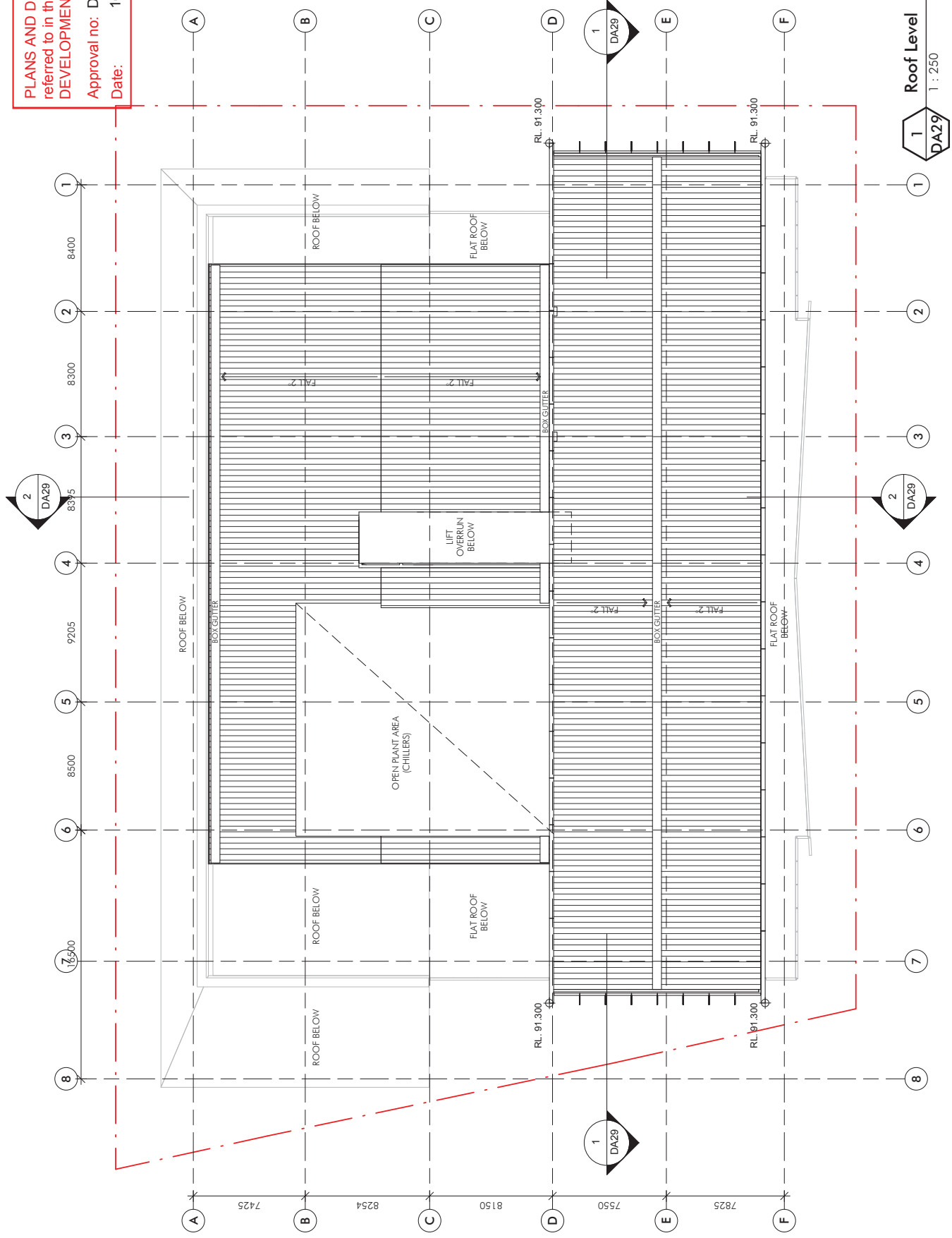
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Queensland
Government

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Roof Plan
1:250
08/09/2016
3013_ DA26 (2)

Title
Scale
Date
Number



Client
Project
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WALLS & SLABS
 -WA1 PAINTED CONCRETE PRE-CAST/IN SITU
 -WA2 METAL CLADDING
 -WA3 COLOUR STAINED CONCRETE PRE-CAST
 /IN SITU

PAINTED CONCRETE COLUMN

- GS1 DOUBLE-GLAZED WINDOW SYSTEM
- GS2 SHOPFRONT GLAZING SYSTEM
- SP1 COLOURBACK GLASS / COMPOSITE ALUMINIUM SPANDREL

- SC1 METALLIC FINISH HORIZ./VERT. BLADE
- SC2 METALLIC FIN. FEATURE SCREEN
- SC3 METALLIC FIN. STEEL FRAMED TRELLIS
- SC4 METALLIC FIN. STEEL FRAMED GLASS AWNING
- SC5 METALLIC FIN. LOUVRE SYSTEM

GLASS BALUSTRADE



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23400 RL
Date: 16 March 2017



1 South Elevation

FINISHES LEGEND

- WALLS & SLABS
-WA1 PAINTED CONCRETE PRE-CAST/IN SITU
-WA2 METAL CLADDING
-WA3 COLOUR STAINED CONCRETE PRE-CAST/IN SITU

COLUMNS

- COL1 PAINTED CONCRETE COLUMN

GLAZING

- GS1 DOUBLE-GLAZED WINDOW SYSTEM
-GS2 SHOFFRONT GLAZING SYSTEM
-SP1 COLOURBACK GLASS / COMPOSITE ALUMINIUM SPANDREL

SUNSHADES & SCREENS

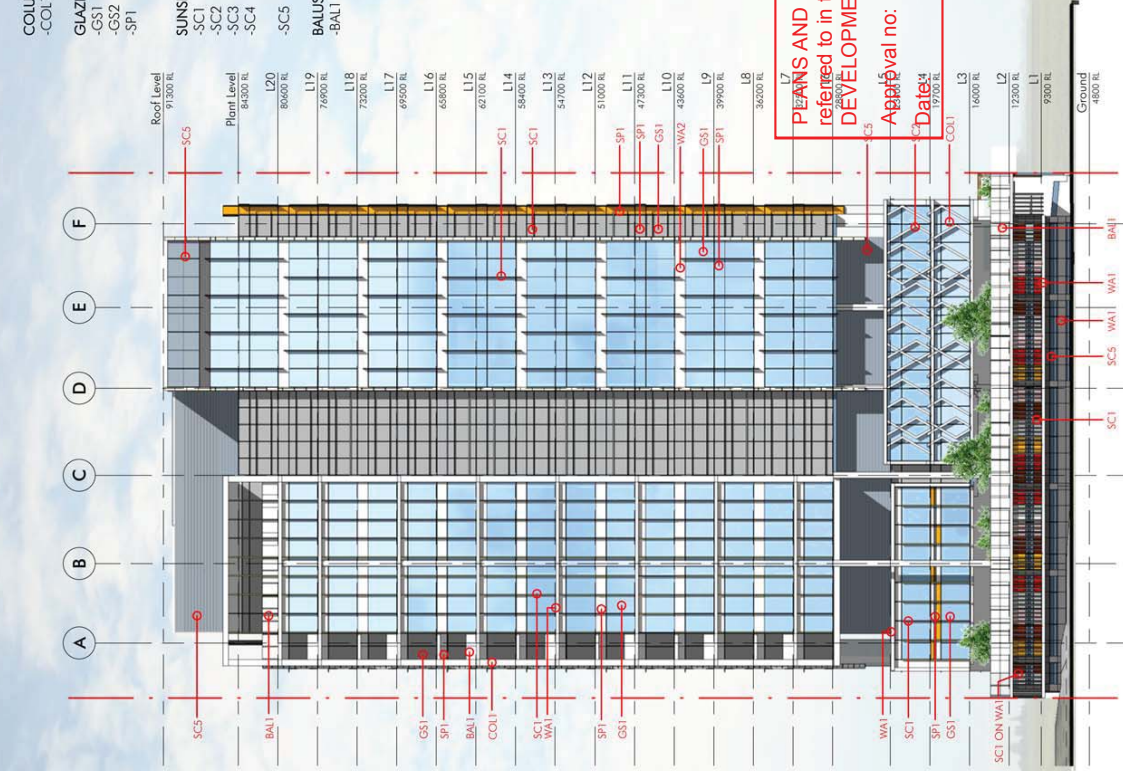
- SC1 METALLIC FINISH HORIZ /VERT BLADE
-SC2 METALLIC FIN. FEATURE SCREEN
-SC3 METALLIC FIN. STEEL FRAMED TRELLIS
-SC4 METALLIC FIN. STEEL FRAMED
-SC5 GLASS AWNING
-SC6 METALLIC FIN. LOUVRE SYSTEM

BALUSTRADES

- BAL1 GLASS BALUSTRADE



1 North Elevation



2 Railway (West) Elevation



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Project

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58 - 66 ABBOTSFORD ROAD, BOWEN HILLS

Title

Scale

Date

Number

BLD. ELEVATIONS SHEET 2

1/500

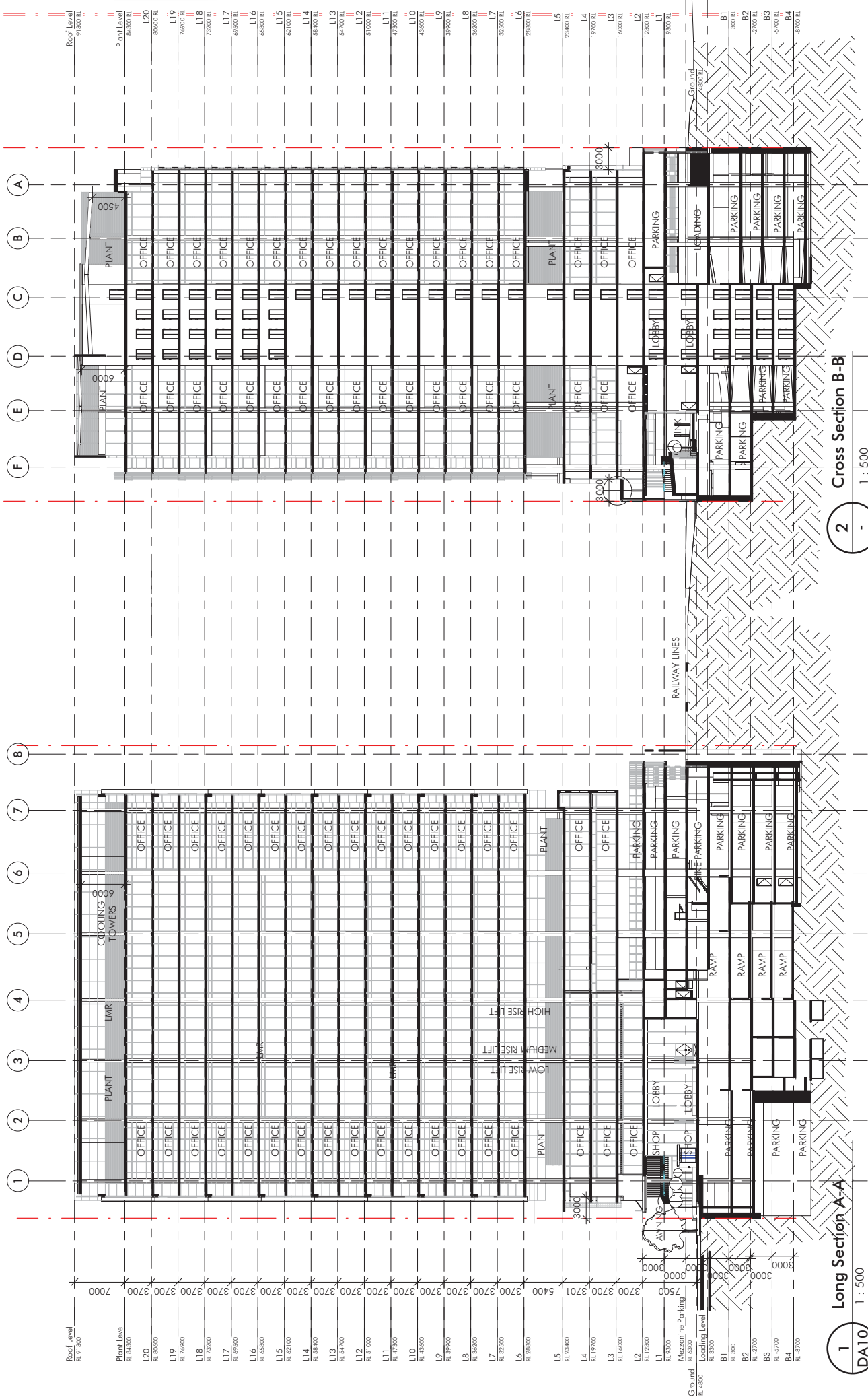
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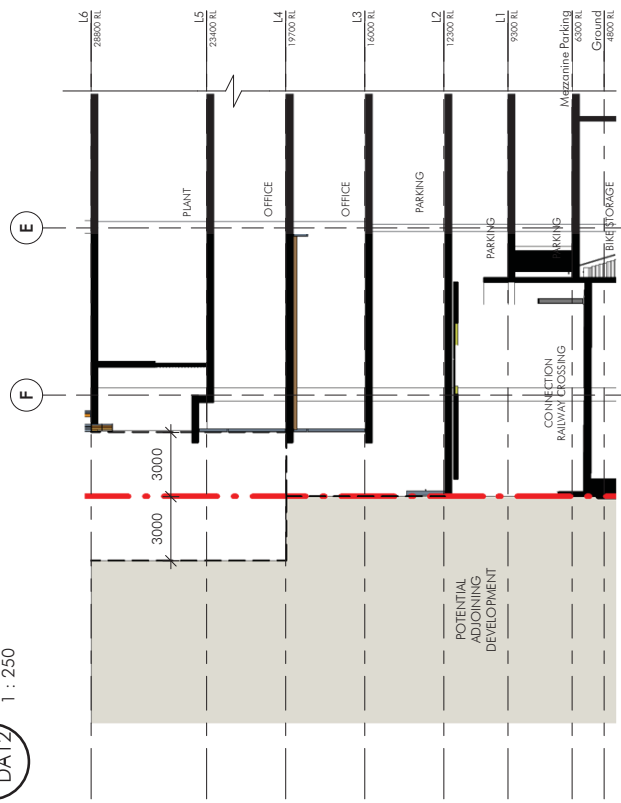
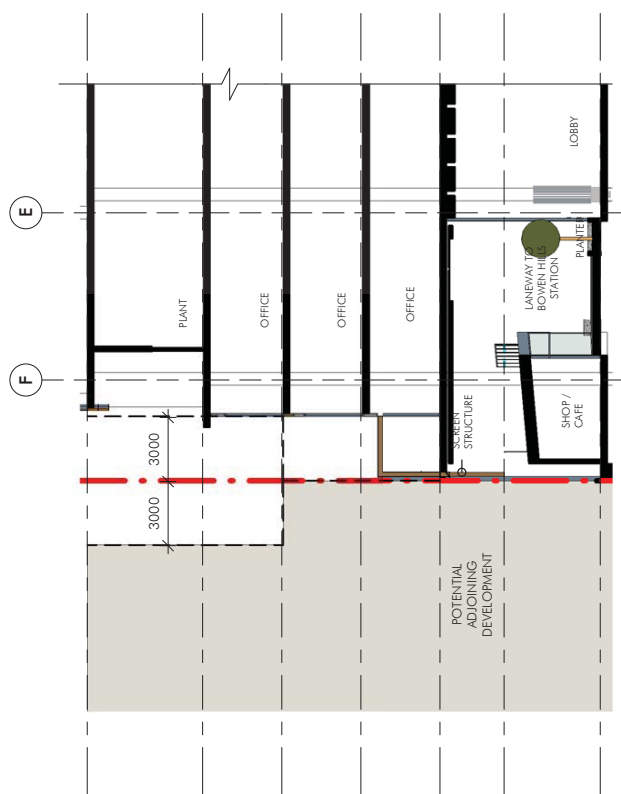
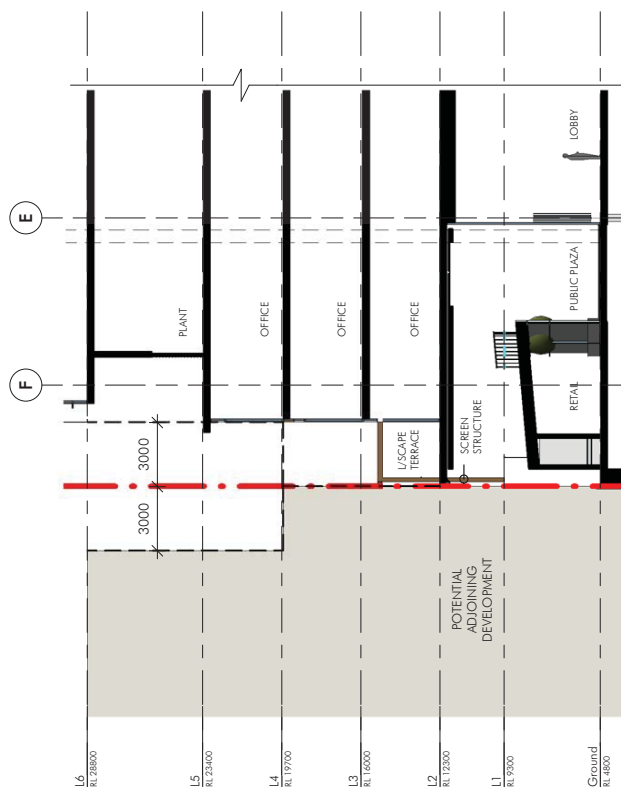


Title
Scale
Date
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BLD. SECTIONS A-A, B-B
1 : 500
08/09/2016
3013_ DA29 (3)



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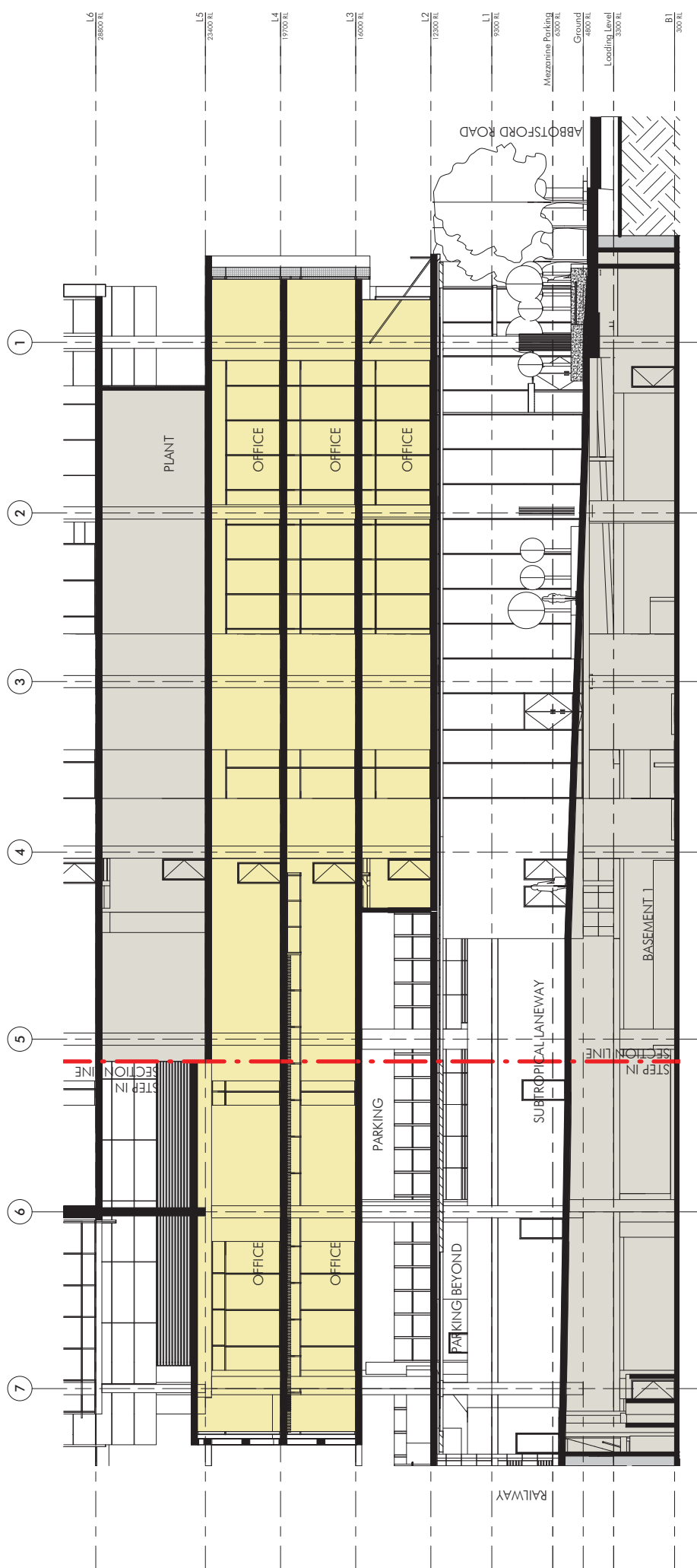
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Date: 16 March 2017



Long Section through Activated Passage

1 : 200



SEYMOUR GROUP

Project

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PODIUM SECTIONS SHEET 2

Scale 1 : 200
Date 08/09/2016

3013_ DA31 (2)

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GFA CALCULATION



Queensland
GOVERNMENT

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Ground Level	322 sqm
Mezzanine	0 sqm
Level 1	600 sqm
Level 2	1280 sqm
Level 3	2395 sqm
Level 4	2397 sqm
Level 5	0 sqm
Level 6	2239 sqm
Level 7	2239 sqm
Level 8	2239 sqm
Level 9	2239 sqm
Level 10	2239 sqm
Level 11	2239 sqm
Level 12	2245 sqm
Level 13	2245 sqm
Level 14	2245 sqm
Level 15	2245 sqm
Level 16	2245 sqm
Level 17	2244 sqm
Level 18	2244 sqm
Level 19	2244 sqm
Level 20	1983 sqm
TOTAL	40,368 sqm

*GFA is calculated to the outside face of external walls and glazing suite or the centre of a common wall. Excludes any building services, ground floor public lobby and any parking/loading areas.