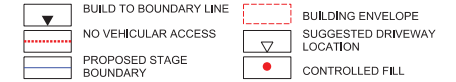


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2015/730
Date: 7 February 2017



LEGEND



SETBACK TABLE

LOT TYPE	FRONT FRONTAGE	REAR AND SIDE (to wall)	BUILD TO BOUNDARY	FIRST FLOOR SIDE	CORNER LOTS - SECONDARY FRONTAGE
(P) PARKLAND	Ground floor	3.0	0.9	N/A	2.0
(T1) TRADITIONAL 1	Ground floor	3.0	0.9	N/A	2.0
(T2) TRADITIONAL 2	Ground floor	3.0	0.9	N/A	2.0
(T3) TRADITIONAL 3	Ground floor	3.0	0.9	N/A	2.0
(C1) COURTYARD 1	Ground floor	3.0	0.9	0.0	1.0
(C2) COURTYARD 2	Ground floor	3.0	0.9	0.0	1.0
(TCY1) TOWN COURTYARD 1	Ground floor	3.0	0.9	0.0	1.0
(TCY2) TOWN COURTYARD 2	Ground floor	3.0	0.9	0.0	1.0
(PV) PREMIUM VILLA	Ground floor	3.0	0.9	0.9	1.0
(TPV) TOWN PREMIUM VILLA	Ground floor	3.0	0.9	0.9	1.0
(V) VILLA	Ground floor	3.0	0.9	0.9	1.0
(TV) TOWN VILLA	Ground floor	3.0	0.9	0.9	1.0
(TC) TOWN COTTAGE	Ground floor	3.0	0.9	0.9	1.0
(TCF) TERRACE (PROXY LOADED)	Ground floor	2.4	0.9	0.9	1.0

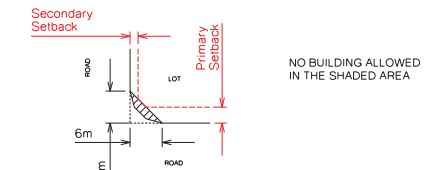
NOTE: ALL GARAGES MUST BE SETBACK 5.0M TO THE FRONT WALL AT THE GARAGE AND A FURTHER 240mm TO THE GARAGE DOOR.

RETAINING WALL HEIGHT TABLE

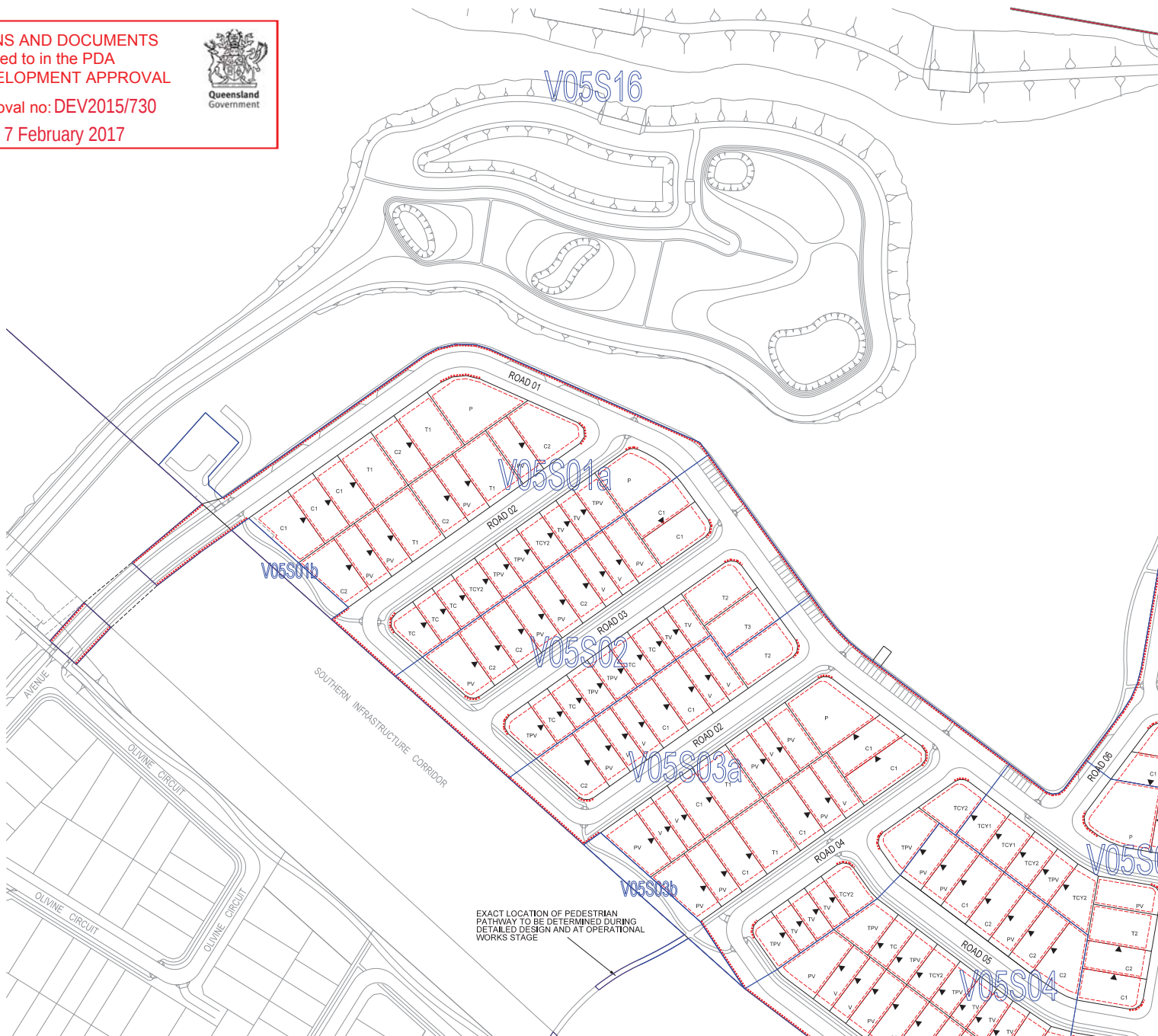
LOT TYPE	Traditional	Town Courtyard	Premium Villa Town Premium Villa Town Cottage	Villa Town Villa	Terrace	MFF (Multi Family Freehold) MFF (Multi Family Strata)	Maximum Retaining Height
Front	1.5	1.4	2.0	1.0	0.5	0.5	1.0
Side	1.5	1.4	2.0	1.0	0.5	0.5	1.0
Rear	1.5	1.4	2.0	1.0	0.5	0.5	1.0

NOTE: RETAINING WALLS WITH A HEIGHT OF 1.0m OR MORE REQUIRE REG CERTIFICATION

SPECIAL SITING REQUIREMENTS FOR CORNER
ALLOTMENTS



THESE CRITERIA MUST BE READ IN CONJUNCTION
WITH RESIDENTIAL PLAN OF DEVELOPMENT
SHEET 4 OF 4 [DGN No P02.V05.ROL7-POD170130] -
DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT



PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN)
RESIDENTIAL PLAN OF DEVELOPMENT

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Scale: 1:2,000 at A3



LEGEND

	BUILD TO BOUNDARY LINE		BUILDING ENVELOPE
	NO VEHICULAR ACCESS		SUGGESTED DRIVEWAY LOCATION
	PROPOSED STAGE BOUNDARY		CONTROLLED FILL

SETBACK TABLE

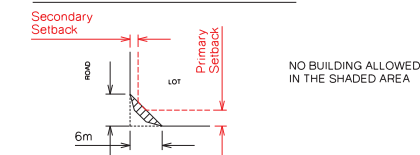
LOT TYPE	FRONT + PRIMARY FRONTAGE	REAR AND SIDE (to wall)	BUILD TO BOUNDARY	FIRST FLOOR SIDE	CORNER LOTS + SECONDARY FRONTAGE
(P) PARKLAND	Ground floor 3.0	0.9	N/A	2.0	1.5
(T1) TRADITIONAL 1	Ground floor 3.0	0.9	N/A	2.0	1.5
(T2) TRADITIONAL 2	Ground floor 3.0	0.9	N/A	2.0	1.5
(T3) TRADITIONAL 3	Ground floor 3.0	0.9	N/A	2.0	1.5
(C1) COURTYARD 1	Ground floor 3.0	0.9	0.0	1.0	1.5
(C2) COURTYARD 2	Ground floor 3.0	0.9	0.0	1.0	1.5
(T1T1) TOWN COURTYARD 1	Ground floor 3.0	0.9	0.0	1.0	1.5
(T1C1) TOWN COURTYARD 2	Ground floor 3.0	0.9	0.0	1.0	1.5
(PV) PREMIUM VILLA	Ground floor 3.0	0.9	0.0	1.0	1.5
(T1PV) TOWN PREMIUM VILLA	Ground floor 3.0	0.9	0.0	1.0	1.5
(V) VILLA	Ground floor 3.0	0.9	0.0	1.0	1.5
(TV) TOWN VILLA	Ground floor 3.0	0.9	0.0	1.0	1.5
(C1C1) TOWN COTTAGE	Ground floor 3.0	0.9	0.0	1.0	1.5
(T1C1) TERRACE (PROV. LOADED)	Ground floor 2.4	0.9	0.0	0.0	1.5

NOTE: ALL GARAGES MUST BE SETBACK 5.0M TO THE FRONT WALL AT THE GARAGE AND A FURTHER 20mm TO THE GARAGE DOOR.

RETAINING WALL HEIGHT TABLE

LOT TYPE	Traditional	Town Courtyard	Premium Villa Town Cottage	Villa Town Villa	Terrace	MFF (Multi Family) (Freehold) MFF (Multi Family) (Leasehold)	Maximum Retaining Height
Front	1.5	1.4	2.0	1.0	0.5	0.5	1.5
Side	1.5	1.4	2.0	1.0	0.5	0.5	1.5
Rear	1.5	1.4	2.0	1.0	0.5	0.5	1.5

NOTE: RETAINING WALLS WITH A HEIGHT OF 1.0m OR MORE REQUIRE REG. CERTIFICATION

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS


THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 4 OF 4 [DGN No P02.V05.ROL7-POD170130] - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2015/730

Date: 7 February 2017



PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT

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LEGEND

	BUILD TO BOUNDARY LINE		BUILDING ENVELOPE
	NO VEHICULAR ACCESS		SUGGESTED DRIVEWAY LOCATION
	PROPOSED STAGE BOUNDARY		CONTROLLED FILL

SETBACK TABLE

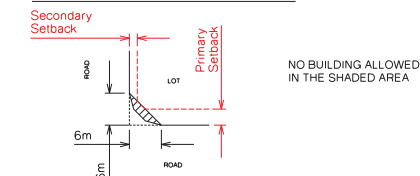
LOT TYPE		FRONT - PRIMARY FRONTAGE	REAR AND SIDE (to vwb)	BUILD TO BOUNDARY	FIRST FLOOR SETBACK	CORNER LOTS SECONDARY FRONTAGE	
(P)	PARKLAND	Ground floor	3.0	0.9	N/A	2.0	1.5
(T1)	TRADITIONAL K1	Ground floor	3.0	0.9	N/A	2.0	1.5
(T2)	TRADITIONAL K2	Ground floor	3.0	0.9	N/A	1.0	1.5
(T3)	TRADITIONAL K3	Ground floor	3.0	0.9	N/A	1.0	1.5
(C1)	COURTYARD 1	Ground floor	3.0	0.9	0.9	1.0	1.5
(C2)	COURTYARD 2	Ground floor	3.0	0.9	0.9	1.0	1.5
(TCY1)	TOWN COURTYARD 1	Ground floor	3.0	0.9	0.9	1.0	1.5
(TCY2)	TOWN COURTYARD 2	Ground floor	3.0	0.9	0.9	1.0	1.5
(PV)	PREMIUM VILLA	Ground floor	3.0	0.9	0.9	1.0	1.5
(TVP)	TOWN PREMIUM VILLA	Ground floor	3.0	0.9	0.9	1.0	1.5
(V)	VILLA	Ground floor	3.0	0.9	0.9	1.0	1.5
(TC)	TOWN COTTAGE	Ground floor	3.0	0.9	0.9	1.0	1.5
(TCT)	TERRACE (FRONT LOADED)	Ground floor	2.4	0.9	0.9	0.9	0.9

NOTE: ALL GARAGES MUST BE SETBACK 5.0M TO THE FRONT WALL AT THE GARAGE AND A FURTHER 240mm TO THE GARAGE DOOR.

RETAINING WALL HEIGHT TABLE

LOT TYPE	Traditional	Town Courtyard	Premium Villa Town Cottage	Villa Town Villa	Terrace	MFF (Multi-Family) MFS (Multi-Family) MFFS (Multi-Family) MFFS (Multi-Family)	Maximum Retaining Height
Front Boundary	1.8	1.4	1.8	1.8	1.8	1.8	1.8
Side Boundary	1.8	1.4	1.8	1.8	1.8	1.8	1.8
Rear Boundary	1.8	1.4	1.8	1.8	1.8	1.8	1.8

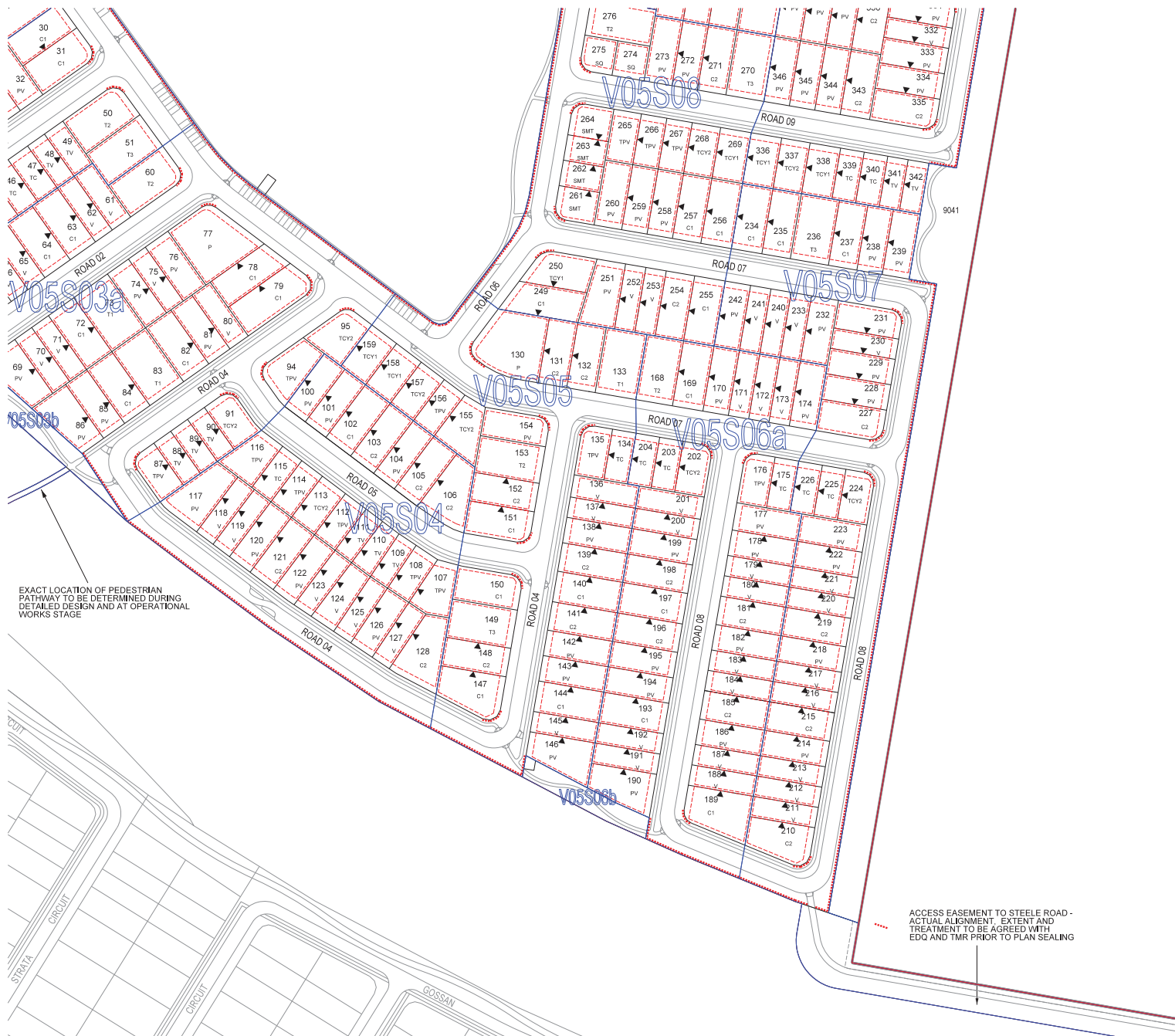
NOTE: RETAINING WALLS WITH A HEIGHT OF 1.0m OR MORE REQUIRE RPED CERTIFICATION

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS


THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 4 OF 4 [DGN No P02.V05.ROL7-PD170130] - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2015/730
Date: 7 February 2017



PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT

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DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

1. General:
 - (i) Easements over infrastructure have not been shown which may affect setbacks. Eaves must not protrude into easements.
 - (ii) The maximum height of unattached buildings shall not exceed 8.5m and for attached buildings or lots greater than 450sqm a building height of 10.5m may be permitted as measured from the natural ground level.
 - (iii) It is assumed that the pad level of each block will be the average of the four corners of the block. Buildings will be built to this pad level unless the consent of property owners on both sides of the block is obtained to vary the pad level.
 - (iv) Where allotments are so marked, the house construction must comply with the current Australian Standard for Domestic Construction regarding acoustics (AS 3671:1989 Acoustic-Road traffic noise intrusion Building siting and construction) such that the indoor noise levels from AS/NZS 2107:2000 of 40dB(A) for bedrooms and 45dB(A) for living rooms are achieved.
2. Setbacks:
 - (i) Setbacks are as per the Setback Table included on the Plan of Development unless otherwise specified.
 - (ii) Setbacks to the first floor and second floor (where permitted) are the same as those of the ground floor excluding on build to boundary walls where any floors above the ground floor must be setback a minimum of 1.0 metre.
 - (iii) All setbacks are measured to the wall. No projection will be closer to a side boundary than 450mm including gutter or fascia, with the exception of any eave returning to a build to boundary wall.
 - (iv) Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - (v) The build to boundary line is nominated on this plan. The length of wall built to this boundary is not to exceed 15.0m (excluding the terrace product) unless specified otherwise in a Plan of Development. Parapets are considered to be a wall and are to comply with the Setback table included on the Plan of Development.
 - (vi) Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments.'
 - (vii) Front setbacks on corner lots are determined by the frontage that the front facade is addressing, for example, if the facade is facing the primary frontage it needs to be in accordance with the front setback.
3. Site Cover and Amenities:
 - (i) Site cover for each lot is not to exceed the following:
 - a.80% for dual attached lots;
 - b.70% for build to the boundary lots;
 - c.60% for lots that do not use a build to boundary;
 - (ii) Total outdoor private open space accessible from the ground floor dwelling, either covered or uncovered, should be generally flat without any fall exceeding 70mm vertical for every 1.0 m horizontally. The total outdoor space should equal at least 15% of the total site area.
4. Parking, Garages and Carports:
 - (i) It is the requirement that at least one covered space per dwelling is off street.
 - (ii) TCF product, excluding those on a corner lot must have a single or tandem garage integrated into the dwelling, are setback a minimum of 5.0m to the front wall at the garage and a further 240mm to the garage door. Corner lot TCF product can provide a double garage or carport on the secondary frontage at the rear of the house with a 1.0m side setback to the wall and a further 240mm to the garage door.
 - (iii) Carports must include a roof design, design features and materials which are consistent with the form and materials of the home.
 - (iv) Carports must include either a garage door at the front or screening to the rear.
 - (v) Garages for narrow lots (10m-12.49m) are to comply with Note 14 on this Plan of Development.
5. Driveways:
 - (i) The driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the construction of a driveway will be allowed. Where there is a footpath within the verge (either installed or to be installed post house construction) the material of the footpath including joints and edges must be maintained with the driveway commencing from either edge.
 - (ii) Maximum driveway grades within lots must not exceed 1:5, or 1:4 with transitions at both ends of the driveway.
 - (iii) Driveways must be offset at least 300mm from the side property boundary.
 - (iv) Driveways must be completed prior to occupation and be located as shown on the approved Functional Layout Roadworks Plan, unless otherwise agreed to by DSDP.
 - (v) Driveways across the verge must comply with the local council requirements and widths cannot exceed 3.0m for a single garage or 5.0m for a double garage.
 - (vi) Driveways are to accord with Logan City Council's standards. Prior to construction, approval from Logan City Council for Vehicular Access to Residential Premises is required
6. Retaining Walls, Earthworks and Sloping Land:
 - (i) Retaining wall heights must not exceed those nominated in the Retaining Wall Heights table included on the Residential Plan of Development.
 - (ii) If these requirements are not able to be achieved, construction methods other than slab on ground construction are to be used. If elevated construction is to be used, under floor services must be located or screened to minimise their appearance to adjoining properties and public spaces.
 - (iii) Retaining walls along street or park frontages cannot exceed 1.0 m in height. A planted strip of a minimum width of 500mm must exist between any terraced retaining walls.
 - (iv) Retaining walls to side boundaries between lots cannot exceed 1.8metres high at the front wall of the house and must taper down forward of the house.
 - (v) Retaining walls over 900mm high require a 1 metre high fence above the wall and adequate landscape screening.
 - (vi) Where the block allows for build to the boundary, the build to the boundary wall must be projected to 150mm below the likely pad level of the adjacent block. The pad level can be assumed to be the average of the four corners of the adjacent block using the As Built levels. The build down of the build to boundary wall must be in a material consistent with the wall above it.
 - (vii) The front wall of the home must not be more than 50% below the midpoint level of the front boundary.

7. External Building Materials:

No raw, unfinished or untreated materials are permitted for external building works. This includes galvanised iron, zinc or aluminium coated steel, corrugated or unpainted fibre cement sheeling and bare, painted or uncoloured concrete block work or commons brickwork. Other materials will be considered on their architectural merits eg natural stone.
8. Front Facade Articulation:
 - (i) Facades of the home fronting the street must include a highly visible entry and include a substantial verandah, or include two materials or finishes to the entry.
 - (ii) Single storey homes must include articulation between the alignment of the front wall and the garage on the primary frontage. The minimum acceptable alignment variation is 560mm. Except of narrow lots (10m -12.49m in width - refer note 14) garages are permitted to be a maximum 1.0m forward of the front building wall where the roof of the entry is positioned forward of the roof of the garage.
 - (iii) Double storey homes which incorporate a minimum depth verandah or balcony to the first floor to at least 40% of the front elevation width do not require articulation between the alignment of the front wall and the garage.
9. Homes with more than one Visible Facade (Corner Homes):

Homes on corners or with park frontage must provide feature windows and detailing to match the front elevation along the secondary frontage or extend the detailing of the priority street facade to the front four metres of the secondary frontage.
10. Fencing:
 - (i) No front fencing is desirable on primary street frontages in order to ensure the predominance of landscaping in front of buildings.
 - (ii) Any fencing on the primary street frontage is to be a maximum of 1.2 metres in height and decorative in style, with the exception of regulation fencing required around pools.
 - (iii) Fencing up to 1.5 m in height will be permitted on primary street frontages if it is:
 - a, an open style fence that is 50% transparent, or
 - b, is a courtyard wall constructed of face brickwork or masonry piers with coloured render or textured finish, or
 - c, is of architectural merit.
 - (iv) Fencing provided to a secondary street frontage can be up to 1.8 metres in height and must be decorative fencing.
 - (v) All side fencing must either return to the house a minimum of 1.0 metre behind the front building line or continue forward of the front building line as decorative fencing.
 - (vi) Decorative fencing is to be constructed of rendered and painted masonry piers or painted or stained posts, with infill panels of coloured metal tube, painted or stained timber palings or horizontal battens. Timber paling fences will only be accepted if they are painted in a colour which complements the design of the home, and treated with decorative capping or trims and provided with pronounced posts.
 - (vii) Secondary Fencing must finish four metres behind the front wall of your home.
 - (viii) Untreated or coloured metal sheeting, fibrous cement or non-decorative timber fencing is not acceptable as a decorative fence.
 - (ix) Fencing and retaining walls erected by Lend Lease must not be altered, removed or modified in any way, without the prior written approval from Lend Lease.
11. Landscaping:
 - (i) At least 50% of your front yard is landscaped with grass and/or garden beds. A significant portion of this area must include gardens with trees and/or shrubs capable of growing to 3 metres tall and at least 600mm high at the time of planting
 - (ii) Please refer to the preferred Yarrabilba plant species list for guidance.
12. Outdoor Structure and Services
 - (i) All outdoor structures visible from the street or public spaces including but not limited to, roof or wall mounted air-conditioning units, satellite dishes, antennas, water tanks and clotheslines must be suitably screened and located to minimise detrimental visual impact.
 - (ii) Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.
13. Build to Boundary Wall Lengths
 - (i) The maximum length of build to boundary for any TCF product shall be 18m.
14. Garages on Narrow Lots - Residential Lots (10m -12.49m in width)

Garages for Lots between 10m -12.49m in width must adhere to the following design criteria

14.1	The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
14.2	The garage door
i	Width must not exceed 4.8m;
ii	Must have a 450mm eave above it;
iii	Must be setback a minimum of 240mm behind the pillar of the garage door; and
iv	Must have a sectional, tilt or roller door,

14.3. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following

i	A front entrance door and windows with a side light.
ii	A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
iii	The verandah, portico or porch is to include front piers with distinct materials and/or colours
15. Driveways on narrow Lots - Residential Lots 910m - 12.49m in width)

Driveways cannot exceed 3.0m across the verge on lots between 10m and 12.49m wide.

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**



**Approval no: DEV2015/730
Date: 7 February 2017**

**THESE CRITERIA MUST BE READ IN CONJUNCTION
WITH RESIDENTIAL PLAN OF DEVELOPMENT
SHEETS 1 TO 3 [Dgn No. P02.V05.ROL7-POD170130]**

PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT

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LEGEND

- YARRABILBA SITE BOUNDARY
- RECONFIGURATION OF A LOT APPLICATION SEVEN

LOT YIELD				LOT AREA		
Lot Type	No. Lots	% Total Lots	Average Size	% of Total Area	Area	
P	4	1.25%	871m ²	2.68%	3485m ²	
T1	9	2.80%	645m ²	4.47%	5809m ²	
T2	5	1.56%	590m ²	2.27%	2951m ²	
T3	5	1.56%	597m ²	2.30%	2985m ²	
C1	32	9.97%	503m ²	12.38%	16100m ²	
C2	38	11.84%	475m ²	13.90%	19075m ²	
PV	79	24.61%	419m ²	25.50%	33154m ²	
V	51	15.89%	324m ²	12.73%	16546m ²	
TCV1	8	2.49%	391m ²	2.41%	3129m ²	
TCV2	13	4.05%	371m ²	3.72%	4834m ²	
TPV	30	9.35%	334m ²	7.71%	10022m ²	
TV	18	5.61%	254m ²	3.52%	4578m ²	
TC	21	6.54%	294m ²	4.76%	6190m ²	
SO	4	1.25%	259m ²	0.80%	1038m ²	
SMT	4	1.25%	280m ²	0.86%	1122m ²	
Total Number of Lots		321				

MINIMUM RESIDENTIAL DENSITY 21,068/ha
321 du
15.2 du/ha

MAXIMUM RESIDENTIAL DENSITY 21,068/ha
321 du
15.2 du/ha

LAND USE BUDGET	ha
RESIDENTIAL	13,0104
NEW ROAD - LOCAL	6,3302
OPEN SPACE LOCAL AND LINEAR	1,728
PUMP STATION	0,085
SUB-TOTAL	21,189
OTHER GREEN SPACE INCLUDING APPROX 8ha OF DISTRICT RECREATION PARK	20,748
PATHWAY TO VILLAGE 04 AND EMERGENCY EMT	0,491
TOTAL	42,428

NOTE:
MINIMUM DWELLINGS is based on the development of one dwelling on each single family lot.

DENSITY calculations include the area of residential lots, local roads and local parks.

The boundaries, roads and pathways shown herein are subject to detailed engineering design. Final survey and approval of subsequent development applications by the relevant authorities.

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2015/730
Date: 7 February 2017



PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RECONFIGURATION OF A LOT

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0 40 80 120 160 200m
Scale: 1:4,000 at A3



LEGEND

LOT TYPE
PARKLAND (P)
TRADITIONAL (T1, T2, T3)
COURTYARD (C1, C2)
PREMIUM VILLA (PV)
VILLA (V)
TOWN COURTYARD (TCY1, TCY2)
TOWN PREMIUM VILLA (TPV)
TOWN VILLA (TV)
TOWN COTTAGE (TC)
TERRACE FRONT LOADED (TCF)
SQUAT COURTYARD (SQ)
SMART LOT (SMT)



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2015/730
Date: 7 February 2017


NOTE:

The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) **RECONFIGURATION OF A LOT**

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LEGEND

LOT TYPE
PARKLAND (P)
TRADITIONAL (T1, T2, T3)
COURTYARD (C1, C2)
PREMIUM VILLA (PV)
VILLA (V)
TOWN COURTYARD (TCY1, TCY2)
TOWN PREMIUM VILLA (TPV)
TOWN VILLA (TV)
TOWN COTTAGE (TC)
TERRACE FRONT LOADED (TCF)
SQUAT COURTYARD (SQ)
SMART LOT (SMT)



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DEVELOPMENT APPROVAL

Approval no: DEV2015/730

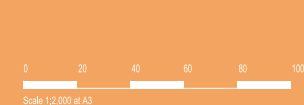
Date: 7 February 2017


NOTE:

The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RECONFIGURATION OF A LOT

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LEGEND

LOT TYPE
PARKLAND (P)
TRADITIONAL (T1, T2, T3)
COURTYARD (C1, C2)
PREMIUM VILLA (PV)
VILLA (V)
TOWN COURTYARD (TCY1, TCY2)
TOWN PREMIUM VILLA (TPV)
TOWN VILLA (TV)
TOWN COTTAGE (TC)
TERRACE FRONT LOADED (TCF)
SQUAT COURTYARD (SQ)
SMART LOT (SMT)



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2015/730

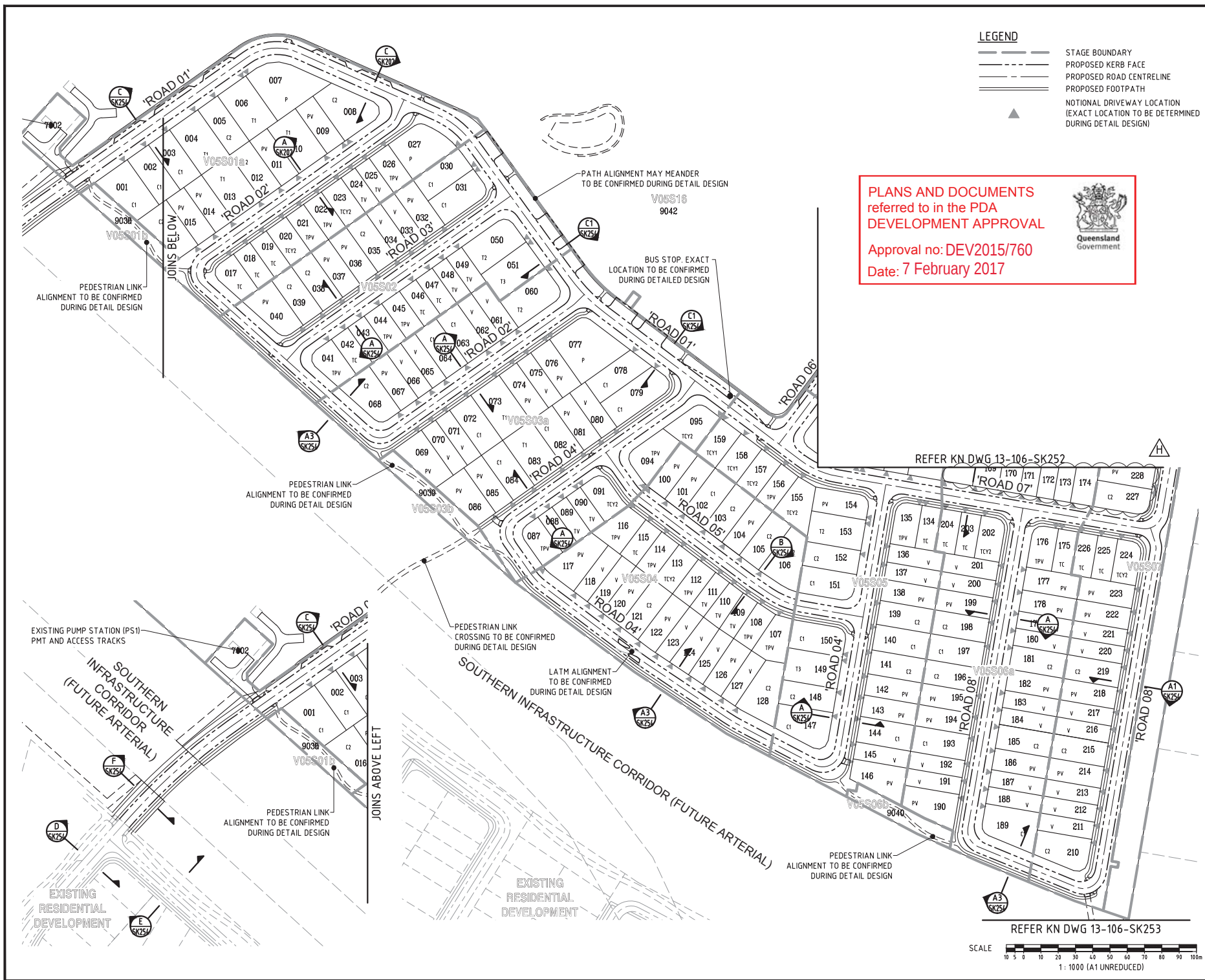
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PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RECONFIGURATION OF A LOT

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LEGEND

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED ROAD CENTRELINE
- PROPOSED FOOTPATH
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2015/760

Date: 7 February 2017

DO NOT SCALE THIS DRAWING IF IN DOUBT - ASK!

LOCALITY PLAN

REVISIONS

No	Description	Date	By
A	APPROVAL	OCT/15	L.O.C
B	DRIVEWAY LOCATIONS ADDED	23/11/15	EL
C	LATM ADDED	02/02/16	IOC
D	FUTURE WIRING AREA AMENDED	22/02/16	EL
E	ROAD WIDEN AND LOTS AMENDED	08/03/16	IOC
F	FOOTPATHS & BUS BAY AMENDED	02/08/16	JAS
G	LOT LAYOUT AMENDED	29/08/16	JAS
H	LOT LAYOUT & NUMBERS AMENDED	30/01/17	JAS

Associated Consultants

RPS Australia East Pty Ltd
ACN 140 292 762
Suite 4, Rymna East Coast Corporate Park
North Brisbane, 34-36 Glenview Drive, Robina
PO Box 1040 Robina, QLD 4226
T +61 7 555 36900
F +61 7 555 36999
W rpsgroup.com.au

Project

YARRABILBA

PRECINCT 2

PRELIMINARY PLANNING

FUNCTIONAL DRAWINGS

KN GROUP PTY LTD
CONSULTING ENGINEERS

LEVEL 2 - 71 GREY STREET
SOUTH BRISBANE
QUEENSLAND 4101
PHONE 07 3017 1900
FAX 07 3017 1911
EMAIL kng@knpl.com.au
ABN 35 112 053 611

Approved: RPEQ 12805

Drawing Title

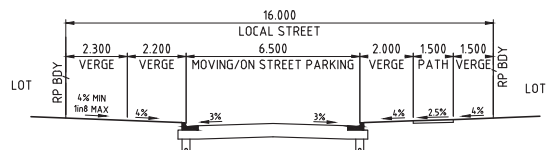
V05 FUNCTIONAL LAYOUT

ROADWORKS PLAN

SHEET 1

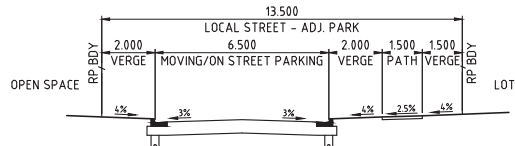
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I.O.C	I.O.C	GBG	OCT 15

Scale	Drawing No	Revision
AS SHOWN	13-106-SK251	H



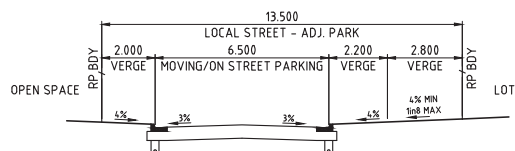
LOCAL STREET

A SECTION
SCALE 1:100
251 & 252



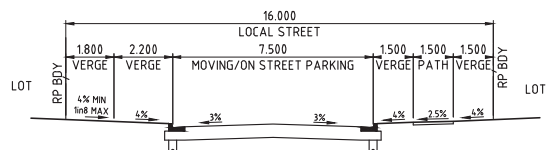
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A1 SECTION
SCALE 1:100
251 & 252



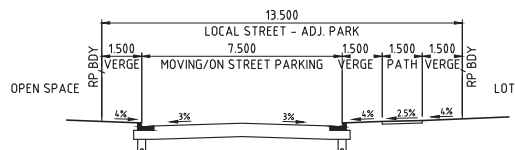
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A2 SECTION
SCALE 1:100
251 & 252



LOCAL COLLECTOR

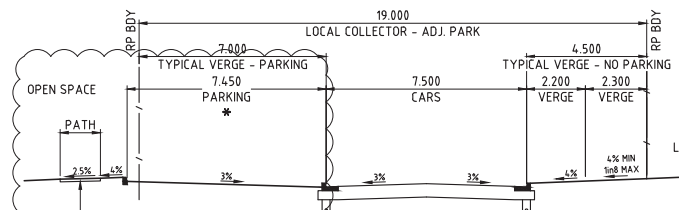
B SECTION
SCALE 1:100
251 & 252



LOCAL COLLECTOR

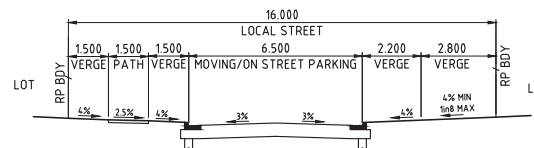
B1 SECTION
SCALE 1:100
251 & 252

PATH ALIGNMENT AND WIDTH
TO BE CONFIRMED DURING DETAIL DESIGN



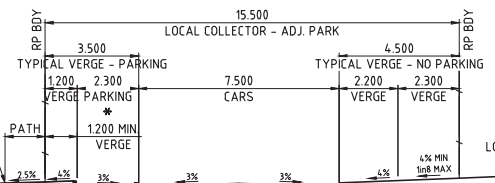
LOCAL COLLECTOR

C1 SECTION
SCALE 1:100
251 & 252



LOCAL STREET

A3 SECTION
SCALE 1:100
251 & 252

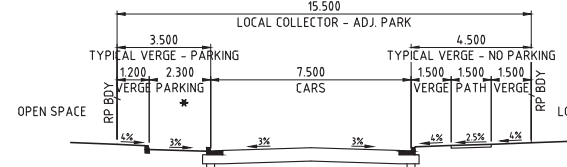


LOCAL COLLECTOR

C SECTION
SCALE 1:100
251 & 252

* DENOTES CAR PARKING NOT
CONTINUOUS ALONG STREET.
VERGE WIDTH ADJUSTS
WITH/WITHOUT CAR PARKING

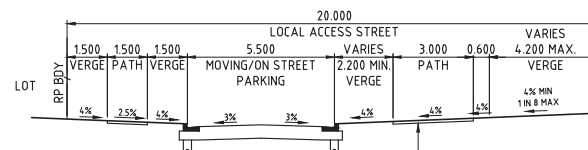
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2015/760
Date: 7 February 2017



LOCAL COLLECTOR
(EXISTING VILLAGE 4A ROAD)

D SECTION
SCALE 1:100
251

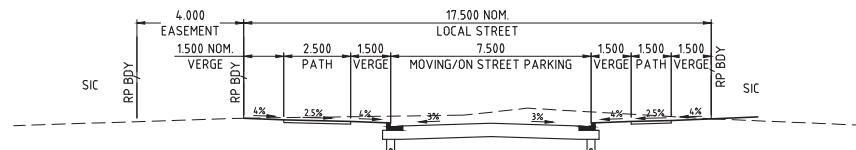
* DENOTES CAR PARKING NOT
CONTINUOUS ALONG STREET.
VERGE WIDTH ADJUSTS
WITH/WITHOUT CAR PARKING



LOCAL ACCESS STREET
(EXISTING VILLAGE 4A ROAD)

E SECTION
SCALE 1:100
251

MAJOR PEDESTRIAN LINK
ALIGNMENT TO VARY



LOCAL COLLECTOR

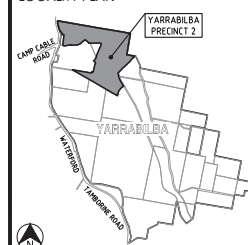
F SECTION
SCALE 1:100
251

NB
KERB TYPES TO BE CONFIRMED
DURING DETAILED DESIGN



DO NOT SCALE THIS DRAWING
IF IN DOUBT - ASK!

LOCALITY PLAN



REVISIONS

No	Description	Date	By
A	APPROVAL	OCT/15	I.O.C
B	ROAD SECTION ADDED	08/03/16	IOC
C	ROAD SECTION AMENDED & ADDED	02/08/16	JAS
D	ROAD SECTION AMENDED	29/08/16	JAS

Associated Consultants

RPS
RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Suite 4, Northern East Coast Corporate Park
North Building, 34-36 Glenfern Drive, Robina
PO Box 1040 Robina QLD 4226
T +61 7 555 36900
F +61 7 555 36999
W rpsgroup.com.au

Client

lendlease

Project

YARRABILBA
PRECINCT 2
PRELIMINARY PLANNING
FUNCTIONAL DRAWINGS

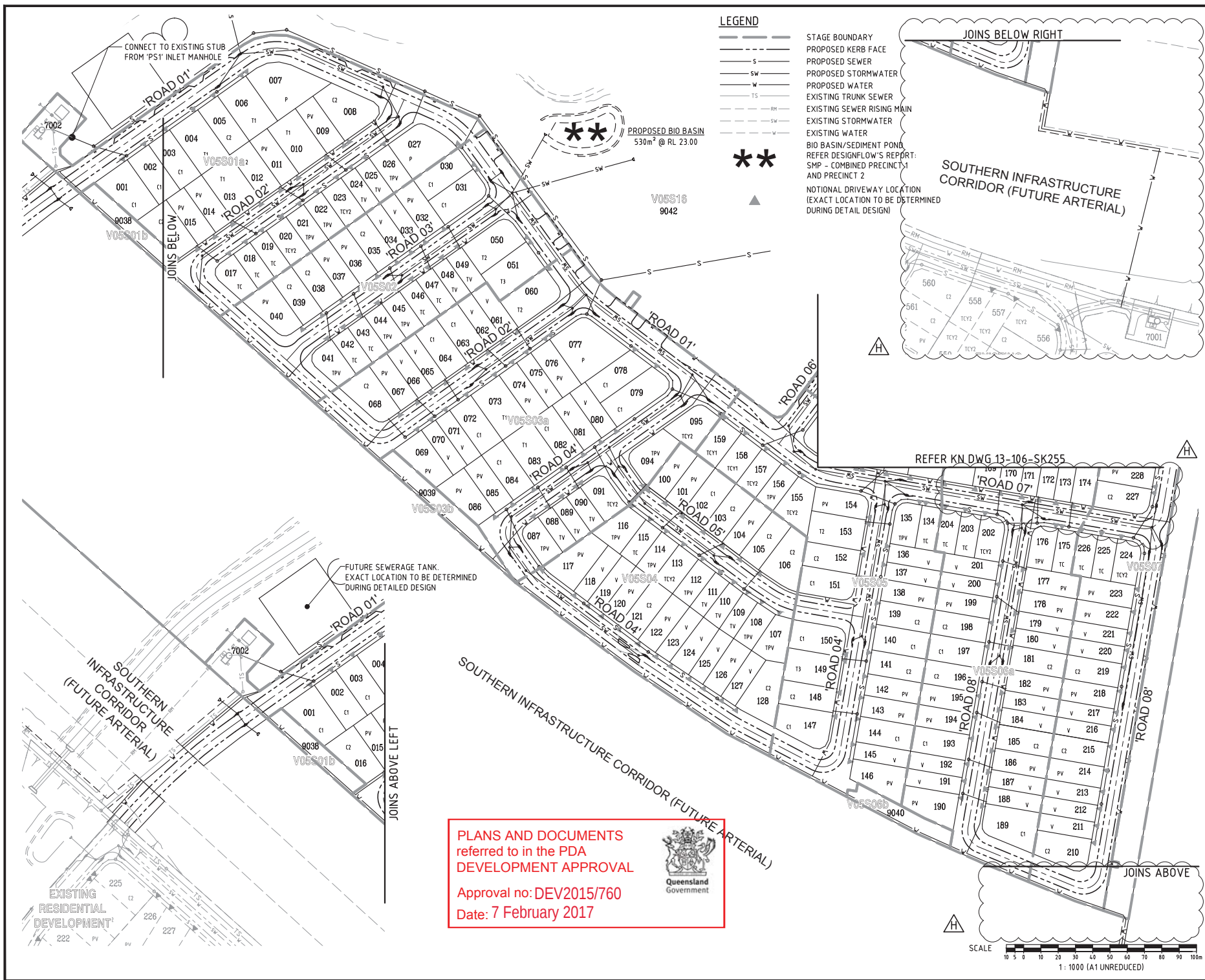
KN GROUP PTY LTD
CONSULTING ENGINEERS

LEVEL 2 - 71 GREY STREET
SOUTH BRISBANE
QUEENSLAND 4101
PHONE 07 3017 1900
FAX 07 3017 1911
EMAIL kngrp@knpl.com.au
ABN 35 112 053 611

Approved - RPEQ 12805

Drawing Title
**V05 FUNCTIONAL LAYOUT
TYPICAL SECTIONS**

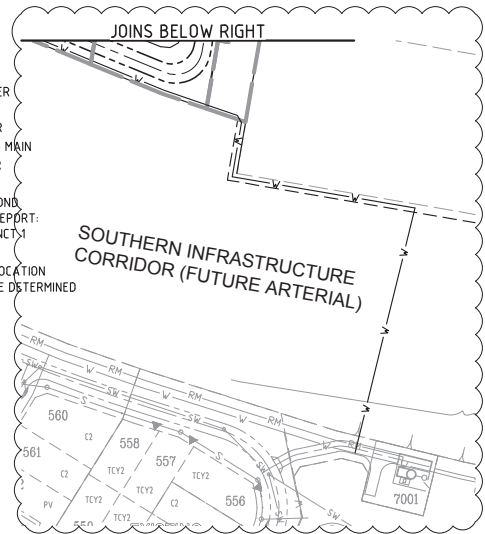
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Scale	Sheet	Revision	
AS SHOWN	4 of -		
A1	13-106-SK254	D	



LEGEND

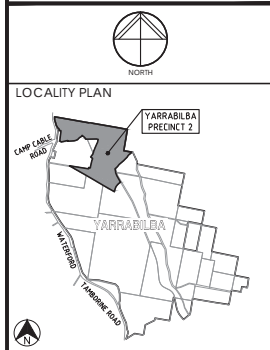
- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED SEWER
- PROPOSED STORMWATER
- PROPOSED WATER
- EXISTING TRUNK SEWER
- EXISTING SEWER RISING MAIN
- EXISTING STORMWATER
- EXISTING WATER
- BIO BASIN/SEDIMENT POND
- REFER DESIGNFLOW'S REPORT: SMP - COMBINED PRECINCT 1 AND PRECINCT 2
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

JOINS BELOW RIGHT



SOUTHERN INFRASTRUCTURE CORRIDOR (FUTURE ARTERIAL)

DO NOT SCALE THIS DRAWING IF IN DOUBT - ASK!



REVISIONS			
No	Description	Date	By
A	APPROVAL	OCT/15	L.O.C
B	DRIVEWAY LOCATIONS ADDED	23/11/15	EL
C	LATH ADDED AND SEWER LAYOUT AMENDED	02/02/16	IOC
D	SEWERAGE TANK ADDED	22/02/16	EL
E	ROAD WIDEN AND LOTS AMENDED	08/03/16	IOC
F	SERVICES AMENDED	02/08/16	JAS
G	LOT LAYOUT AMENDED	29/08/16	JAS
H	LOT LAYOUT & NUMBERS AMENDED	30/01/17	JAS

Associated Consultants

RPS

RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Suite 4, RPS Australia East Pty Ltd Corporate Park
North Brisbane, 34-36 Glenview Drive, Brisbane
PO Box 1040 Brisbane, QLD 4220
T +61 7 555 36900
F +61 7 555 36999
W rpsgroup.com.au



Project

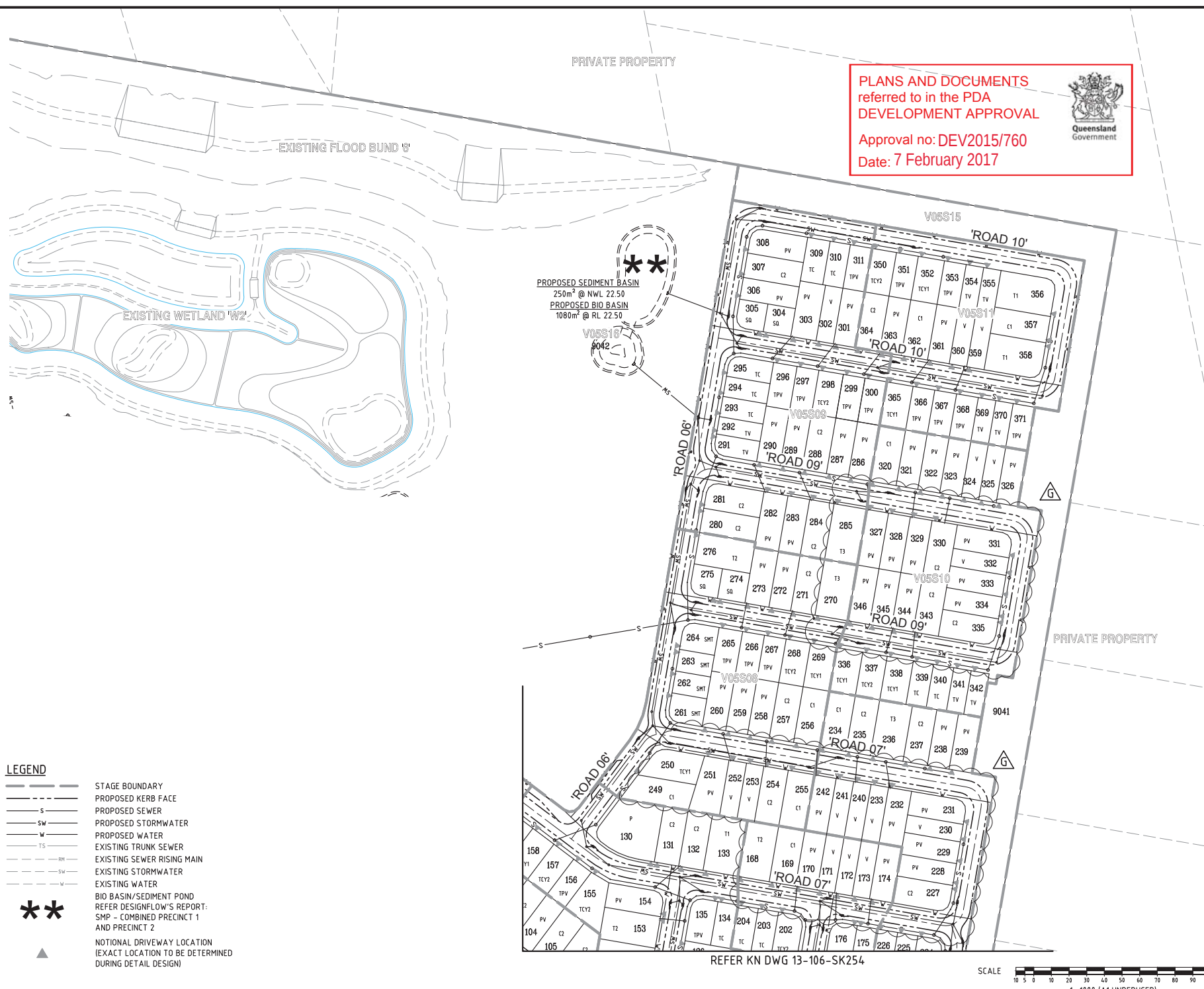
YARRABILBA

PRECINCT 2
PRELIMINARY PLANNING
FUNCTIONAL DRAWINGS

KN GROUP PTY LTD
CONSULTING ENGINEERS

LEVEL 2 - 71 GREY STREET
SOUTH BRISBANE
QUEENSLAND 4101
PHONE 07 3017 1900
FAX 07 3017 1911
EMAIL kng@knpl.com.au
ABN 35 112 053 611

Approved: RPEQ 12805			
Drawing Title			
V05 FUNCTIONAL LAYOUT SERVICES PLAN SHEET 1			
Drawn	Designed	Checked	Date
L.O.C	L.O.C	GBG	OCT 15
Scale			Sheet
1:1000 (A1 UNREDUCED)			5 of -
Drawing No			Revision
A1 13-106-SK255			H



- LEGEND**
- STAGE BOUNDARY
 - PROPOSED KERB FACE
 - PROPOSED SEWER
 - PROPOSED STORMWATER
 - PROPOSED WATER
 - EXISTING TRUNK SEWER
 - EXISTING SEWER RISING MAIN
 - EXISTING STORMWATER
 - EXISTING WATER
 - BIO BASIN/SEDIMENT POND
 - REFER DESIGNFLOW'S REPORT:
 - SMP - COMBINED PRECINCT 1 AND PRECINCT 2
 - NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2015/760

Date: 7 February 2017



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NORTH

LOCALITY PLAN

YARRABILBA PRECINCT 2

YARRABILBA

REVISIONS

No	Description	Date	By
A	APPROVAL	OCT/15	L.O.C
B	DRIVEWAY LOCATIONS ADDED	23/11/15	EL
C	LATH ADDED AND SEWER LAYOUT AMENDED	02/02/16	IOC
D	ROAD WIDEN	06/03/16	IOC
E	SERVICES AMENDED	02/08/16	JAS
F	LOT LAYOUT AMENDED	29/08/16	JAS
G	LOT LAYOUT & NUMBERS AMENDED	30/01/17	JAS

Associated Consultants

RPS

RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
Suite 4, Northern East Coast Corporate Park
North Building, 34-36 Glenferrie Drive, Robina
PO Box 990 Robina QLD 4226
T +61 7 555 36900
F +61 7 555 36999
W rpsgroup.com.au

Client

lendlease

Project

YARRABILBA

PRECINCT 2
PRELIMINARY PLANNING
FUNCTIONAL DRAWINGS

KN GROUP PTY LTD
CONSULTING ENGINEERS

LEVEL 2 - 71 GREY STREET
SOUTH BRISBANE
QUEENSLAND 4101
PHONE 07 3017 1900
FAX 07 3017 1911
EMAIL kng@knpl.com.au
ABN 35 112 053 611

Approved - RPEQ 12805

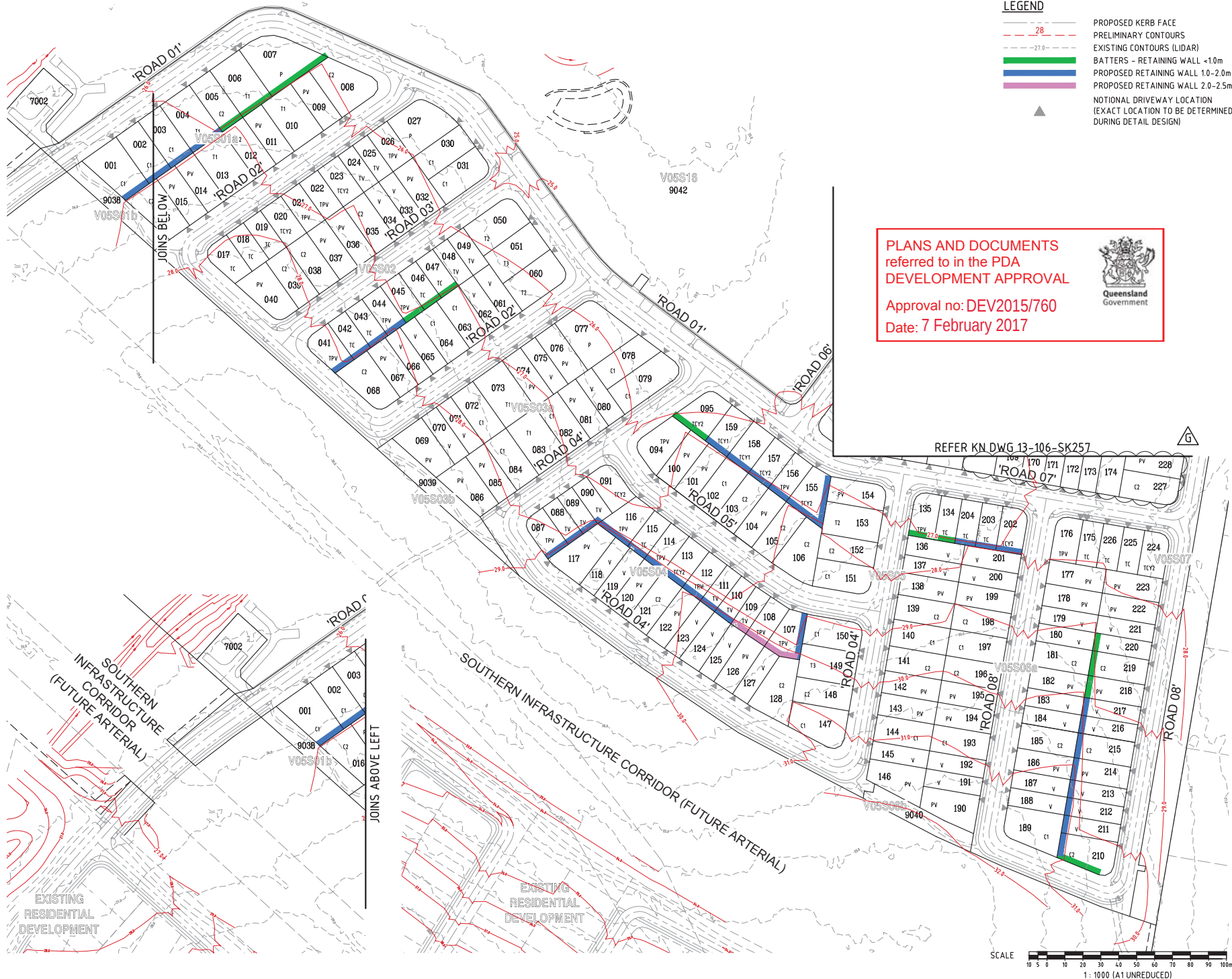
Drawing Title

V05 FUNCTIONAL LAYOUT
SERVICES PLAN
SHEET 2

Drawn	Designed	Checked	Date
L.O.C	L.O.C	GBG	OCT 15

Scale	Sheet	Revision
	6 of -	

Drawing No	Revision
A1	G



LEGEND

- PROPOSED KERB FACE
- PRELIMINARY CONTOURS
- EXISTING CONTOURS (LIDAR)
- BATTERS - RETAINING WALL <1.0m
- PROPOSED RETAINING WALL 1.0-2.0m
- PROPOSED RETAINING WALL 2.0-2.5m
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

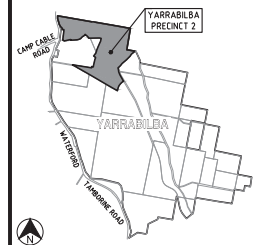
Approval no: DEV2015/760
Date: 7 February 2017



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LOCALITY PLAN



REVISIONS

No	Description	Date	By
A	APPROVAL	OCT/15	L.O.C
B	DRIVEWAY LOCATIONS ADDED	23/11/15	EL
C	LATM ADDED	02/02/16	IOC
D	ROAD WIDTH AND LOTS AMENDED	08/03/16	KOC
E	FOOTPATHS & BUS BAY AMENDED	02/08/16	JAS
F	LOT LAYOUT AMENDED	29/08/16	JAS
G	LOT LAYOUT & NUMBERS AMENDED	30/01/17	JAS

Associated Consultants

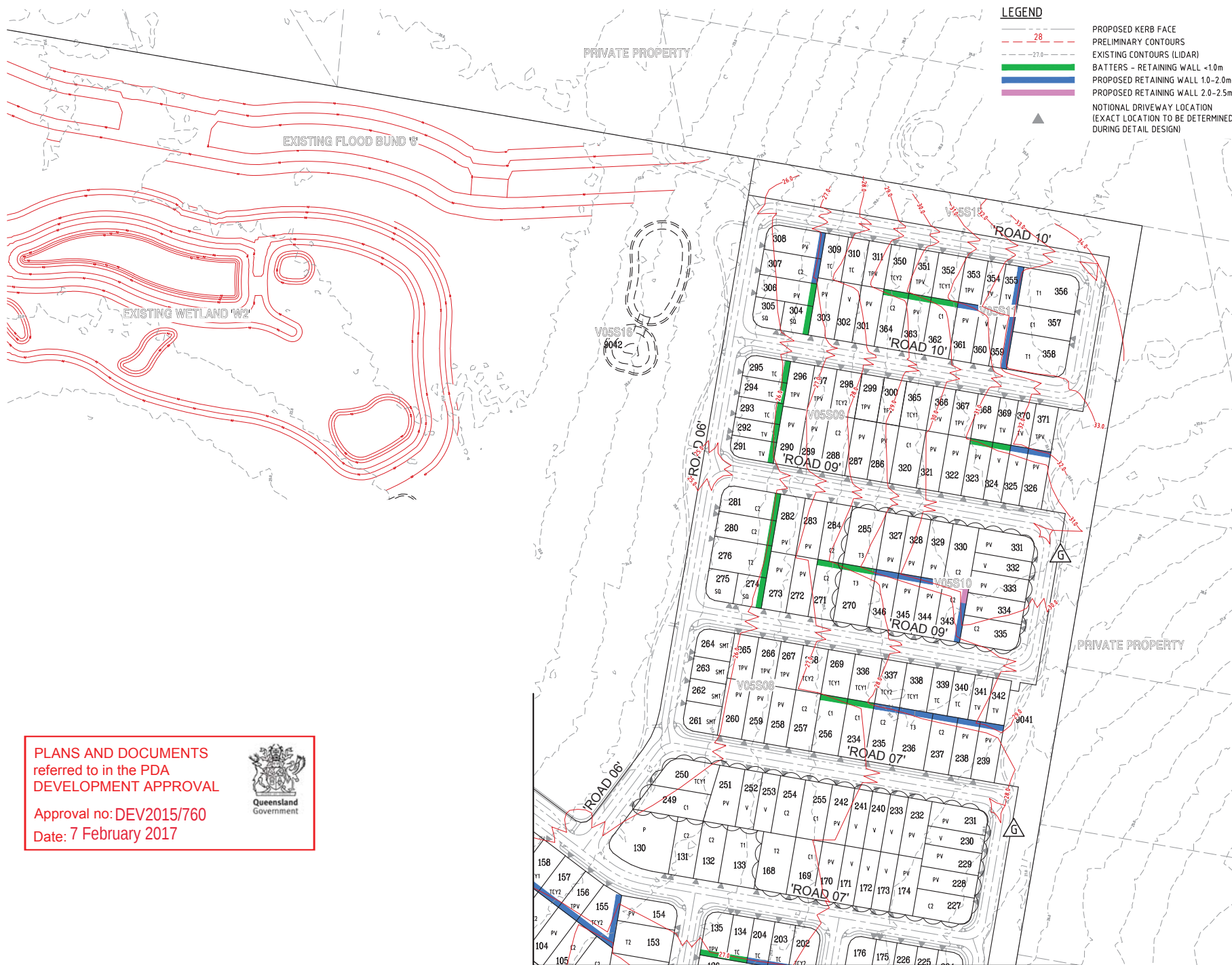
RPS
RPS Australia East Pty Ltd
ACN 140 292 762
Suite 4, RPS Australia East Pty Ltd Corporate Park
North Brisbane, 34-36 Glenview Drive, Brisbane
PO Box 1040 North Brisbane, QLD 4205
T +61 7 555 36900
F +61 7 555 36999
W rpsgroup.com.au

lendlease
lendlease ENGINEERS

YARRABILBA
PRECINCT 2
PRELIMINARY PLANNING
FUNCTIONAL DRAWINGS

KN GROUP PTY LTD
CONSULTING ENGINEERS
LEVEL 2 - 71 GREY STREET
SOUTH BRISBANE
QUEENSLAND 4101
PHONE 07 3017 1900
FAX 07 3017 1911
EMAIL kng@knpl.com.au
ABN 35 112 053 611

Approved: RPEQ 12805	Drawing Title: V05 FUNCTIONAL LAYOUT EARTHWORKS PLAN SHEET 1	Drawn: I.O.C	Designed: I.O.C	Checked: GBG	Date: OCT 15
Scale: AS SHOWN	Drawing No: 13-106-SK257	Sheet: 7 of -	Revision: G		



LEGEND

- PROPOSED KERB FACE
- PRELIMINARY CONTOURS
- EXISTING CONTOURS (LIDAR)
- BATTERS - RETAINING WALL <1.0m
- PROPOSED RETAINING WALL 1.0-2.0m
- PROPOSED RETAINING WALL 2.0-2.5m
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

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LOCALITY PLAN

REVISIONS

No	Description	Date	By
A	APPROVAL	OCT/15	L.O.C
B	DRIVEWAY LOCATIONS ADDED	23/11/15	EL
C	LATM ADDED	02/02/16	IOC
D	ROAD WIDTH	08/03/16	IOC
E	FOOTPATHS AMENDED	02/08/16	JAS
F	LOT LAYOUT AMENDED	29/08/16	JAS
G	LOT LAYOUT & NUMBERS AMENDED	30/01/17	JAS

Associated Consultants

RPS
RPS Australia East Pty Ltd
ABN 44 140 292 762
Suite 4, RPS Australia East Pty Ltd Corporate Park
North Building, 34-36 Glenview Drive, Robina
PO Box 9940 Robina QLD 4226
T +61 7 555 36900
F +61 7 555 36999
W rpsgroup.com.au

Client

lendlease

Project

YARRABILBA
PRECINCT 2
PRELIMINARY PLANNING
FUNCTIONAL DRAWINGS

KN GROUP PTY LTD
CONSULTING ENGINEERS

LEVEL 2 - 71 GREY STREET
SOUTH BRISBANE
QUEENSLAND 4101
PHONE 07 3017 1900
FAX 07 3017 1911
EMAIL kng@knpl.com.au
ABN 35 112 053 611

Approved - RPEQ 12805

Drawing Title

V05 FUNCTIONAL LAYOUT
EARTHWORKS PLAN
SHEET 2

Drawn	Designed	Checked	Date
L.O.C	L.O.C	GBG	OCT 15

Scale
AS SHOWN

Sheet	Drawing No	Revision
8 of -	13-106-SK258	G

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2015/760
Date: 7 February 2017



REFER KN DWG 13-106-SK256

