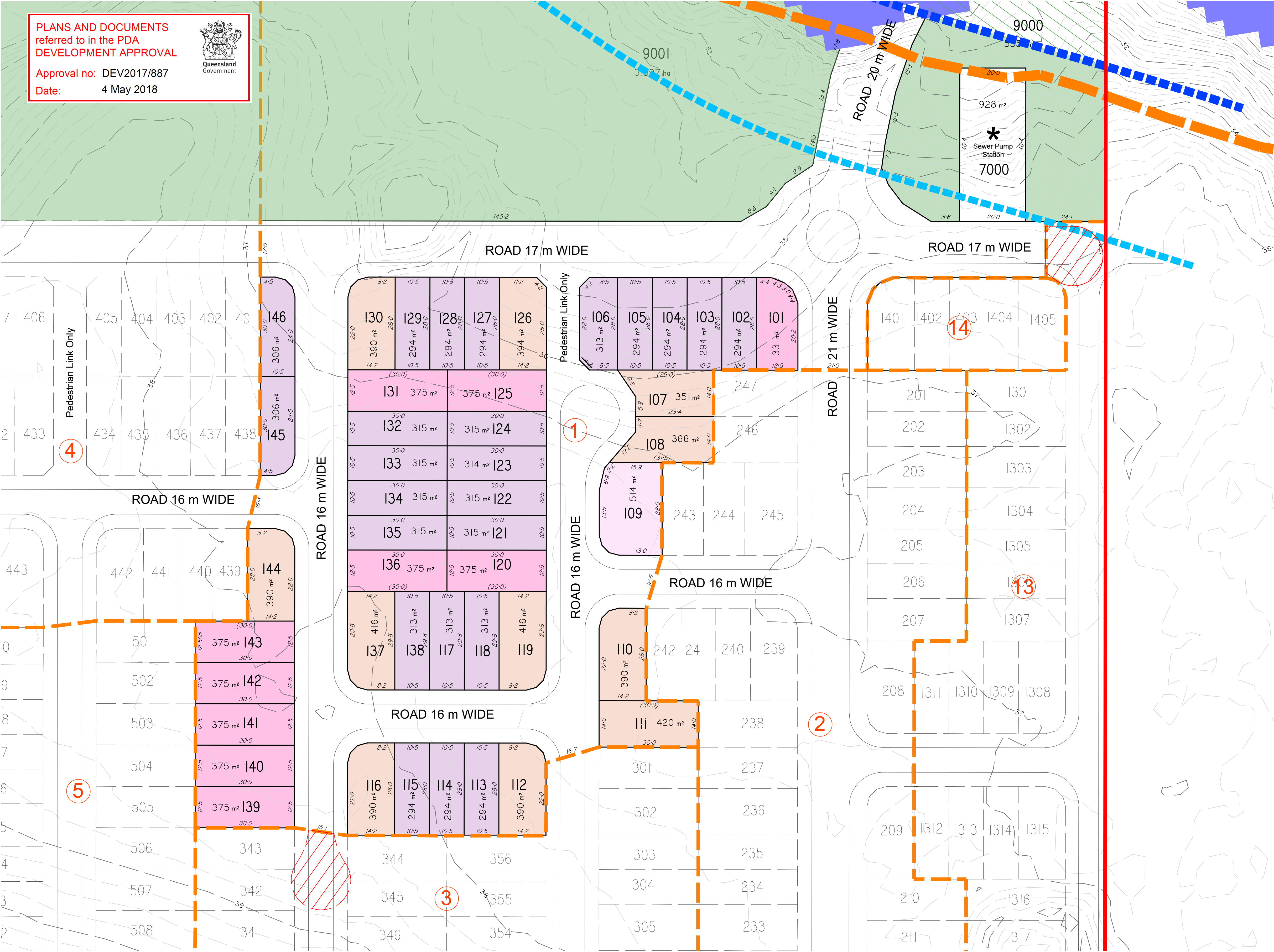


STAGING PLAN - STAGE 1



STAGING PLAN - STAGE 2

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OR CONSTRUCTION

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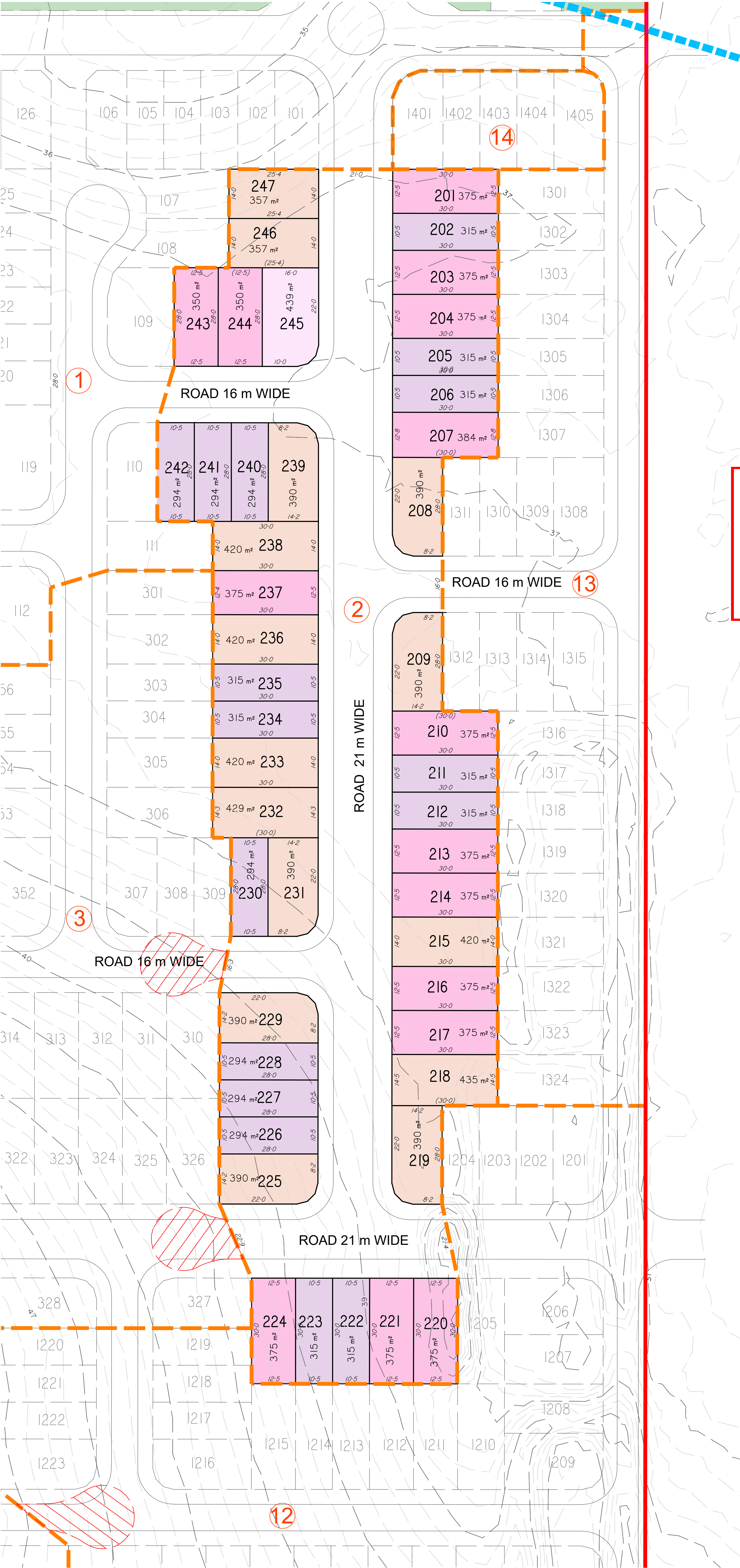
LEGEND

- Site Boundary
- Logan City Council 2016 Flood Mapping
- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

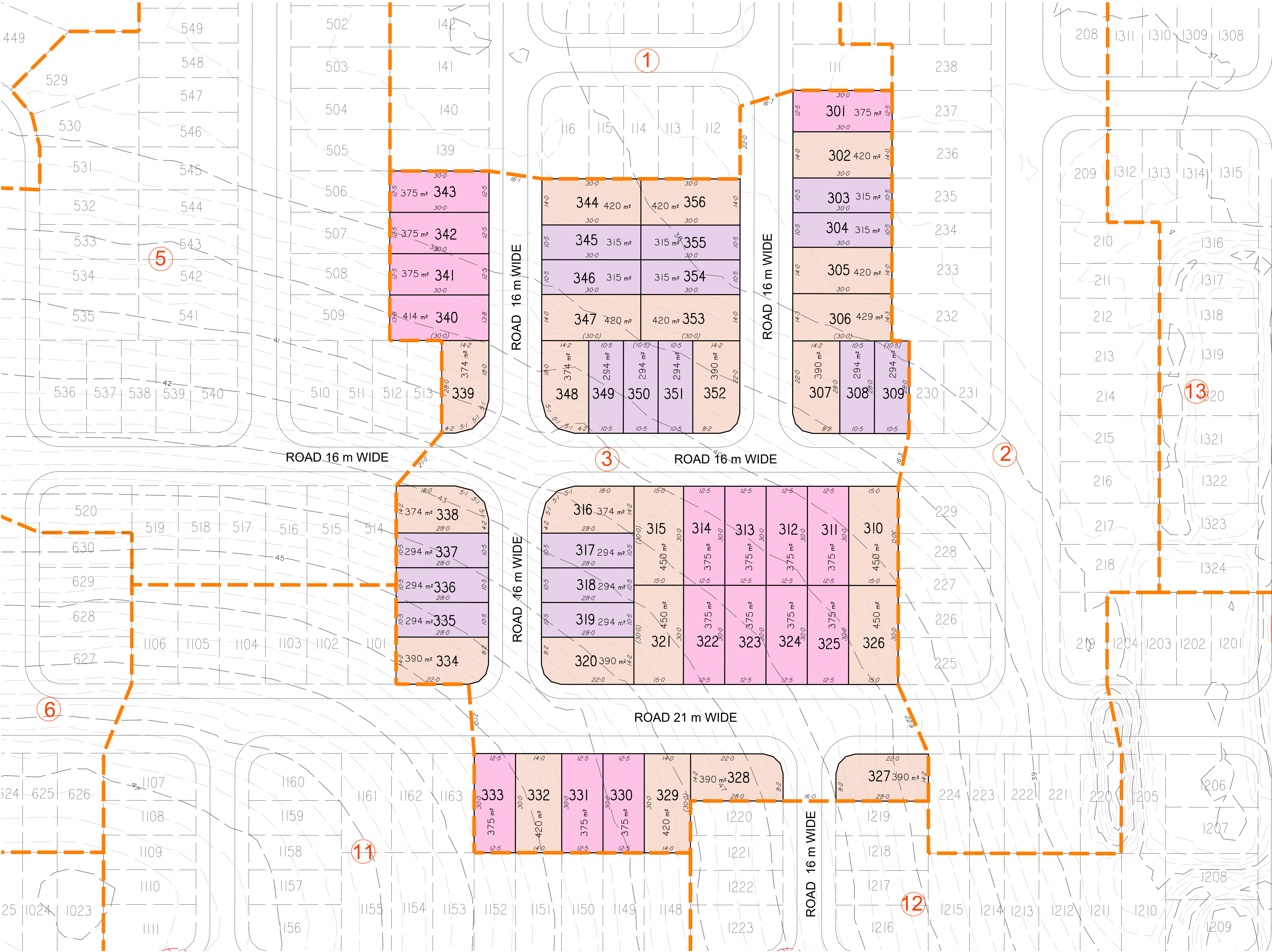
NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2017/887
Date: 4 May 2018



STAGING PLAN - STAGE 3



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LEGEND

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- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

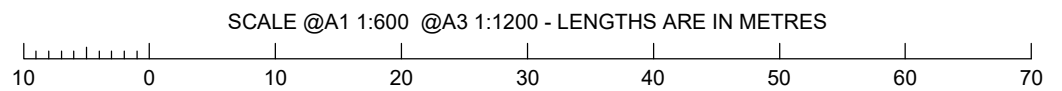
PLANS AND DOCUMENTS
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Approval no: DEV2017/887
Date: 4 May 2018



STAGING STATISTICS - STAGE 3		
Stage Area	3.026 ha	
Length of New Roads	530 m	
Area of New Roads	9675m ²	32.0%
Villa (10.5m - 12.99m frontage)	17	30.3%
Premium Villa (12.5m - 13.99m frontage)	16	28.6%
Courtyard (14m - 15.99m frontage)	23	41.1%
Total Residential Allotments	56	100%
Average Lot Size	368 m ²	

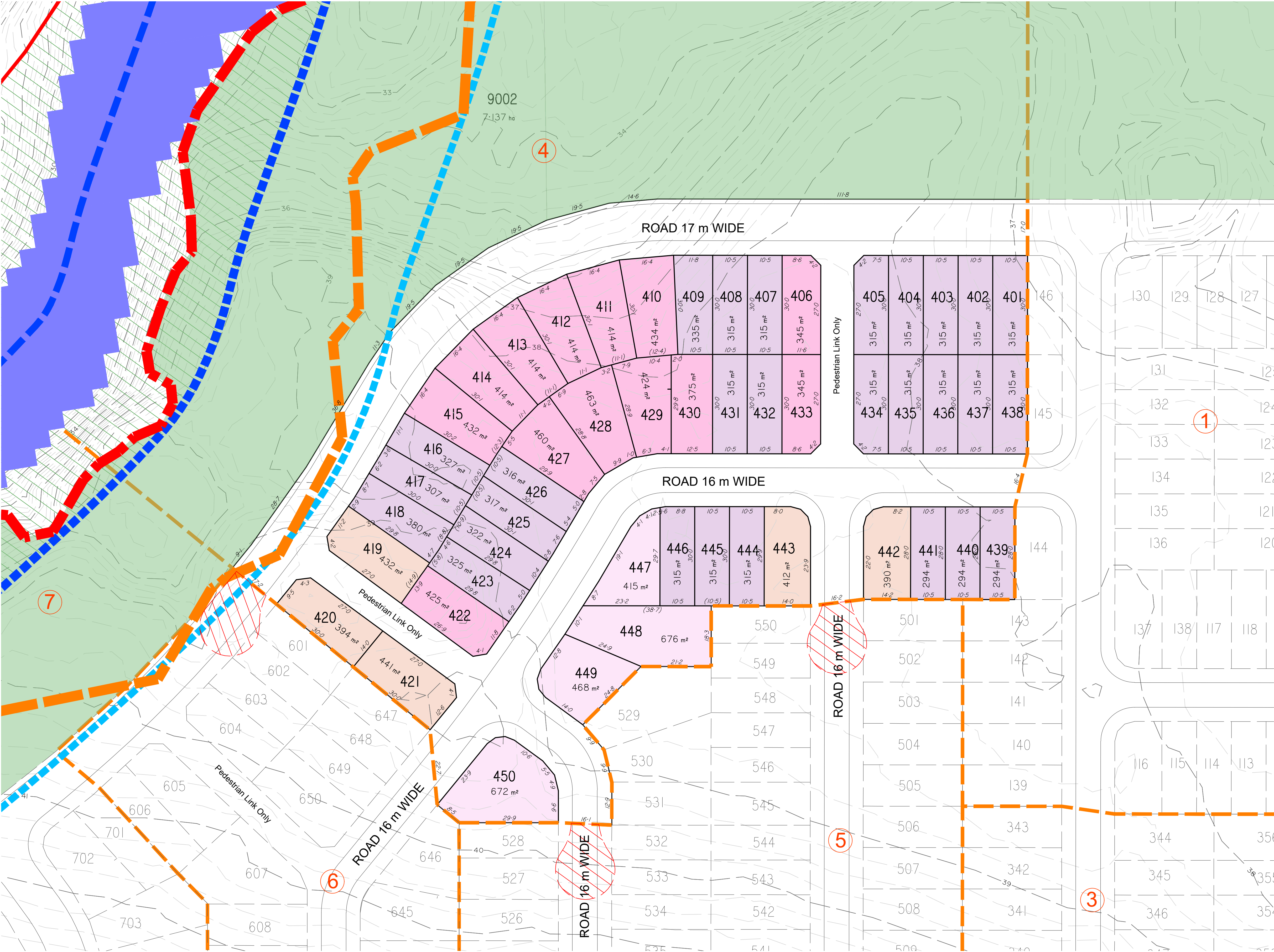
RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



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MOUNTAIN RIDGE ROAD, SOUTH MACLEAN 19/04/2018 7344 P 19 PP H

STAGING PLAN - STAGE 4



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LEGEND

- Site Boundary
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- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone - 7.6 ha
- Linear Park - 2260 m²
- District Park - 9.403 ha
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

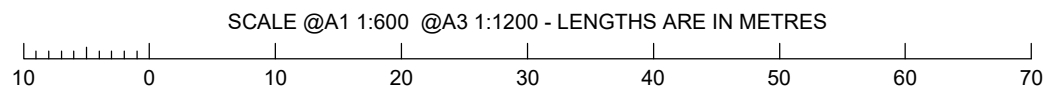
PLANS AND DOCUMENTS
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Approval no: DEV2017/887
Date: 4 May 2018



STAGING STATISTICS - STAGE 4		
Stage Area	10.078 ha	
Length of New Roads	580 m	
Area of New Roads	1.088 ha	10.8%
Villa (10.5m - 12.99m frontage)	28	56.0%
Premium Villa (12.5m - 13.99m frontage)	13	26.0%
Courtyard (14m - 15.99m frontage)	5	10.0%
Premium Courtyard (16m + frontage)	4	8.0%
Total Residential Allotments	50	100%
Average Lot Size	371 m²	
Open Space	7.137 ha	70.8%

RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



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STAGING PLAN - STAGE 5

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LEGEND

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- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone - 7.6 ha
- Linear Park - 2260 m²
- District Park - 9.403 ha
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

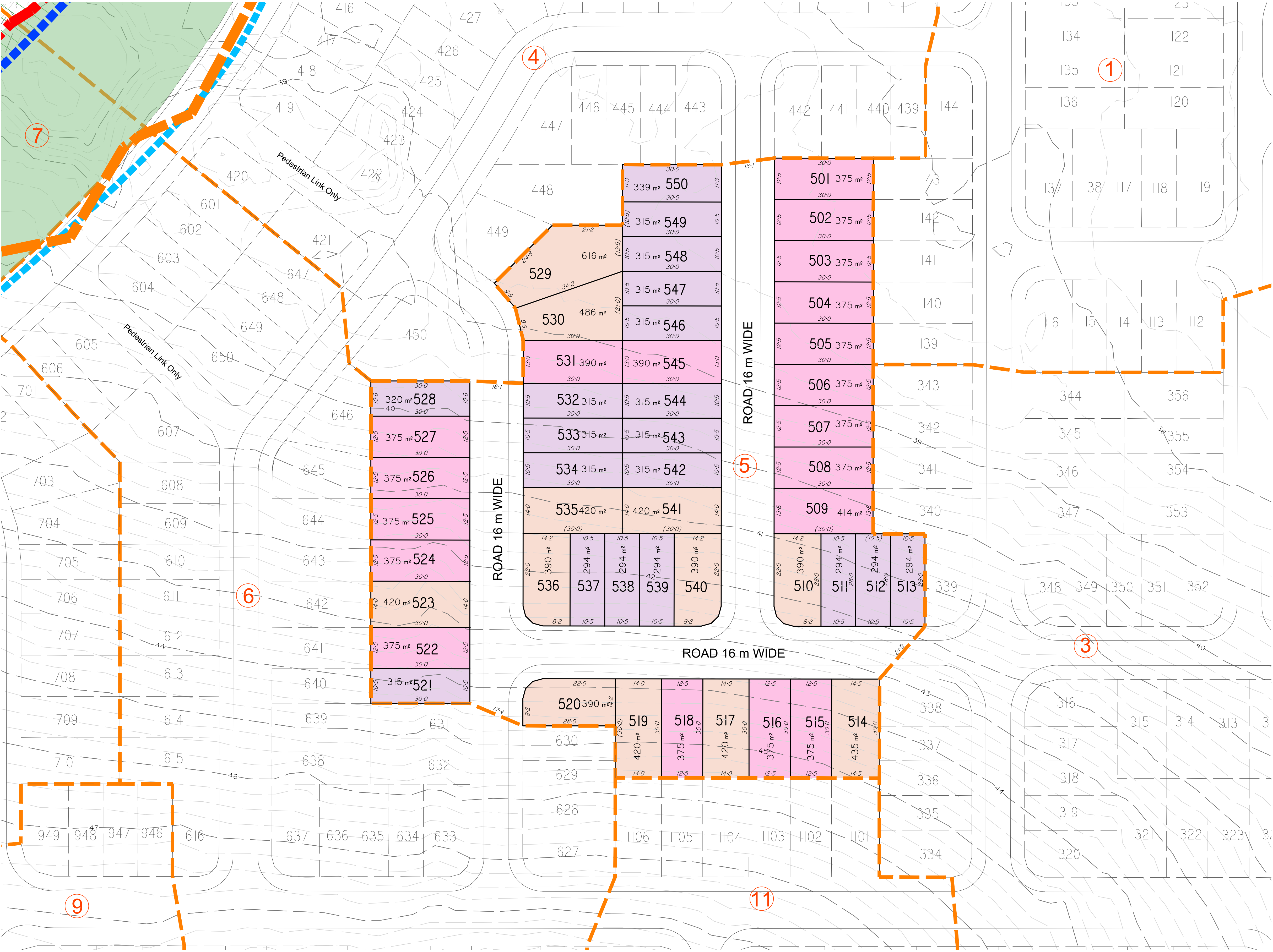
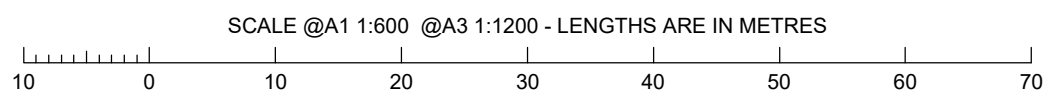
Approval no: DEV2017/887

Date: 4 May 2018

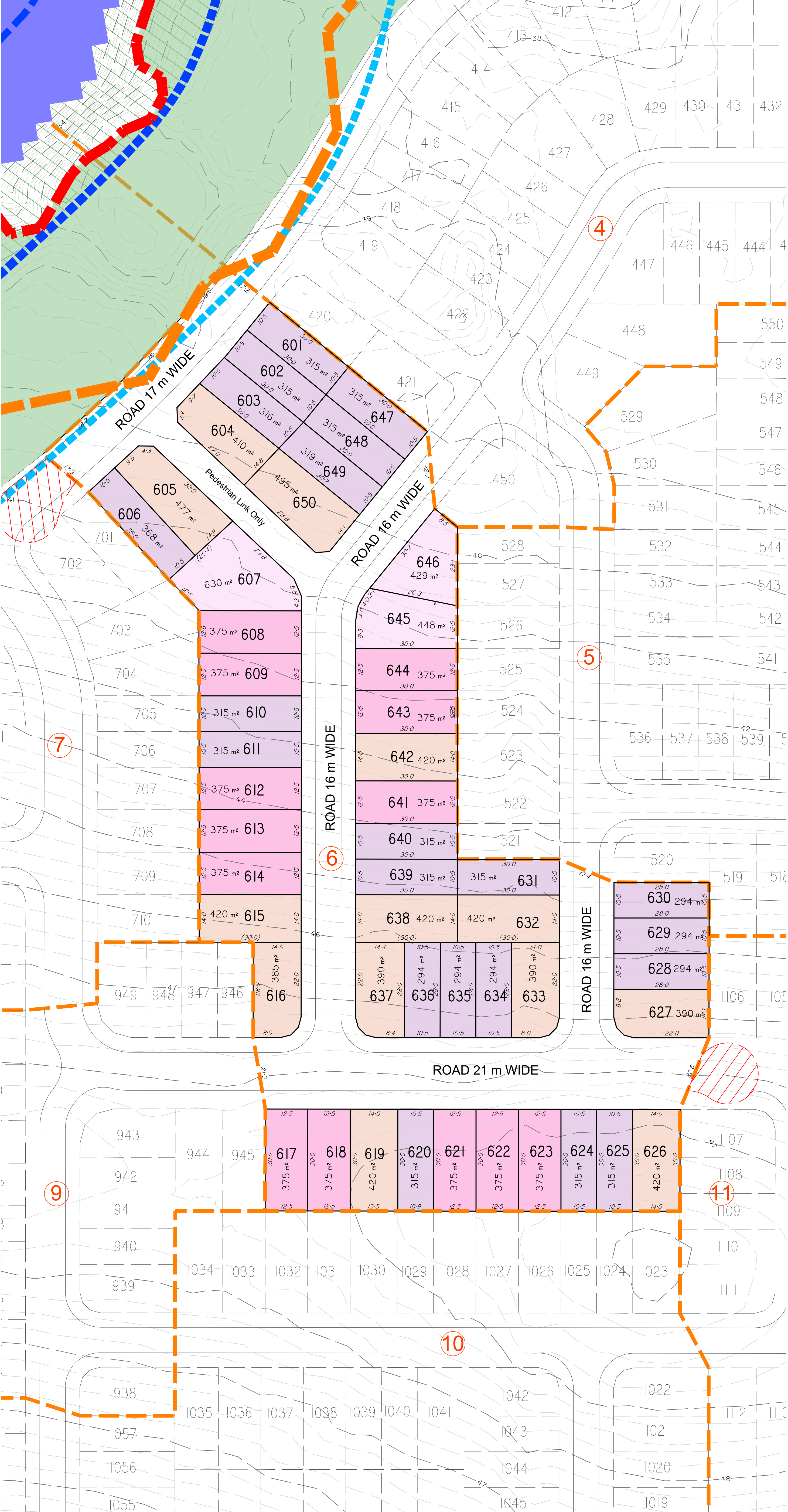

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Government

STAGING STATISTICS - STAGE 5		
Stage Area	2.403 ha	
Length of New Roads	355m	
Area of New Roads	5750 m²	23.9%
Villa (10.5m - 12.99m frontage)	19	38.0%
Premium Villa (12.5m - 13.99m frontage)	19	38.0%
Courtyard (14m - 15.99m frontage)	12	24.0%
Total Residential Allotments	50	100%
Average Lot Size	366 m²	

RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



STAGING PLAN - STAGE 6



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LEGEND

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- Major Contour 1.0m interval
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone - 7.6 ha
- Linear Park - 2260 m²
- District Park - 9.403 ha
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

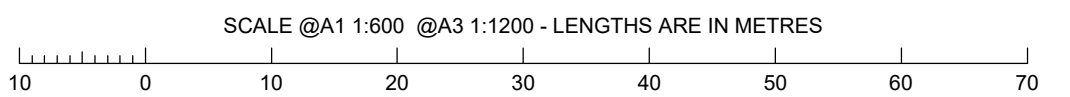
PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2017/887

Date: 4 May 2018

STAGING STATISTICS - STAGE 6		
Stage Area	2.671 ha	
Length of New Roads	430m	
Area of New Roads	8325 m²	24.6%
Villa (10.5m - 12.99m frontage)	21	42.0%
Premium Villa (12.5m - 13.99m frontage)	13	26.0%
Courtyard (14m - 15.99m frontage)	13	260%
Premium Courtyard (16m + frontage)	3	6.0%
Total Residential Allotments	50	100%
Average Lot Size	368 m²	

RP DESCRIPTION LOT 6 on RP193185 & LOT 9 on SP203507



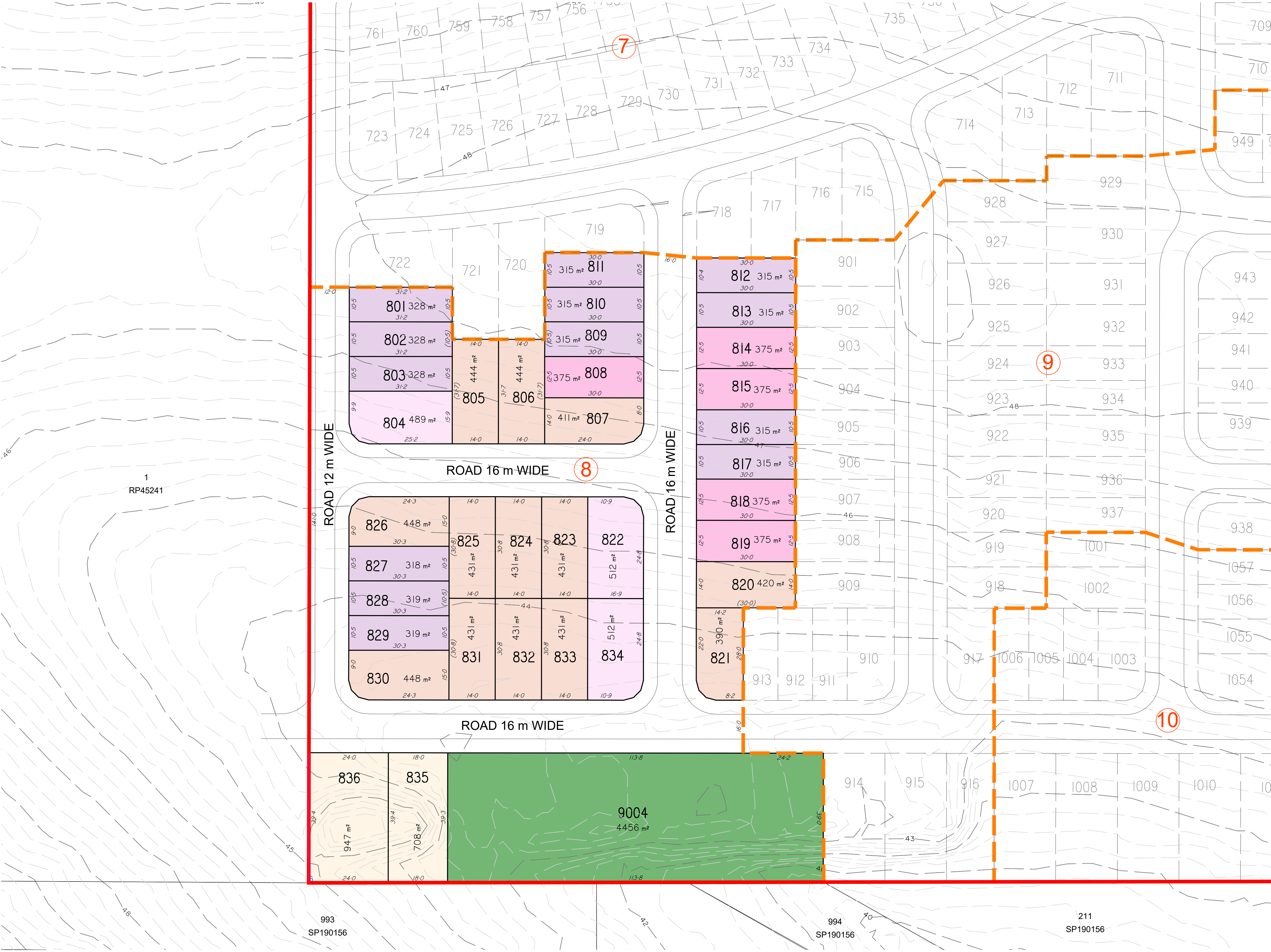


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Government

SCALE @A1 1:600 @A3 1:1200 - LENGTHS ARE IN METRES

MOUNTAIN RIDGE ROAD, SOUTH MACLEAN 19/04/2018 7344 P 19 PP H

STAGING PLAN - STAGE 8



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LEGEND

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- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

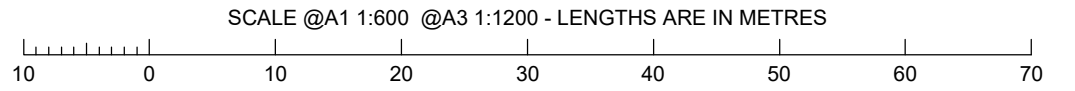
Approval no: DEV2017/887
Date: 4 May 2018



STAGING STATISTICS - STAGE 8

Stage Area	2,649 ha	
Length of New Roads	480 m	
Area of New Roads	7250 m²	27.4%
Villa (10.5m - 12.99m frontage)	13	36.1%
Premium Villa (12.5m - 13.99m frontage)	5	13.9%
Courtyard (14m - 15.99m frontage)	13	36.1%
Premium Courtyard (16m + frontage)	3	8.3%
Interface Lots	2	5.6%
Total Residential Allotments	36	100%
Average Lot Size	411 m²	
Stormwater / Detention Basin	4456 m²	16.8%

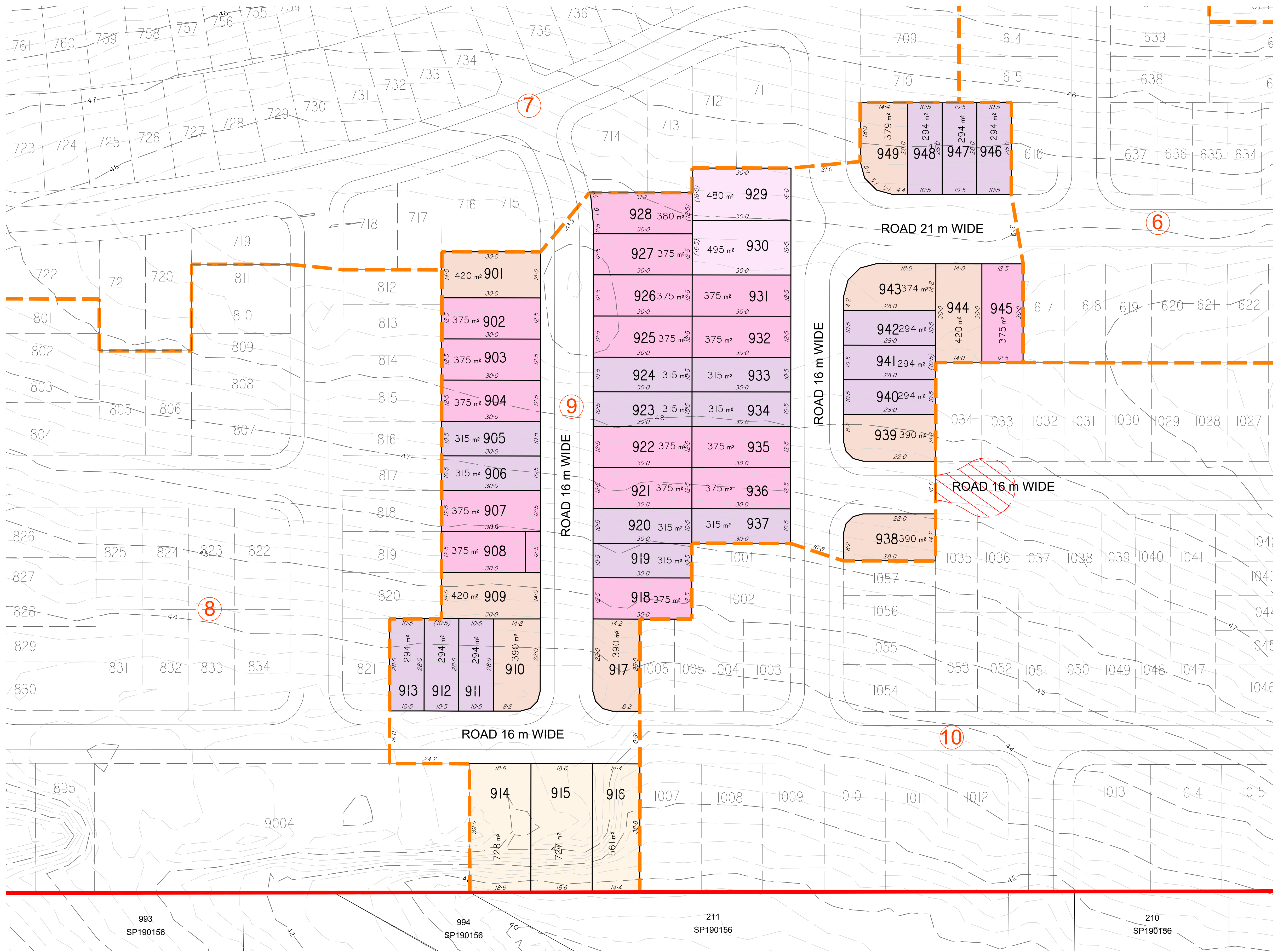
RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



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STAGING PLAN - STAGE 9



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LEGEND

-  Site Boundary
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-  Minor Contour 0.25m Interval
- Major Contour 1.0m interval
-  Staging No. ①
-  Staging Boundary
-  Temporary Turn-Around Easement to be Provided

NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2017/887

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Stage Area	2.559 ha	
Length of New Roads	420m	
Area of New Roads	7165 m ²	28.0%
Villa (10.5m - 12.99m frontage)	18	36.7%
Premium Villa (12.5m - 13.99m frontage)	17	34.7%
Courtyard (14m - 15.99m frontage)	9	18.4%
Premium Courtyard (16m + frontage)	2	4.1%
Interface Lots	3	6.1%
Total Residential Allotments	49	100%
Average Lot Size	376 m ²	

RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507

SCALE @A1 1:600 @A3 1:1200 - LENGTHS ARE IN METRES

STAGING PLAN - STAGE 10

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LEGEND

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- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

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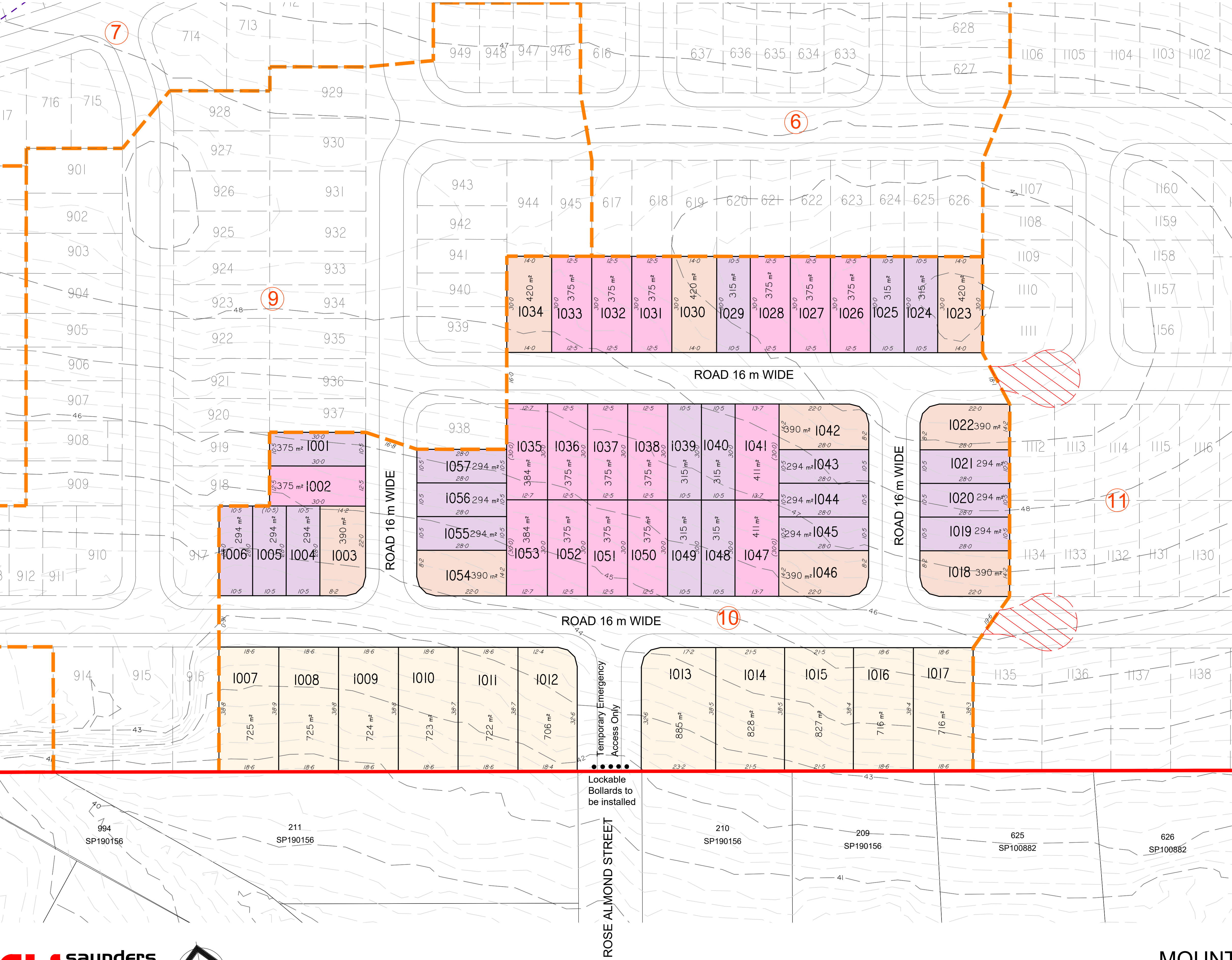
Approval no: DEV2017/887
Date: 4 May 2018



STAGING STATISTICS - STAGE 10		
Stage Area	3.329 ha	
Length of New Roads	540 m	
Area of New Roads	8875 m ²	26.7%
Villa (10.5m - 12.99m frontage)	20	35.1%
Premium Villa (12.5m - 13.99m frontage)	17	29.8%
Courtyard (14m - 15.99m frontage)	9	15.8%
Interface Lots	11	19.3%
Total Residential Allotments	57	100%
Average Lot Size	428 m ²	

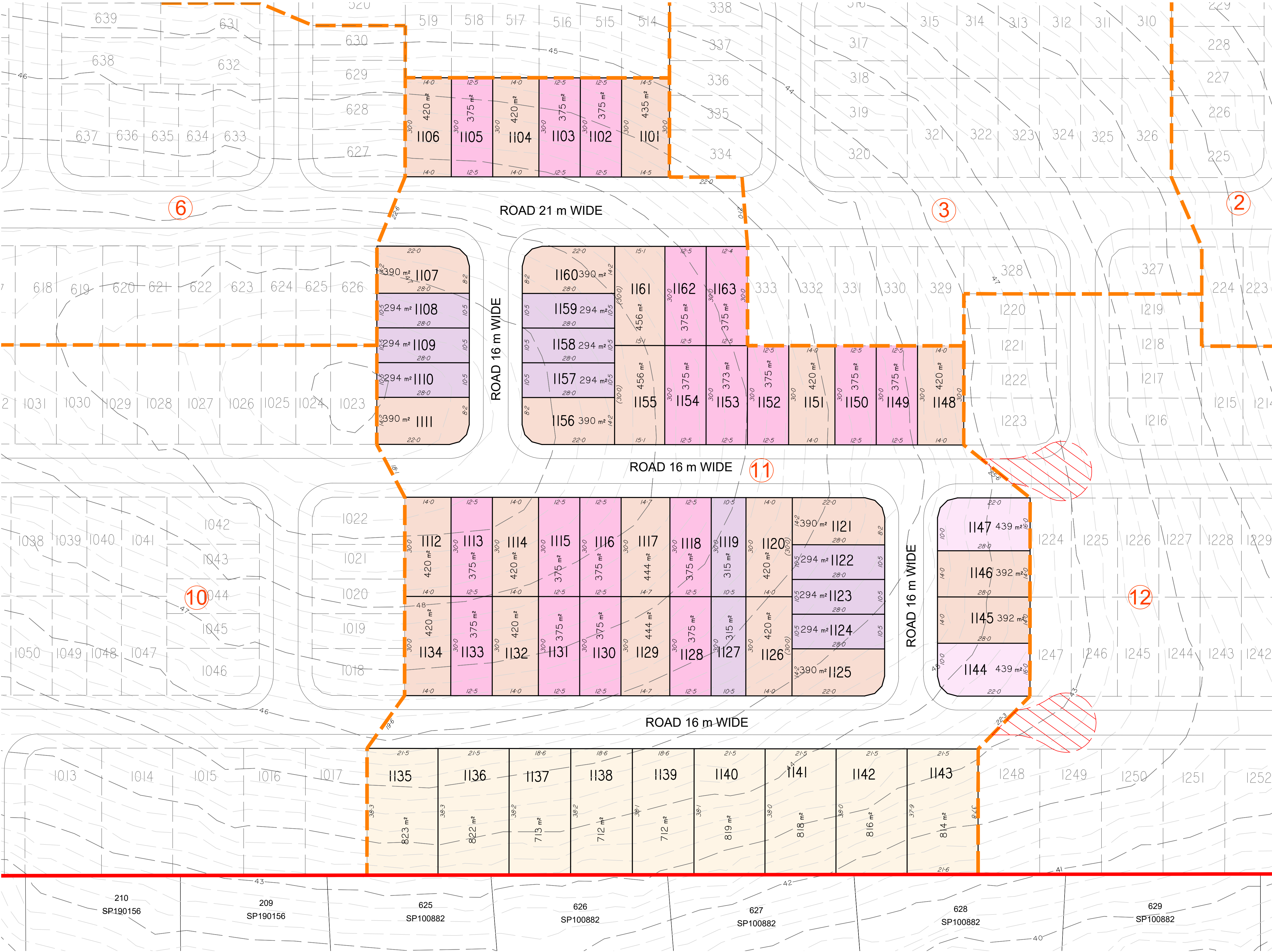
RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507

SCALE @A1 1:600 @A3 1:1200 - LENGTHS ARE IN METRES



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STAGING PLAN - STAGE 11



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LEGEND

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- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

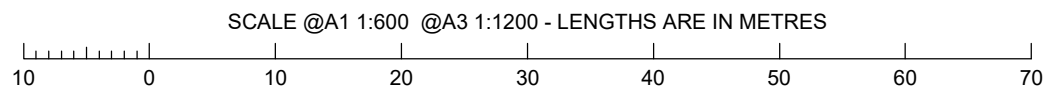
NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

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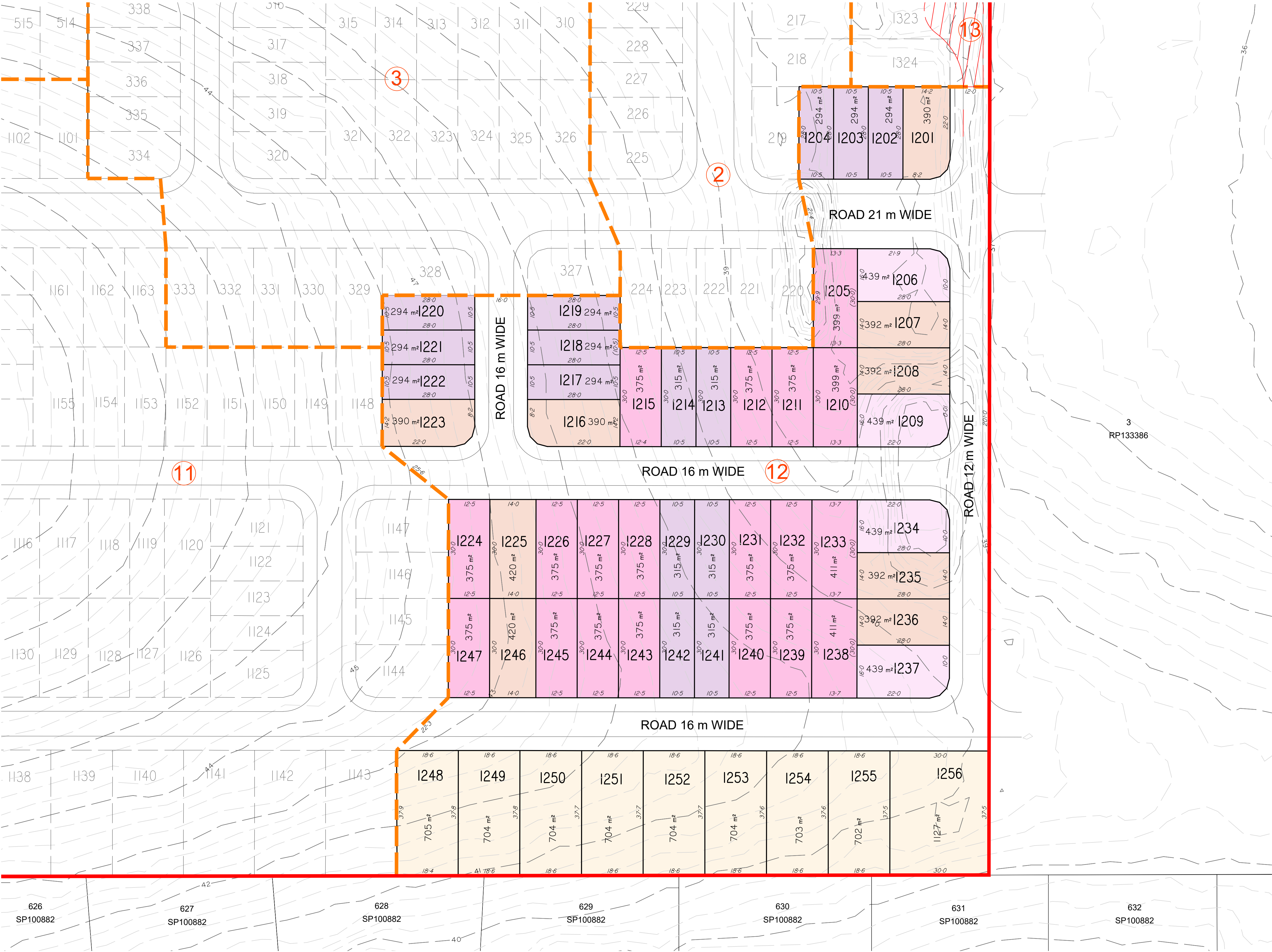
STAGING STATISTICS - STAGE 11		
Stage Area	3.768 ha	
Length of New Roads	595 m	
Area of New Roads	1.017 ha	27.0%
Villa (10.5m - 12.99m frontage)	11	17.5%
Premium Villa (12.5m - 13.99m frontage)	18	28.6%
Courtyard (14m - 15.99m frontage)	23	36.5%
Premium Courtyard (16m + frontage)	2	3.1%
Interface Lots	9	14.3%
Total Residential Allotments	63	100%
Average Lot Size	437 m²	

RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



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STAGING PLAN - STAGE 12



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- Staging Boundary
- Temporary Turn-Around Easement to be Provided

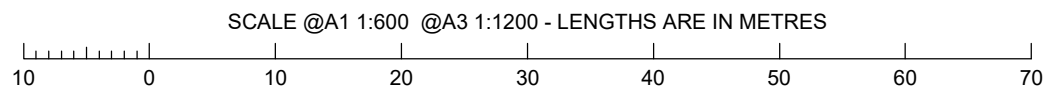
NOTE: DIMENSIONS HAVE BEEN ROUNDED DOWN TO THE NEAREST 0.1m

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2017/887
Date: 4 May 2018

STAGING STATISTICS - STAGE 12		
Stage Area	3.313 ha	
Length of New Roads	615 m	
Area of New Roads	9245 m ²	25.5%
Villa (10.5m - 12.99m frontage)	15	26.8%
Premium Villa (12.5m - 13.99m frontage)	19	33.9%
Courtyard (14m - 15.99m frontage)	9	16.1%
Premium Courtyard (16m + frontage)	4	7.1%
Interface Lots	9	16.1%
Total Residential Allotments	56	100%
Average Lot Size	427 m ²	

RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



MOUNTAIN RIDGE PTY LTD

STAGING PLAN - STAGE 13

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

This plan was prepared as a conceptual layout only. The information on this plan is not suitable for any other purpose.

Property dimensions, areas, numbers of lots and contours and other physical features shown have been compiled from existing information and may not have been verified by field survey. These may need verification if the development application is approved and development proceeds, and may change when a full survey is undertaken or in order to comply with development approval conditions.

No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

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* This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

LEGEND

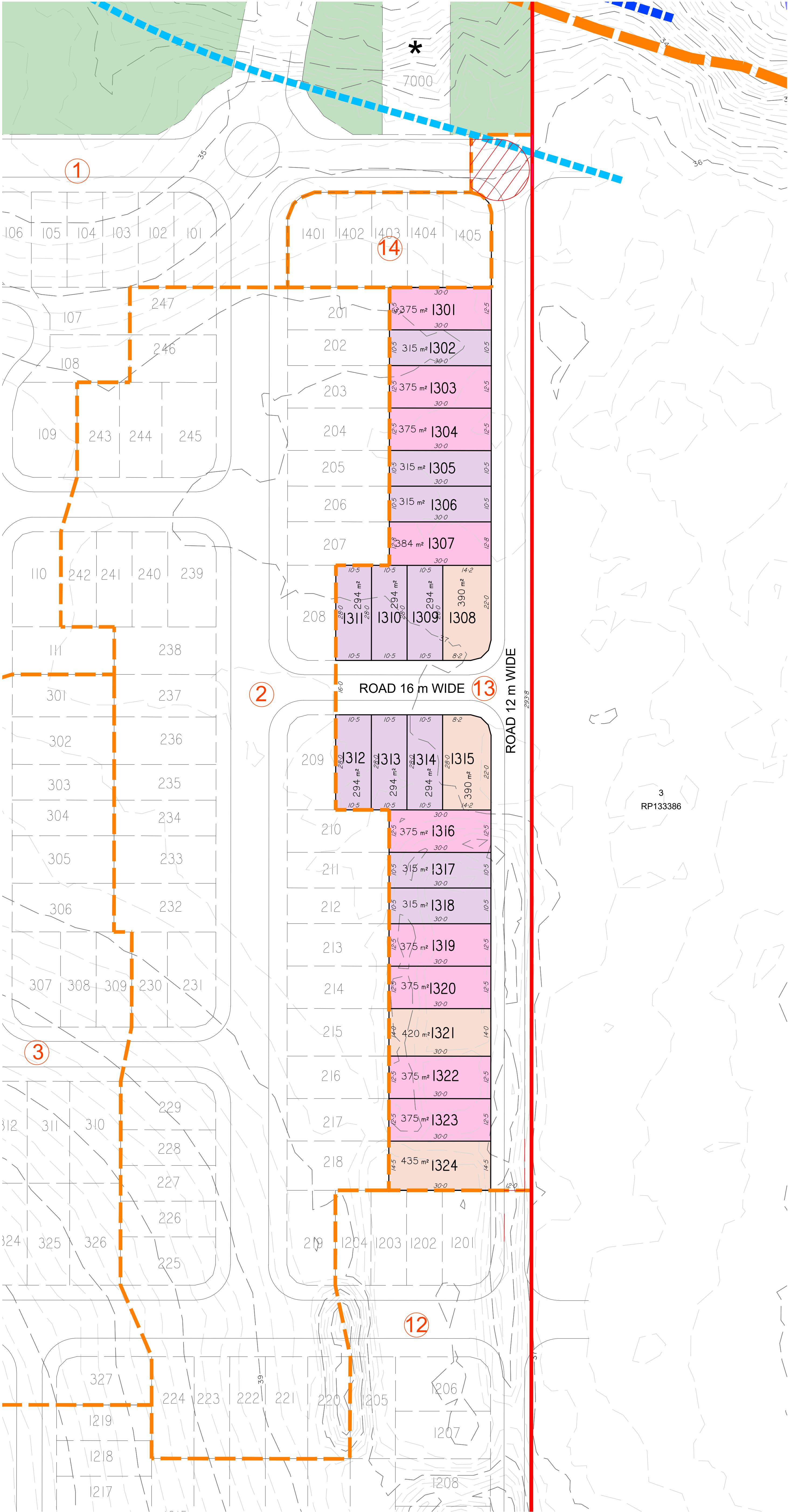
- Site Boundary
- Logan City Council 2016 Flood Mapping
- Minor Contour 0.25m Interval
- Major Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Pump Station
- Riparian Zone - 7.6 ha
- Linear Park - 2260 m²
- District Park - 9.403 ha
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2017/887

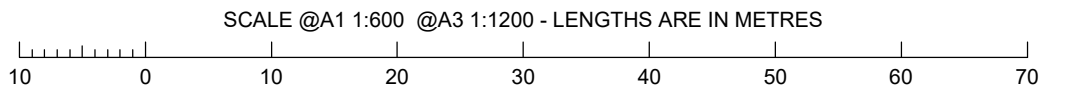
Date: 4 May 2018



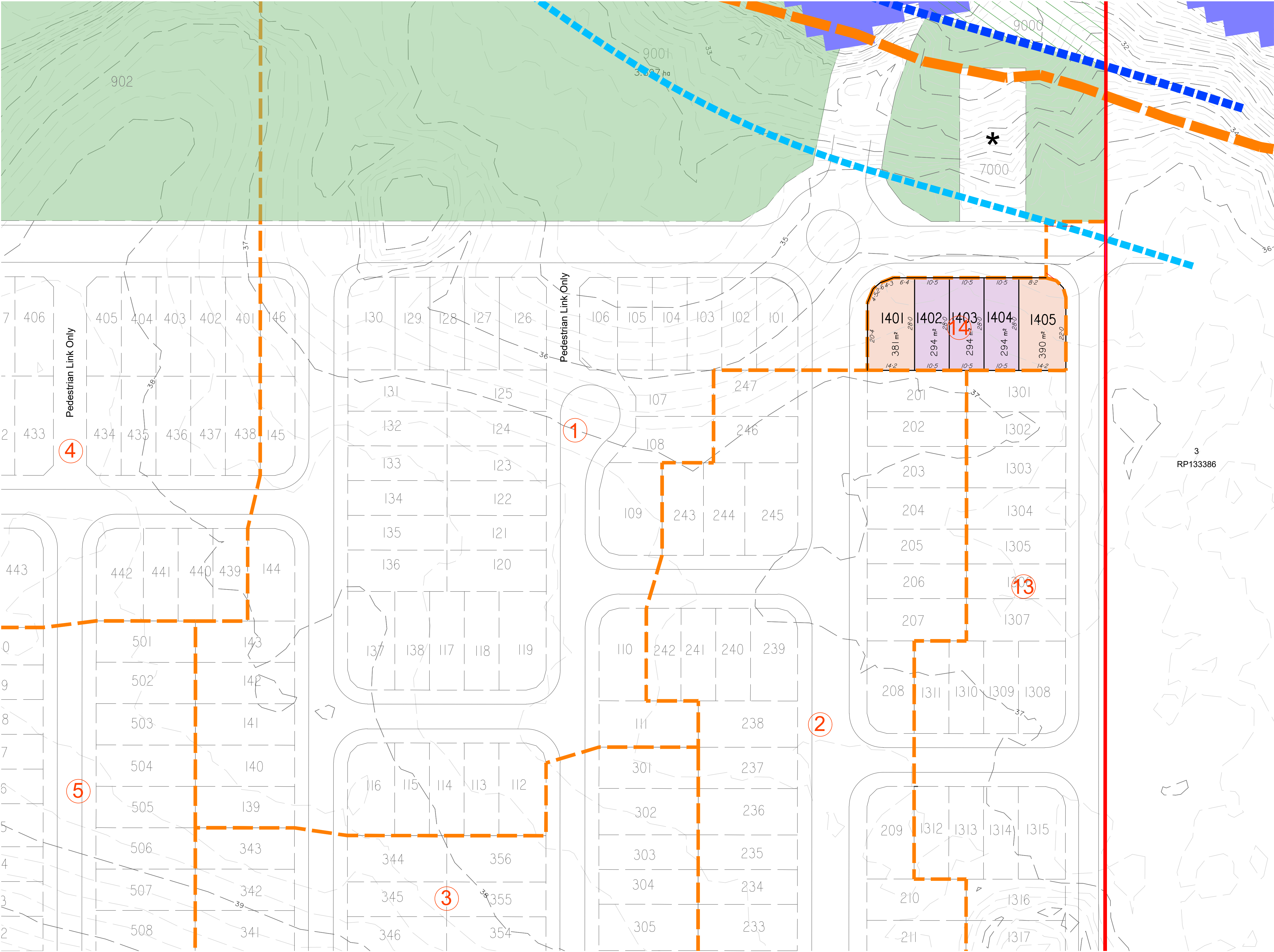


STAGING STATISTICS - STAGE 13		
Stage Area	1,264 ha	
Length of New Roads	340 m	
Area of New Roads	4285 m²	33.9%
Villa (10.5m - 12.99m frontage)	11	45.8%
Premium Villa (12.5m - 13.99m frontage)	9	37.5%
Courtyard (14m - 15.99m frontage)	4	16.7%
Total Residential Allotments	24	100%
Average Lot Size	348 m²	

RP DESCRIPTION LOT 6 on RP193185 &
LOT 9 on SP203507



STAGING PLAN - STAGE 14



NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

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LEGEND

- Site Boundary
- Logan City Council 2016 Flood Mapping
- Minor Contour 0.25m Interval
- Major Contour 1.0m interval
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Pump Station
- Riparian Zone - 7.6 ha
- Linear Park - 2260 m²
- District Park - 9.403 ha
- Staging No.
- Staging Boundary
- Temporary Turn-Around Easement to be Provided

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2017/887

Date: 4 May 2018

STAGING STATISTICS - STAGE 14

Stage Area	1653 m²	
Villa (10.5m - 12.99m frontage)	3	60.0%
Courtyard (14m - 15.99m frontage)	2	40.0%
Total Residential Allotments	5	100%
Average Lot Size	331m²	

RP DESCRIPTION LOT 6 on RP193185 & LOT 9 on SP203507

